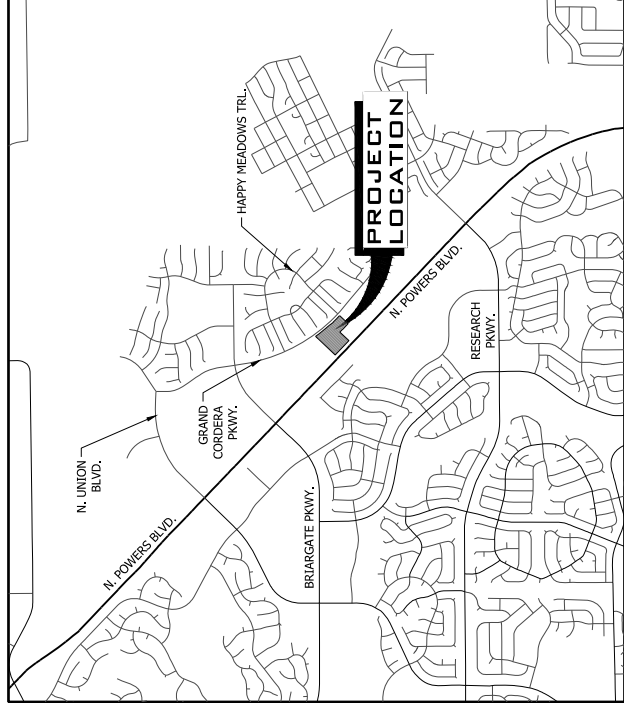


CONDITIONAL USE DEVELOPMENT PLAN CALIBER AT BRIARGATE

LOT 3, POWERS OFFICE PARK FILING NO. 3
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 9292-9242 GRAND CORDERA PARKWAY



VICINITY MAP
SCALE 1" = 2,000'

CONTACT LIST			
OWNER	APPLICANT	DEVELOPER	ARCHITECT
HIGH VALLEY LAND COMPANY, INC. 1755 TELSTAR DRIVE, SUITE 211 COLORADO SPRINGS, CO 80920	THE GARRETT COMPANIES, LLC 1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143	THE GARRETT COMPANIES, LLC 1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143	HUMPHREYS & PARTNERS ARCHITECTS, L.P. 5539 ALPHA ROAD, SUITE 300 DALLAS, TX 75240
CONTACT: B. DOUGLAS QUIMBY	317-886-7923 CONTACT: KARL STOUT	317-886-7923 CONTACT: KARL STOUT	972-701-9636 CONTACT: CHARLES SWANSON
CIVIL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR	
R&R ENGINEERS-SURVEYORS, LLC 1635 WEST 13TH AVENUE, SUITE 310 DENVER, CO 80204 303-753-6730 CONTACT: JOHN LOUGHREY, P.E.	THE GARRETT COMPANIES, LLC 1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143 317-886-7923 CONTACT: NICK SMITH	LAND DEVELOPMENT CONSULTANTS, INC. 3888 WAZELAND ROAD COLORADO SPRINGS, CO 80909 719-528-6133 DAVE HOSTETLER, P.L.L.S.	

DEVELOPMENT PLAN NOTES

- ALL COMMON AREAS ARE TO BE OWNED AND MAINTAINED BY THE GARRETT COMPANIES, ITS HEIRS, SUCCESSORS, OR ASSIGNS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE DEVELOPER.
- THE PROPOSED PUBLIC UTILITY LOCATIONS SHOWN HEREON SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND SHALL BE INSTALLED BY THE DEVELOPER.
- PARKING OF MOTOR VEHICLES BEHIND ANY AND ALL GARAGE PARKING STALLS SHALL BE PROHIBITED WITHIN THIS DEVELOPMENT.
- THE SITE IS NOT LOCATED WITHIN A FEMA FLOODPLAIN PER FEMA FIRM 08041C0528G, DATED DECEMBER, 2018.
- THE ARTICLES OF INCORPORATION FOR BRIARGATE CROSSING COMMERCIAL OWNERS ASSOCIATION, INC. ARE FILED UNDER ID NUMBER 20051107903 WITH COLORADO SECRETARY OF STATE. THE AREA INCLUDED IN THIS PLAN SHALL BE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR BRIARGATE CROSSING COMMERCIAL RECORDED UNDER RECEPTION NO. AND THE FIRST AMENDMENT RECORDED UNDER RECEPTION NO. 209007216.
- PLAT NOTE #9: "NO DIRECT VEHICULAR ACCESS TO OR FROM ANY INDIVIDUAL LOT SHALL BE ALLOWED ONTO POWERS BOULEVARD."
- PLAT NOTE #12: "ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO AN AVIGATION EASEMENT TO THE UNITED STATES AIR FORCE ACADEMY AS RECORDED IN BOOK 5144 AT PAGE 1022 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO."
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG GRAND CORDERA PKWY. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FULL SPECTRUM DETENTION IS PROVIDED FOR THIS SITE BY THE SUB-REGIONAL FACILITY LOCATED ON TRACT B, DIRECTLY EAST OF THIS SITE.
- IN ORDER TO ACHIEVE THE REQUIRED ACCESS WITHIN THE COURTYARD AREA FOR THE CLUBHOUSE, THE EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG GRAND CORDERA PKWY. ADJACENT TO THE SITE WILL BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- STREET TREES, STREETSCAPE IMPROVEMENTS AND VEGETATION WITHIN THE CITY R.O.W. SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

SITE LIGHTING NOTICE
ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
SCHEDULE:
APPROX CONSTRUCTION START: JULY 2021
APPROX CONSTRUCTION COMPLETION: JULY 2023

AIR FORCE NOTICE

NOTE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.

SHEET #	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	PRELIM. UTILITY & PUBLIC FACILITIES PLAN
5	PRELIMINARY GRADING PLAN
6	SITE LIGHTING
7	SITE LIGHTING CALCULATIONS
8	SITE LIGHTING DETAILS
9	PRELIMINARY LANDSCAPE PLAN
10	LANDSCAPE PLANT SCHEDULE, NOTES & TABULATIONS
11	LANDSCAPE DETAILS
12	PRELIMINARY LANDSCAPE GRADING PLAN
13	BUILDING PLAN - TYPE 1 1ST FLOOR
14	BUILDING PLAN - TYPE 1 TYPICAL FLOOR
15	BUILDING PLAN - TYPE 1 ROOF PLAN
16	BUILDING 1 ELEVATION - BUILDING 1 NORTH AND WEST ELEVATION
17	BUILDING 1 ELEVATION - BUILDING 1 SOUTH AND EAST ELEVATION
18	BUILDING 2 ELEVATION - BUILDING 2 SOUTH AND EAST ELEVATION
19	BUILDING 2 ELEVATION - BUILDING 2 NORTH AND WEST ELEVATION
20	CLUBHOUSE PLAN
21	CLUBHOUSE ROOF PLAN
22	CLUBHOUSE ELEVATIONS - FRONT AND RIGHT ELEVATION
23	CLUBHOUSE ELEVATIONS - REAR AND LEFT ELEVATION
24	DETACHED GARAGE 1 PLAN - ELEVATION AND FLOOR PLAN
25	DETACHED GARAGE 2 PLAN - ELEVATIONS AND FLOOR PLAN
26	MAIL KIOSK PLAN - ELEVATION AND FLOOR PLAN
27	TRASH COMPACTOR PLAN - ELEVATION AND FLOOR PLAN
28	MAINTENANCE BUILDING PLAN - ELEVATION AND FLOOR PLAN

LEGAL DESCRIPTION
LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3, COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING 7.648 ACRES (333,138 SQUARE FEET), MORE OR LESS.

BENCHMARKS
1. THE MOST WESTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF POWERS BOULEVARD (STATE HIGHWAY 21), BEING MONUMENTED BY A 2 INCH ALUMINUM SURVEYORS CAP STAMPED "OLSSON LS 38636" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

2. THE MOST EASTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND CORDERA PARKWAY BEING MONUMENTED BY A NAIL AND 2 INCH WASHER STAMPED "PLS 38069" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

LEGAL DESCRIPTION
LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3, COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING 7.648 ACRES (333,138 SQUARE FEET), MORE OR LESS.

BENCHMARKS
1. THE MOST WESTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF POWERS BOULEVARD (STATE HIGHWAY 21), BEING MONUMENTED BY A 2 INCH ALUMINUM SURVEYORS CAP STAMPED "OLSSON LS 38636" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

2. THE MOST EASTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND CORDERA PARKWAY BEING MONUMENTED BY A NAIL AND 2 INCH WASHER STAMPED "PLS 38069" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

LEGAL DESCRIPTION
LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3, COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING 7.648 ACRES (333,138 SQUARE FEET), MORE OR LESS.

BENCHMARKS
1. THE MOST WESTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF POWERS BOULEVARD (STATE HIGHWAY 21), BEING MONUMENTED BY A 2 INCH ALUMINUM SURVEYORS CAP STAMPED "OLSSON LS 38636" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

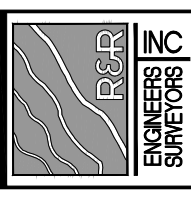
2. THE MOST EASTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND CORDERA PARKWAY BEING MONUMENTED BY A NAIL AND 2 INCH WASHER STAMPED "PLS 38069" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

LEGAL DESCRIPTION
LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3, COUNTY OF EL PASO, STATE OF COLORADO, CONTAINING 7.648 ACRES (333,138 SQUARE FEET), MORE OR LESS.

BENCHMARKS
1. THE MOST WESTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF POWERS BOULEVARD (STATE HIGHWAY 21), BEING MONUMENTED BY A 2 INCH ALUMINUM SURVEYORS CAP STAMPED "OLSSON LS 38636" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

2. THE MOST EASTERLY CORNER OF LOT 3 AS PLATTED IN POWERS OFFICE PARK FILING NO. 3 RECORDED UNDER RECEPTION NO. 220714517 RECORDS OF EL PASO COUNTY, COLORADO, BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF GRAND CORDERA PARKWAY BEING MONUMENTED BY A NAIL AND 2 INCH WASHER STAMPED "PLS 38069" FLUSH WITH THE GROUND. ELEVATION = 7026.09 (NGVD 1929)

BASIS OF BEARING
A PORTION OF THE EASTERLY RIGHT OF WAY LINE OF POWERS BOULEVARD (STATE HIGHWAY 21), BEING MONUMENTED AT THE SOUTHERLY END BY A NO. 5 REBAR WITH ALUMINUM CAP STAMPED "MATROX PLS 32822 FLUSH WITH THE GROUND, AND AT THE NORTHERLY END BY A NO. 5 REBAR WITH 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" FLUSH WITH THE GROUND, ASSUMED TO BEAR N46°21'24"W, A DISTANCE OF 1046.39 FEET.



R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730
WWW.RRENINEERS.COM

NOT FOR CONSTRUCTION

CALIBER AT BRIARGATE
SITE ADDRESS: 9292-9242 GRAND CORDERA PARKWAY
COLORADO SPRINGS, CO 80924
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143
PREPARED FOR:

JOB NO. GC20105
ORIG SUBM DATE 12/09/2020
OWN: CAV | CHK: JHL
NAME

COVER SHEET
NO. 1 OF 28

NO.	REVISION	BY	DATE
1	DRC 2ND SUBMITTAL	CAV	11/25/20
2	2ND DEVELOPMENT PLAN SUBMITTAL	CAV	1/22/21
3	3RD DEVELOPMENT PLAN SUBMITTAL	CAV	7/12/21

CONDITIONAL USE DEVELOPMENT PLAN CALIBER AT BRIARGATE

LOT 3, POWERS OFFICE PARK FILING NO. 3
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 9292-9242 GRAND CORDERA PARKWAY

NO.	REVISION	BY	DATE
1	2ND DEVELOPMENT PLAN SUBMITTAL	CAV	1/22/21
2	3RD DEVELOPMENT PLAN SUBMITTAL	CAV	2/12/21

LINETYPE/SYMBOL	DESCRIPTION
---	EX. PROPERTY LINE
---	EX. EASEMENT
---	EX. CURB AND GUTTER
---	EX. CONCRETE SIDEWALK
---	EX. WATER LINE
---	EX. FIRE HYDRANT
---	EX. SANITARY MAIN
---	EX. SANITARY MANHOLE
---	EX. STORM SEWER PIPE
---	EX. STORM SEWER MANHOLE
---	EX. STORM SEWER INLET
---	EX. UNDERGROUND ELECTRIC
---	EX. UTILITY POLE
---	EX. STREET LIGHT
---	EX. CABLE TV
---	EX. TELECOM
---	EX. FIBER OPTIC
---	EX. NATURAL GAS

R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

ENGINEERS & SURVEYORS

WWW.RRENGINERS.COM

NOT FOR CONSTRUCTION

CALIBER AT BRIARGATE

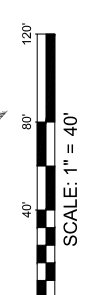
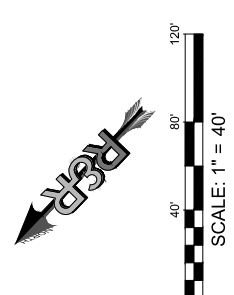
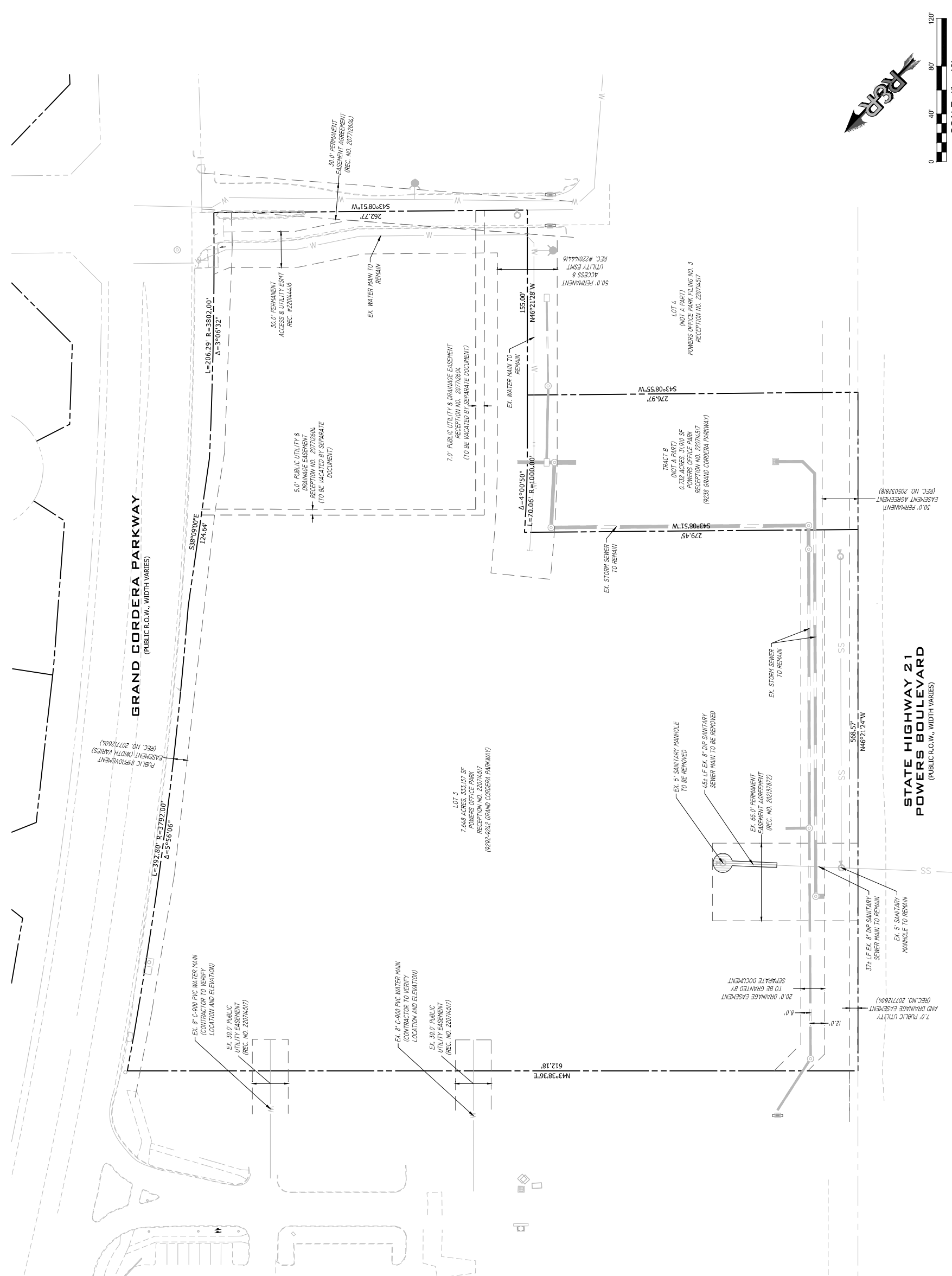
SITE ADDRESS: 9292-9242 GRAND CORDERA PARKWAY
COLORADO SPRINGS, CO 80924

PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

JOB NO.: GC20105
ORG. SUBM. DATE: 12/02/2020
OWN: CAM/CHKG: JHL
NAME: EXISTING CONDITIONS & DEMOLITION PLAN

NO. 2 OF 28

CPC CU 20-00171

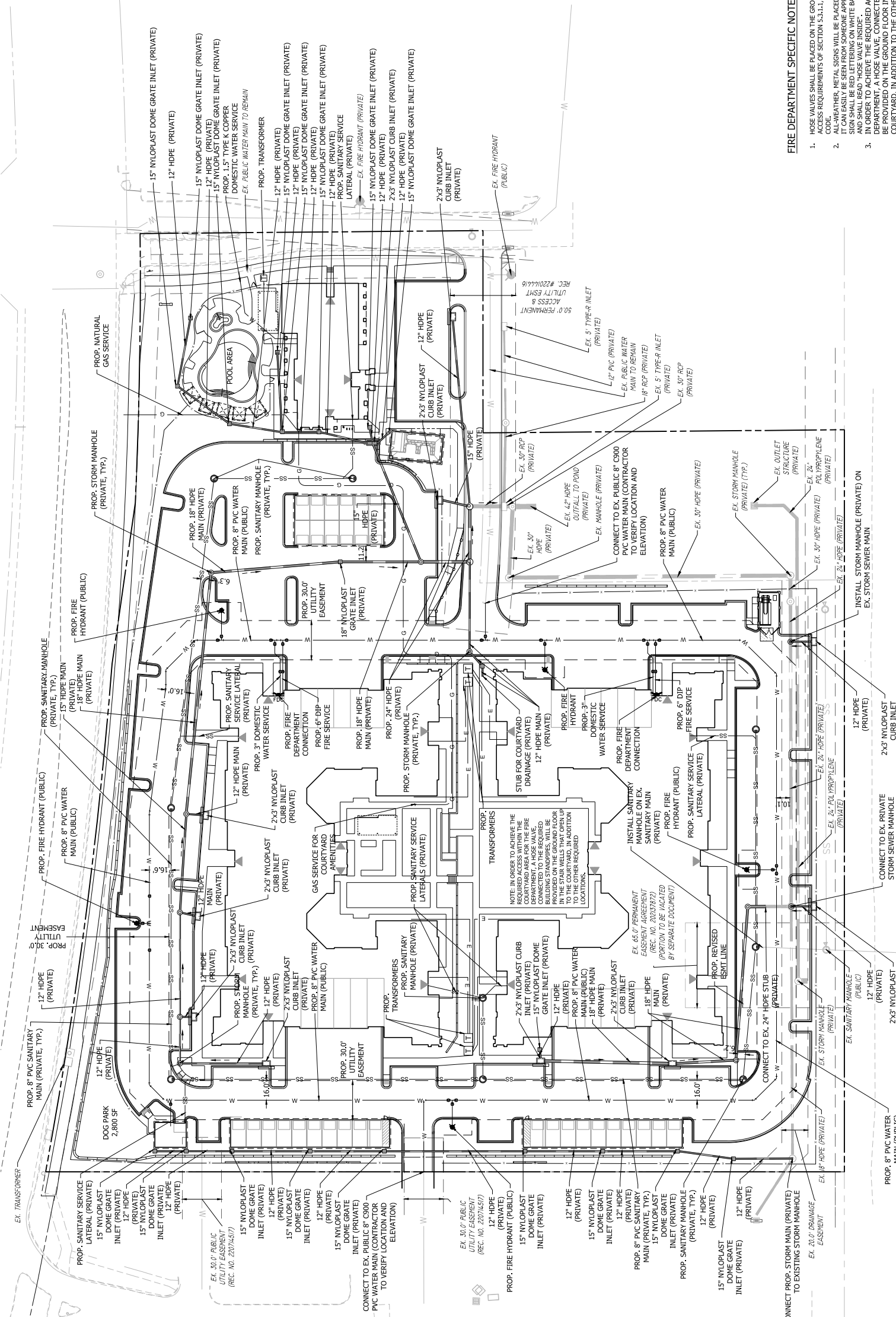


CONDITIONAL USE DEVELOPMENT PLAN

PLT:R:\GC20105 BRIARGATE APARTMENTS\ENGINEERING\DRAWINGS\PLANS\GC20105-DEMO.DWG, PLOT DATE: 2/12/2021 12:54:52 PM, BY: COREY VOELER

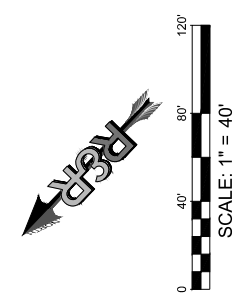
CONDITIONAL USE DEVELOPMENT PLAN CALIBER AT BRIARGATE

LOT 3, POWERS OFFICE PARK FILING NO. 3
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 9292-9242 GRAND CORDERA PARKWAY



LEGEND

LINETYPE/SYMBOL	DESCRIPTION
---	EX. PROPERTY LINE
---	EX. EASEMENT
---	EX. CURB AND GUTTER
---	EX. CONCRETE SIDEWALK
---	EX. WATER LINE
---	EX. FIRE HYDRANT
---	EX. SANITARY MAIN
---	EX. SANITARY MANHOLE
---	EX. STORM SEWER PIPE
---	EX. STORM SEWER MANHOLE
---	EX. STORM SEWER INLET
---	EX. UNDERGROUND ELECTRIC
---	EX. UTILITY POLE
---	EX. STREET LIGHT
---	EX. CABLE TV
---	EX. TELECOM
---	EX. FIBER OPTIC
---	EX. NATURAL GAS
---	PROP. PROPERTY LINE
---	PROP. EASEMENT
---	PROP. CURB AND GUTTER
---	PROP. CONCRETE SIDEWALK
---	PROP. WATER LINE
---	PROP. BUILDING FDC
---	PROP. FIRE HYDRANT
---	PROP. SANITARY MAIN
---	PROP. SANITARY MANHOLE
---	PROP. STORM SEWER PIPE
---	PROP. STORM SEWER MANHOLE
---	PROP. STORM SEWER INLET
---	PROP. UNDERGROUND ELECTRIC
---	PROP. UTILITY POLE
---	PROP. STREET LIGHT
---	PROP. CABLE TV
---	PROP. TELECOM
---	PROP. FIBER OPTIC
---	PROP. NATURAL GAS



FIRE DEPARTMENT SPECIFIC NOTES

- HOSE VALVES SHALL BE PLACED ON THE GROUND LEVEL OF EACH STAIRWELL TO MEET THE FIRE DEPARTMENT REQUIREMENTS OF SECTION 53.1.1, EXCEPTION 12 OF THE 2016 COLORADO SPRINGS FIRE CODE.
- ALL-WEATHER, METAL SIGNS WILL BE PLACED ON THE EXTERNAL FACE OF THE BUILDING SUCH THAT IT CAN EASILY BE SEEN FROM SOMEONE APPROACHING THE STAIRWELL FROM THE COURTYARD. THE SIGN SHALL BE RED WITH WHITE LETTERING ON A WHITE BACKGROUND WITH MINIMUM 1-INCH RAISED LETTERING.
- IN ORDER TO ACHIEVE THE REQUIRED ACCESS WITHIN THE COURTYARD AREA FOR THE FIRE DEPARTMENT, A HOSE VALVE, CONNECTED TO THE REQUIRED BUILDING STANDPIPES, WILL BE PROVIDED ON THE GROUND FLOOR IN THE STAIR WELLS THAT OPEN UP TO THE COURTYARD, IN ADDITION TO THE OTHER REQUIRED LOCATIONS.

GENERAL UTILITY NOTES

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION AND DEPTH OF ALL UTILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNERS (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES RESOLUTIONS AND POLICIES, AND PASSES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEMS SERVING THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- IT WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND RECORD DOCUMENT ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND RECORD DOCUMENT ALL UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- QUALITY OF WATER, IN THE SPRINGS UTILITIES WATER SYSTEM, WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES SERVING THE PROPERTY. SPRINGS UTILITIES STANDARD GAS SYSTEM GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 688-985 OR SOUTH 688-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. ANY SUCH MODIFICATION SHALL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO SPRINGS UTILITIES. SPRINGS UTILITIES SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. SPRINGS UTILITIES AND THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES.

PRELIM. UTILITY & PUBLIC FACILITIES PLAN

TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

11. ALL PROPOSED STORM SEWER SEWER SHOWN HEREON IS PRIVATE.

12. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES SERVING THE PROPERTY. SPRINGS UTILITIES STANDARD GAS SYSTEM GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 688-985 OR SOUTH 688-5564).

13. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. ANY SUCH MODIFICATION SHALL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO SPRINGS UTILITIES. SPRINGS UTILITIES SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

NOT FOR CONSTRUCTION

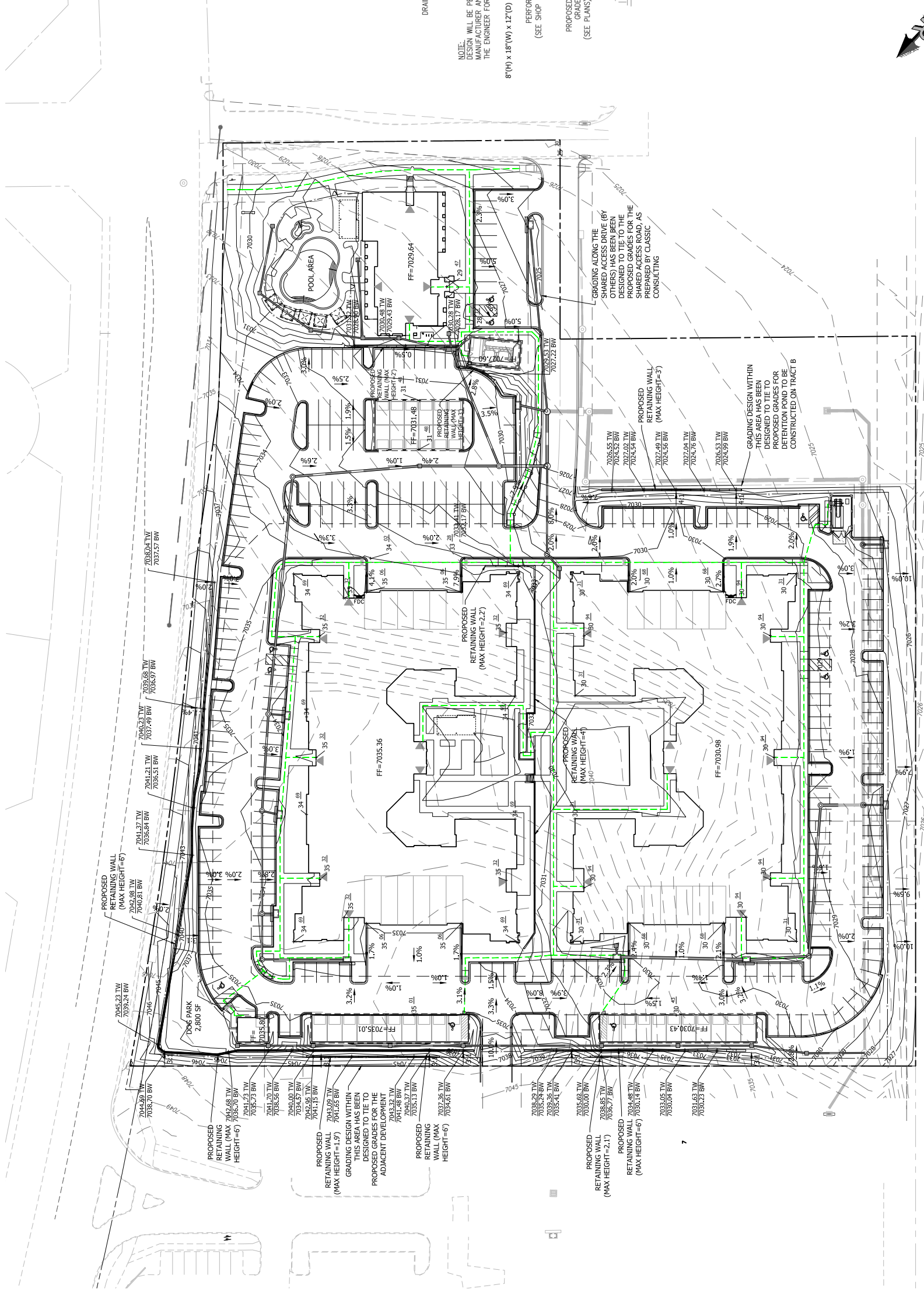
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

R&R ENGINEERS-SURVEYORS, INC.
ENGINEERS & SURVEYORS
WWW.RRENINEERS.COM

DATE: 11/25/20
BY: CAV
2ND DEVELOPMENT PLAN SUBMITTAL
DATE: 7/12/21
BY: CAV
3RD DEVELOPMENT PLAN SUBMITTAL

CONDITIONAL USE DEVELOPMENT PLAN CALIBER AT BRIARGATE

LOT 3, POWERS OFFICE PARK FILING NO. 3
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 9292-9242 GRAND CORDERA PARKWAY

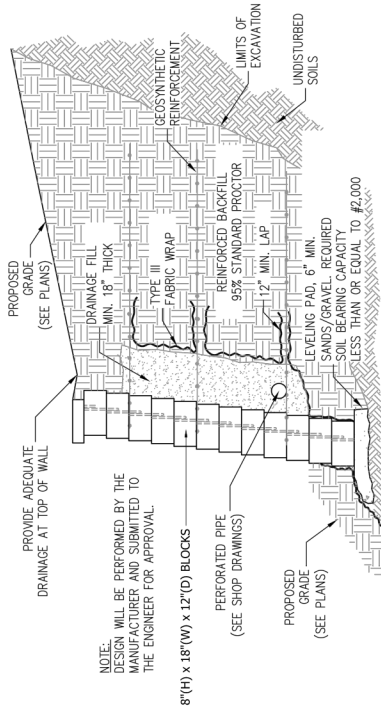


LEGEND

LINETYPE/SYMBOL	DESCRIPTION
---	EX. PROPERTY LINE
---	EX. EASEMENT
---	EX. CURB AND GUTTER
---	EX. CONCRETE SIDEWALK
---	EX. FIRE HYDRANT
---	EX. UTILITY POLE
---	EX. STREET LIGHT
---	PROP. PROPERTY LINE
---	PROP. EASEMENT
---	PROP. CURB AND GUTTER
---	PROP. CONCRETE SIDEWALK
---	PROP. FIRE HYDRANT
---	PROP. UTILITY POLE
---	PROP. STREET LIGHT
---	PROP. ADA ACCESS ROUTE
---	PROP. RETAINING WALL

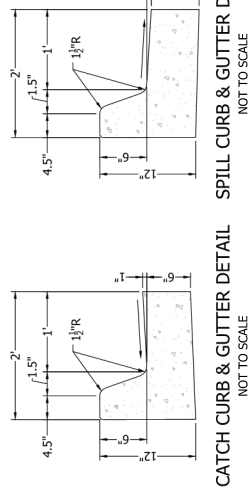
DESCRIPTION OF DRAINAGE

ALL RUNOFF FROM THE SITE WILL SHEET FLOW TO CURB AND GUTTER WITHIN THE PARKING AREAS. RUNOFF FROM THE ROOF AREAS WILL BE DISCHARGED TO THE SURFACE ADJACENT TO THE BUILDINGS AND SHEET FLOW TO THE PARKING AREAS OR TO THE STORM SEWER COLLECTION SYSTEM. THE STORM SEWER COLLECTION SYSTEM ABOUT THE PARKING AREA AND WILL FORM THE STORM SEWER COLLECTION SYSTEM. THE COLLECTION SYSTEM WILL THEN DISCHARGE TO THE FULL SPECTRUM DETENTION POND TO BE CONSTRUCTED ON TRACT B BY OTHERS. THE FULL SPECTRUM DETENTION POND WILL PROVIDE FOR WATER QUALITY AS WELL AS DETENTION OF THE EXCESS URBAN RUNOFF VOLUME (EUV) AND THE 100-YEAR STORM EVENTS. THE EXTENDED DETENTION BASIN WILL DISCHARGE TO THE NORTHWEST AND STORMWATER FROM THE SITE WILL ULTIMATELY REACH PINE CREEK.

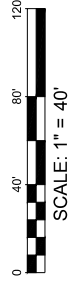


RETAINING WALL MODULAR BLOCK CONCEPTUAL SECTION

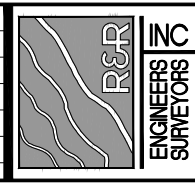
N. I.T.S.
MANUFACTURER: KEYSTONE COMPAC; COLOR: TAN; 12"(D) x 18"(W) x 8"(H) BLOCKS
NOTE: FOR CONCEPTUAL DESIGN ONLY. FINAL DESIGN TO BE DESIGNED BY OTHERS



CATCH CURB & GUTTER DETAIL NOT TO SCALE
SPILL CURB & GUTTER DETAIL NOT TO SCALE



NO.	REVISION	BY	DATE
1	2ND DEVELOPMENT PLAN SUBMITTAL	CAV	1/22/21
2	3RD DEVELOPMENT PLAN SUBMITTAL	CAV	2/12/21



R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR
CONSTRUCTION

CALIBER AT BRIARGATE
SITE ADDRESS: 9292-9242 GRAND CORDERA PARKWAY
COLORADO SPRINGS, CO 80924
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143
PREPARED FOR:

JOB NO: GC20105
PRG SUBM DATE: 12/09/2020
OWN: CAV
CHK: JHL

PRELIMINARY
GRADING PLAN

NO. 5 OF 28

CPC CU 20-00171

CALIBER at BRIARGATE

SITE LIGHTING DETAILS

- NOTES:
1. LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 3. BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 4. LIGHTING AS SUPPLIED BY INSOLUTION PRODUCTS. CONTACT JIM.RAGO@INSOLUTIONPRODUCTS.COM LIGHTING RECEIVED AND STORED BY EC.



TYPE SL4
PEDESTRIAN SCALE
POST TOP



TYPE LL1
RECESSED STEP LIGHT



TYPE WL3
CLUBHOUSE FRONT
ENTRANCE MOUNTED on
WALL BRACKET ARM



TYPE WL2
WALL MOUNT AREA LIGHT



TYPE WL1
EXTERIOR COLUMN or
DOORWAY



TYPE SL5
EXTERIOR SOFFITS



TYPE SL3
BOLLARDS

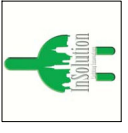


TYPE LL1
RECESSED STEP LIGHT

Revisions	
#	Date

Drawn By:	
Checked By:	Jrago
Date:	02/12/2021
Scale:	NTS

Insolution LLC
5157 E 64th St
Suite C
Indianapolis, IN
46220

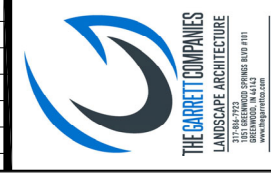


CONDITIONAL USE DEVELOPMENT PLAN CALIBER AT BRIARGATE

LOT 3, POWERS OFFICE PARK FILING NO. 3
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 9292-9242 GRAND CORDERA PARKWAY



NO.	REVISION	DATE	BY
1	2ND DEVELOPMENT PLAN SUBMITTAL	01/22/21	
2	3RD DEVELOPMENT PLAN SUBMITTAL	02/12/21	



PRELIMINARY
FOR REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION.
NICHOLAS ALLEN SMITH
Registered Landscape Architect of the
State of COLORADO
Registration Number: 1436

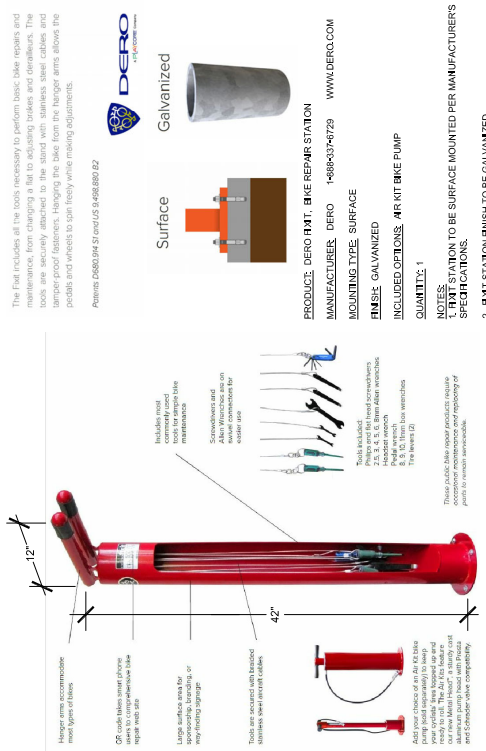
**NOT FOR
CONSTRUCTION**

CALIBER AT BRIARGATE
SITE ADDRESS: 9292-9242 GRAND CORDERA PARKWAY
COLORADO SPRINGS, CO 80924
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143
PREPARED FOR:

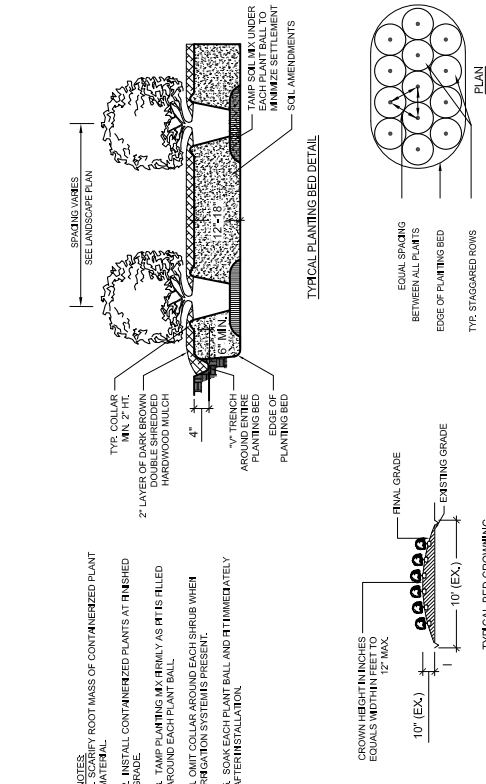
CONTRIBUTOR USE DEVELOPMENT PLAN
JOB NO. GC20.05
DRG. SERIAL DATE 11/25/2020
DWNR: TGC
CHKR: TGC
NAME

LANDSCAPE DETAILS

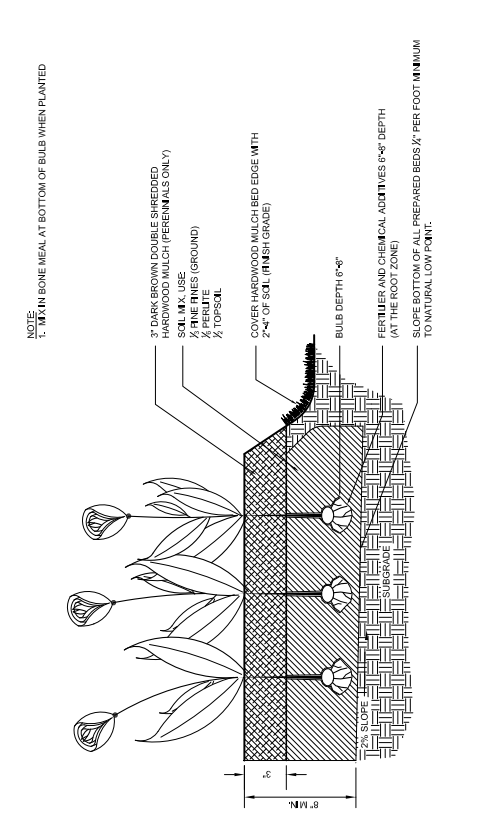
NO. 11 OF 28



3 FIXIT STATION
11.0f.28 PRODUCT INFORMATION NTS



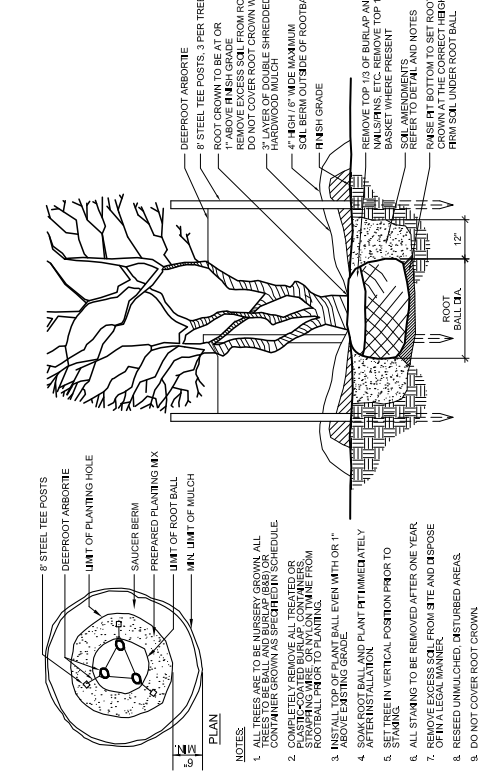
2 SHRUB PLANTING BED
11.0f.28 PLAN AND SECTION NTS

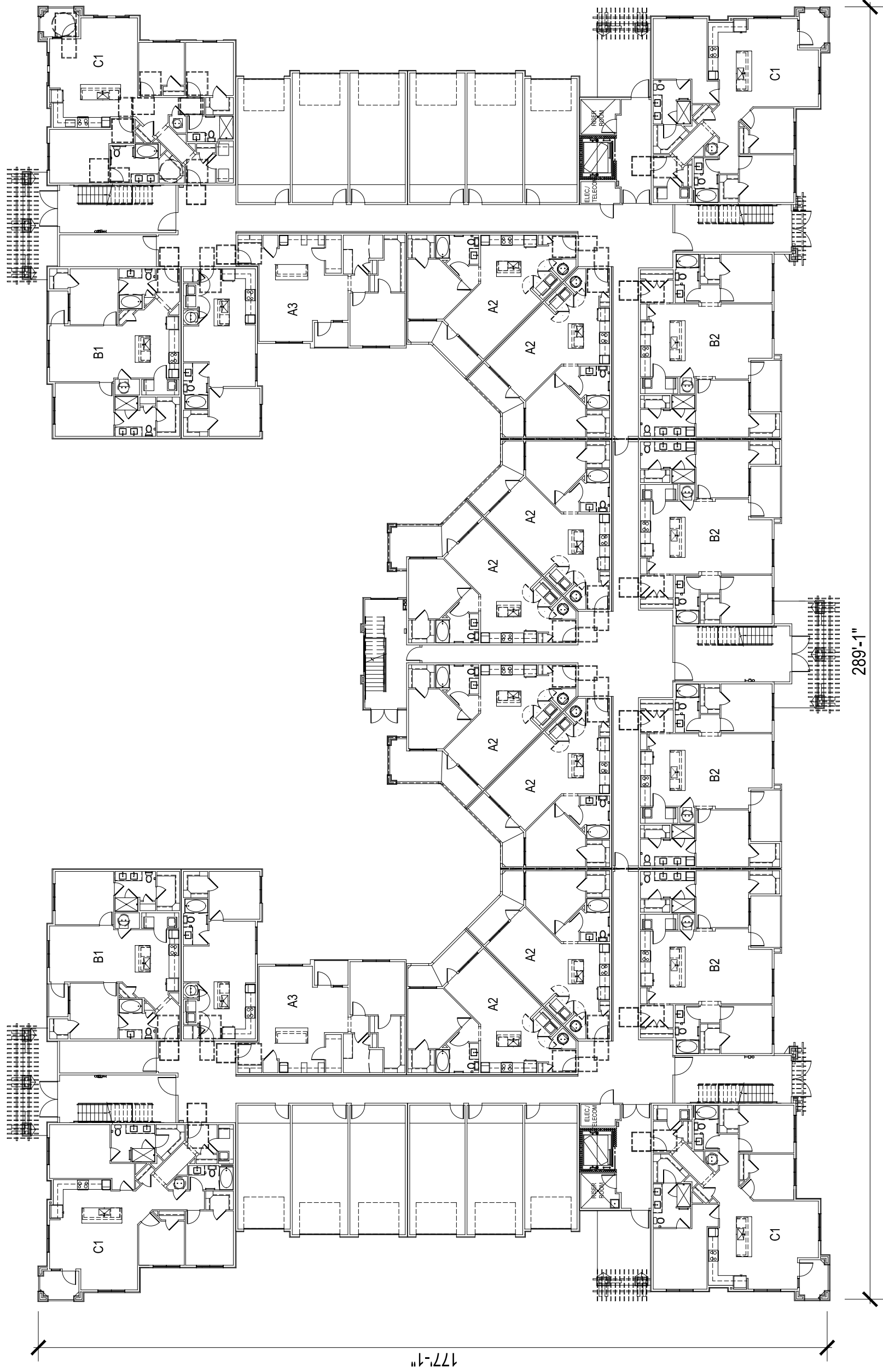


1 PLANTING BED FOR ANNUALS AND PERENNIALS
11.0f.28 SECTION NTS



5 MULTI-TRUNK TREE
11.0f.28 SECTION AND PLAN NTS





BUILDING TYPE I - 1ST FLOOR

**CONDITIONAL USE
DEVELOPMENT PLAN**

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

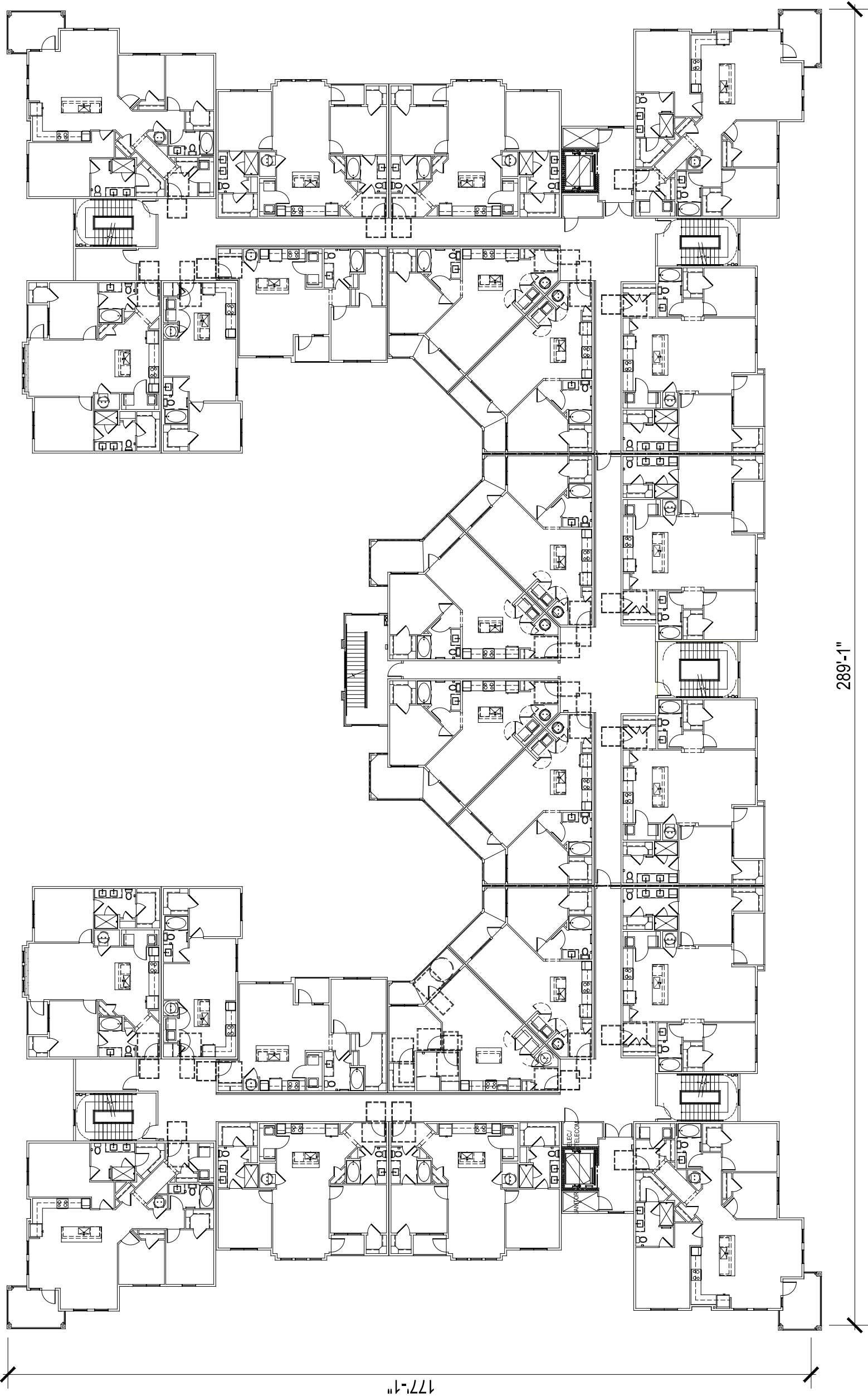


HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com



BUILDING PLAN
November 24, 2020

© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, LP. THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF HUMPHREYS & PARTNERS ARCHITECTS, LP AND MAY BE REPRODUCED IN ANY FORM WITHOUT ITS WRITTEN PERMISSION. ARCHITECTURAL CONCEPTUAL SITE PLANS ARE FOR FEASIBILITY PURPOSES ONLY. REVISIONS MAY OCCUR DUE TO FURTHER INVESTIGATION FROM REGULATORY AGENCIES AND BUILDING CODE ANALYSIS. DIMENSIONS SHOWN ARE OF A STRATEGIC PLAN ONLY. TO SURVEY AND CIVIL DRAWINGS FOR TECHNICAL INFORMATION AND MEASUREMENTS.



177'-1"

289'-1"

BUILDING TYPE I - TYPICAL FLOOR

CONDITIONAL USE
DEVELOPMENT PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

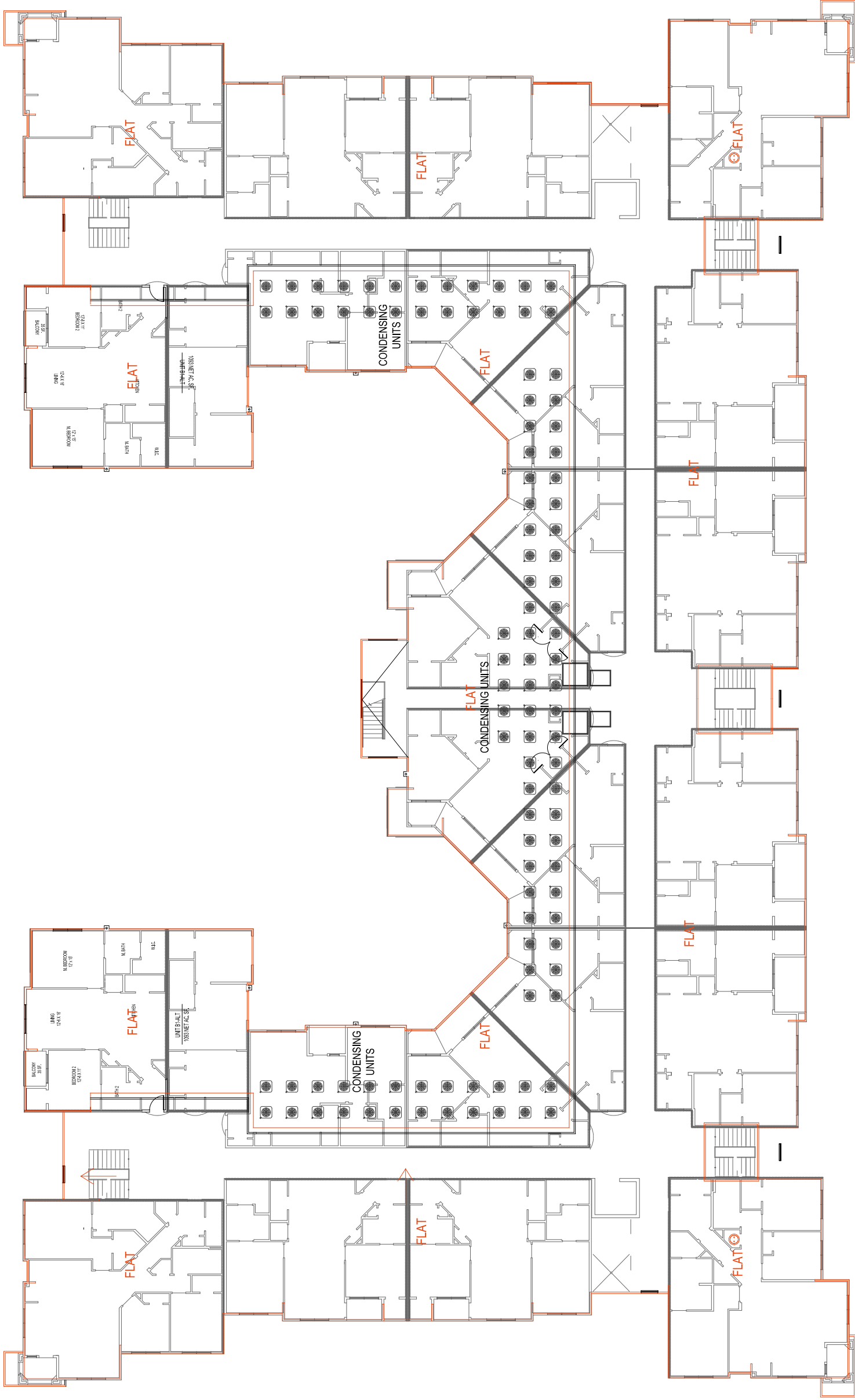


HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com



BUILDING PLAN
November 24, 2020

© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, LP. THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF HUMPHREYS & PARTNERS ARCHITECTS, LP AND MAY BE REPRODUCED IN ANY FORM WITHOUT ITS WRITTEN PERMISSION. ARCHITECTURAL CONCEPTUAL SITE PLANS ARE FOR FEASIBILITY PURPOSE ONLY. REVISIONS MAY OCCUR DUE TO FURTHER INVESTIGATION FROM REGULATORY AGENCIES AND BUILDING CODE ANALYSIS. DIMENSIONS SHOWN ARE OF A STRATEGIC PLAN ONLY. TO SURVEY AND CIVIL DRAWINGS FOR TECHNICAL INFORMATION AND MEASUREMENTS.



**CONDITIONAL USE
DEVELOPMENT PLAN**

SCALE: 3/32" = 1'-0" (24"x36" SHEET)

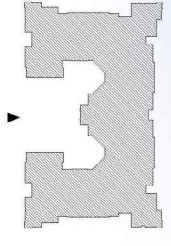


HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

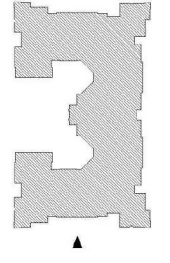


ROOF PLAN
November 24, 2020

© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, LP. THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF HUMPHREYS & PARTNERS ARCHITECTS, LP AND MAY BE REPRODUCED IN ANY FORM WITHOUT ITS WRITTEN PERMISSION. ARCHITECTURAL CONCEPTUAL SITE PLANS ARE FOR FEASIBILITY PURPOSE ONLY. REVISIONS MAY OCCUR DUE TO FURTHER INVESTIGATION FROM REGULATORY AUTHORITIES AND BUILDING CODE ANALYSIS. DIMENSIONS SHOWN ARE OF A STRATEGIC INTEREST ONLY. TO SURVEYS AND CIVIL DRAWINGS FOR TECHNICAL INFORMATION AND MEASUREMENTS.



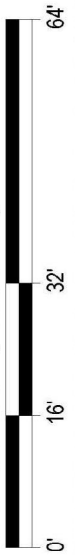
SOUTH ELEVATION



EAST ELEVATION

CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



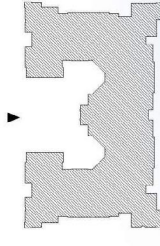
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5338 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9638 | www.humphreys.com



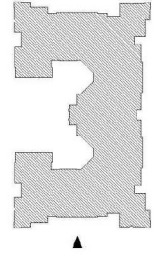
BUILDING I - ELEVATIONS

November 17, 2020

© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, LP. The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without the written permission. Architectural concepts in this plan are for feasibility purpose only. Revisions may occur due to further investigation, floor regulatory jurisdiction and building code analysis. Dimensions shown are of a strategic initial contract to survey and civil drawings for technical information and measurements.



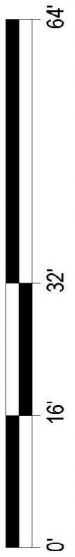
NORTH ELEVATION



WEST ELEVATION

CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



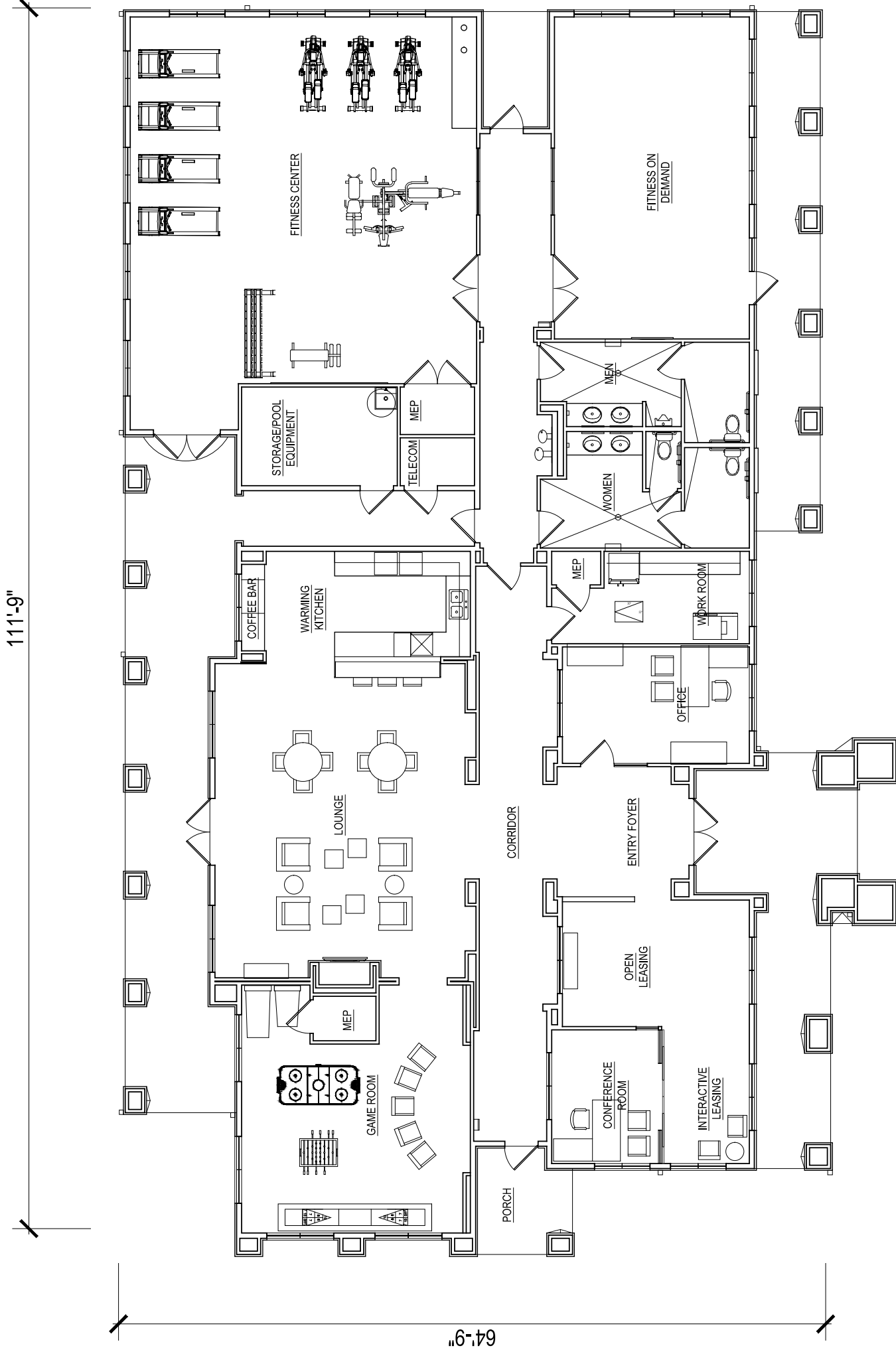
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5338 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9638 | www.humphreys.com



BUILDING II- ELEVATIONS

November 17, 2020

© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, LP. The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without the written permission. Architectural concept is in plan and for feasibility purpose only. Revisions may occur due to further investigation, floor plan, and construction details. Dimensions shown are of a strategic initial sketch to provide information and measurements.

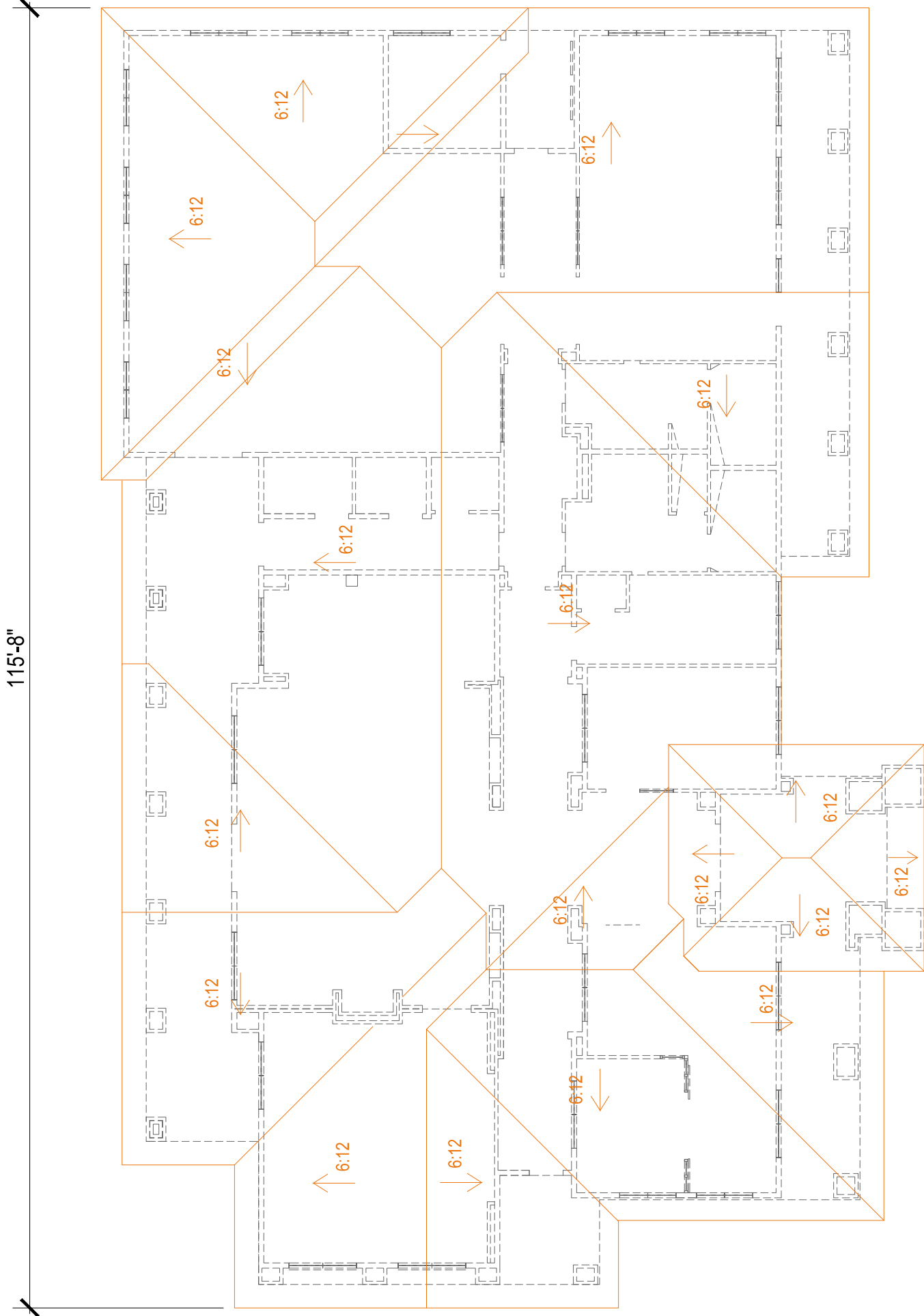


CLUBHOUSE - NET AREA 5371 SQ. FT.

CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)





115'-8"

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



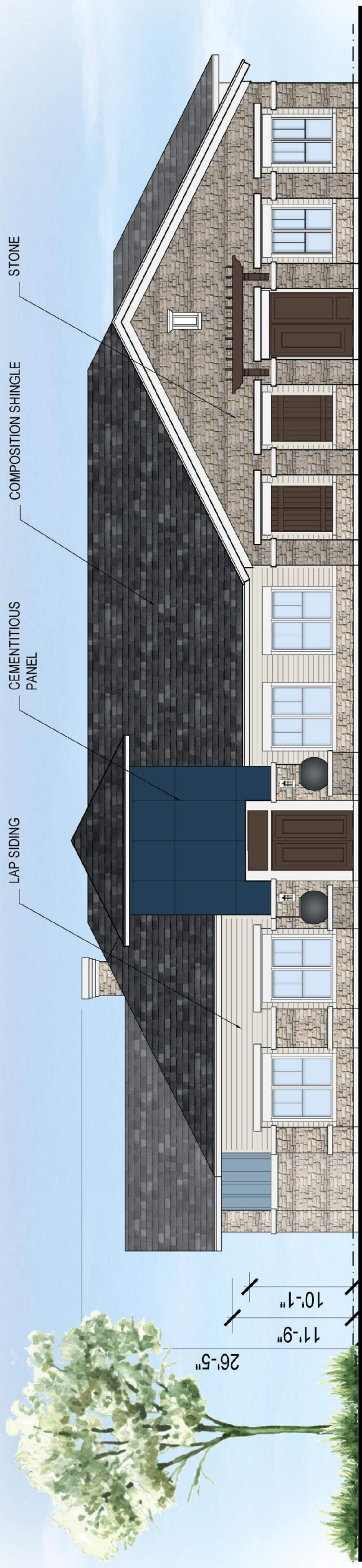
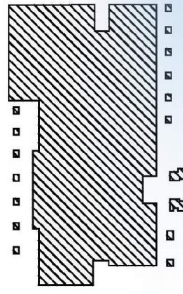
CONDITIONAL USE DEVELOPMENT PLAN

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com



CLUBHOUSE ROOF
 November 24, 2020

© 2020 by HUMPHREYS & PARTNERS ARCHITECTS, L.P. THE ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF HUMPHREYS & PARTNERS ARCHITECTS, L.P. AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION. ARCHITECTURAL CONCEPTUAL SITE PLANS ARE FOR FEASIBILITY PURPOSES ONLY. REVISIONS MAY OCCUR DUE TO FURTHER INVESTIGATION FROM REGULATORY AGENCIES AND BUILDING CODE ANALYSIS. DIMENSIONS SHOWN ARE OF A STRATEGIC INTENT ONLY. REFER TO SURVEY AND CIVIL DRAWINGS FOR TECHNICAL INFORMATION AND MEASUREMENTS.



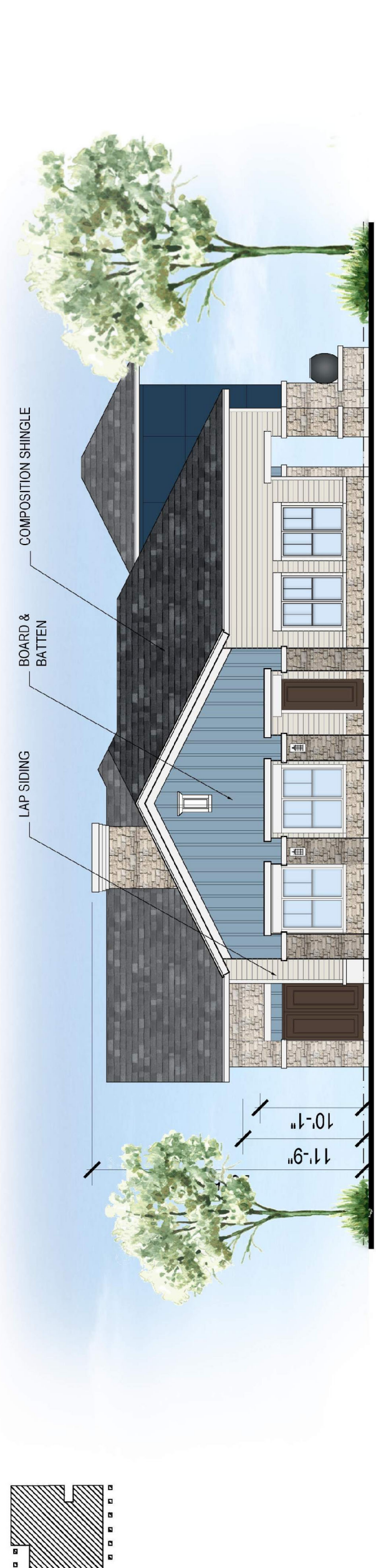
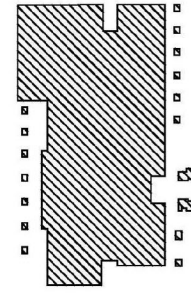
STONE

COMPOSITION SHINGLE

CEMENTITIOUS PANEL

LAP SIDING

FONT ELEVATION



LAP SIDING

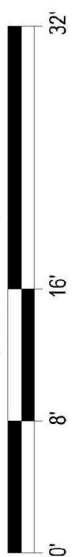
BOARD & BATTEN

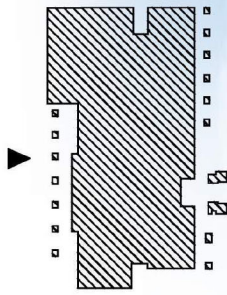
COMPOSITION SHINGLE

RIGHT ELEVATION

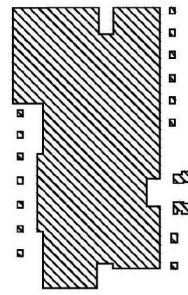
CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



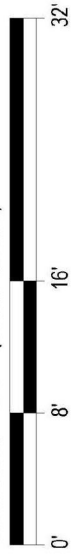


REAR ELEVATION



LEFT ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



CONDITIONAL USE DEVELOPMENT PLAN



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9836 | www.humphreys.com

CLUBHOUSE ELEVATIONS

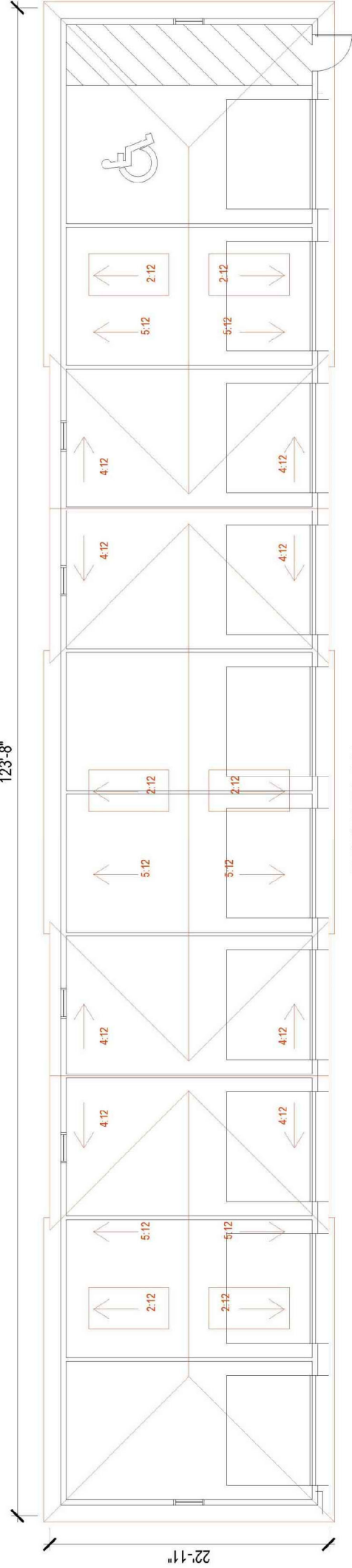
October 23, 2020



REAR ELEVATION

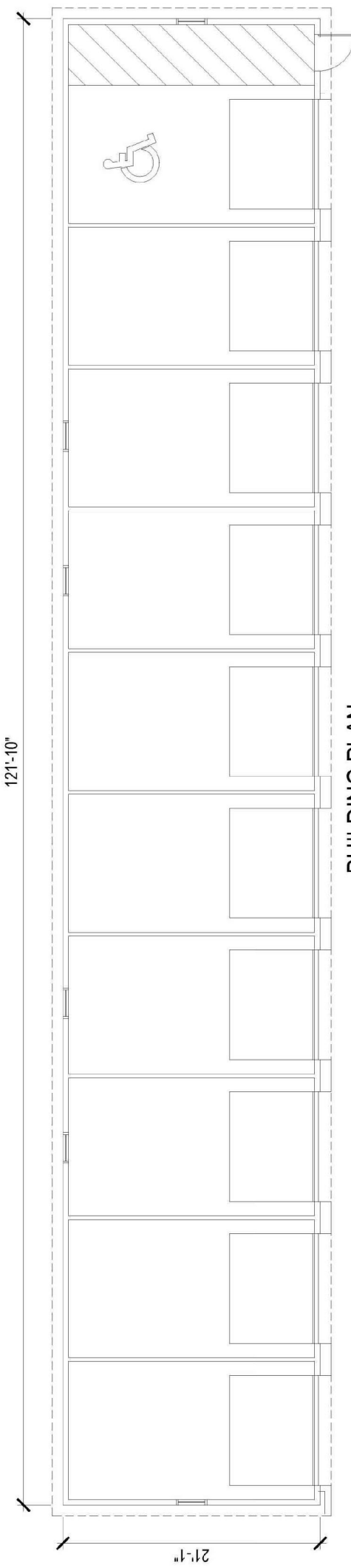
FRONT ELEVATION

123'-8"



ROOF PLAN

121'-10"



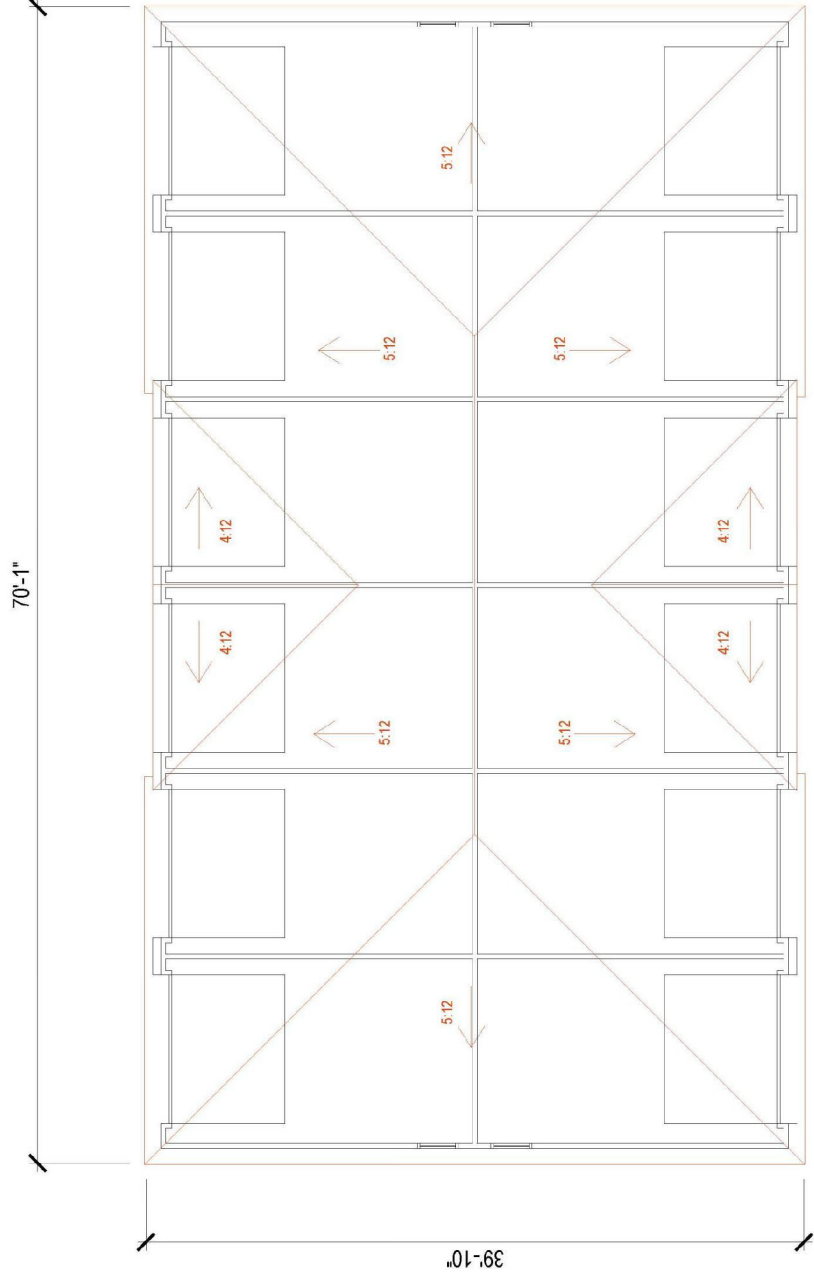
BUILDING PLAN

CONDITIONAL USE DEVELOPMENT PLAN

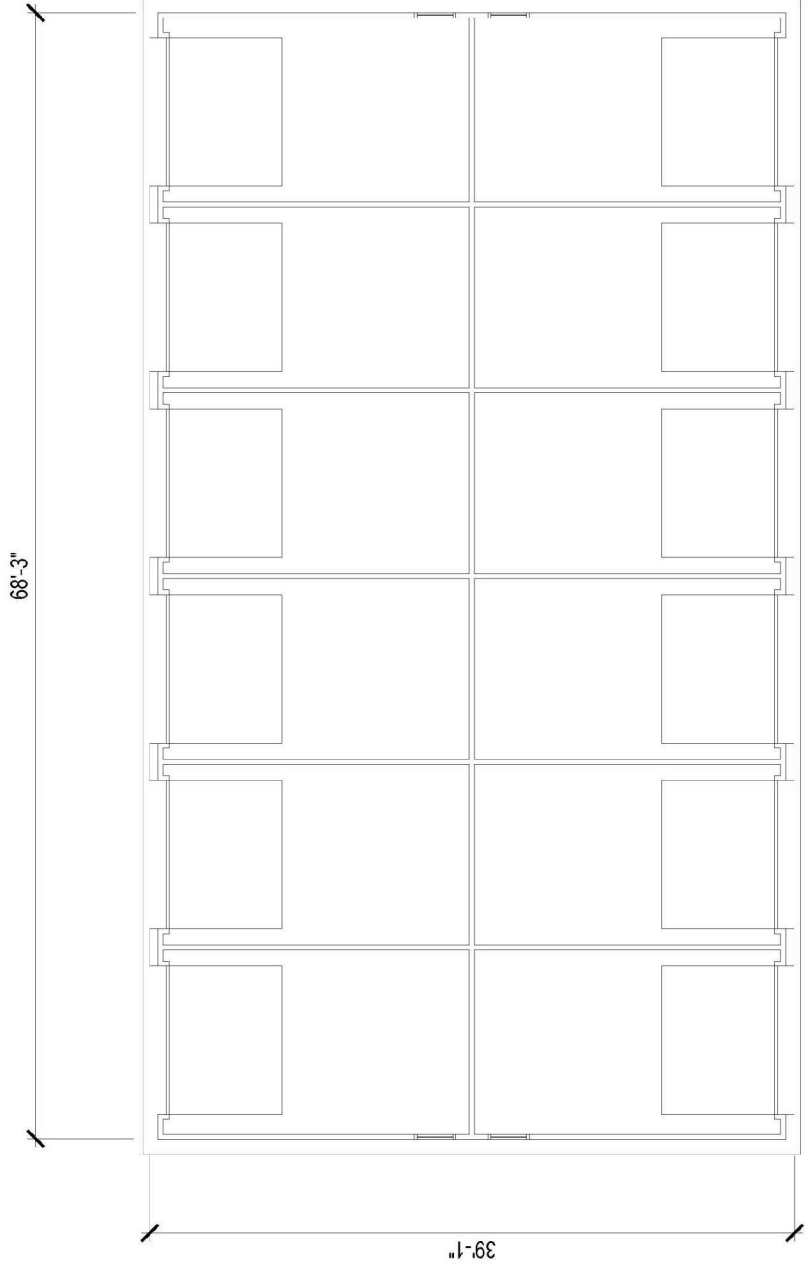
SCALE: 3/16" = 1'-0" (24"x36" SHEET)



© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, L.P. The arrangements depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without its written permission. Architectural conceptual site plans are for feasibility purposes only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



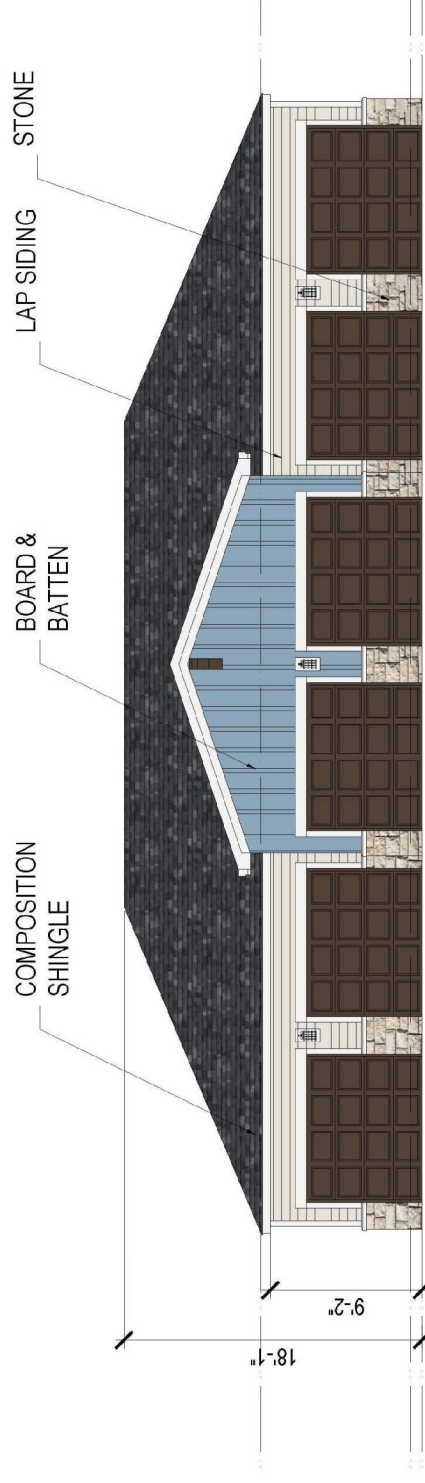
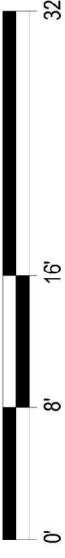
ROOF PLAN



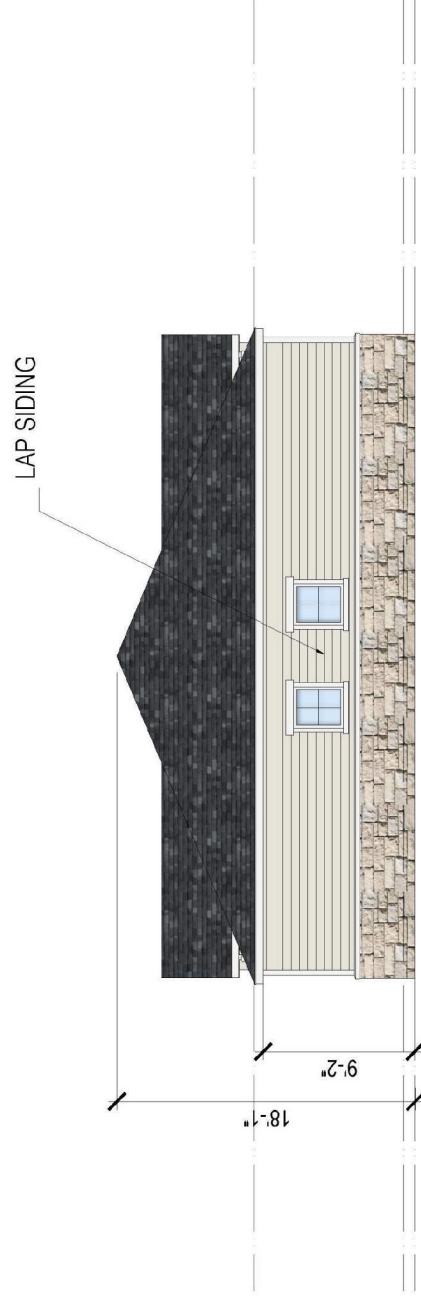
BUILDING PLAN

CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



FRONT ELEVATION / REAR ELEVATION

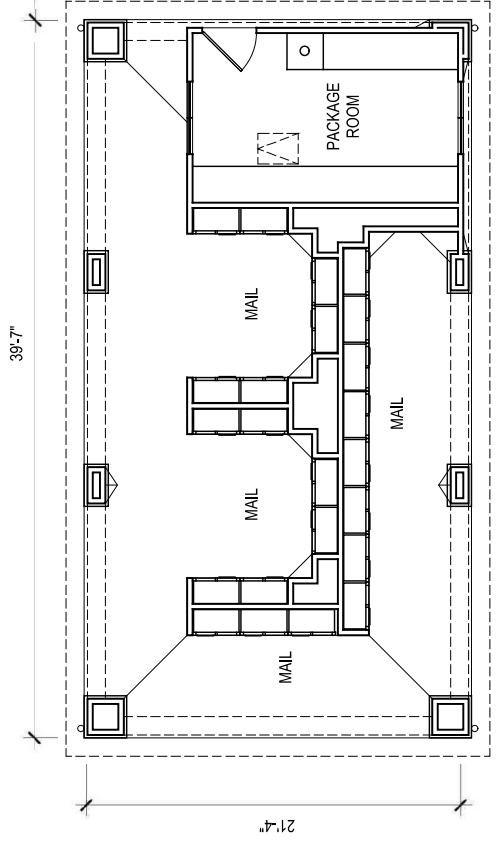
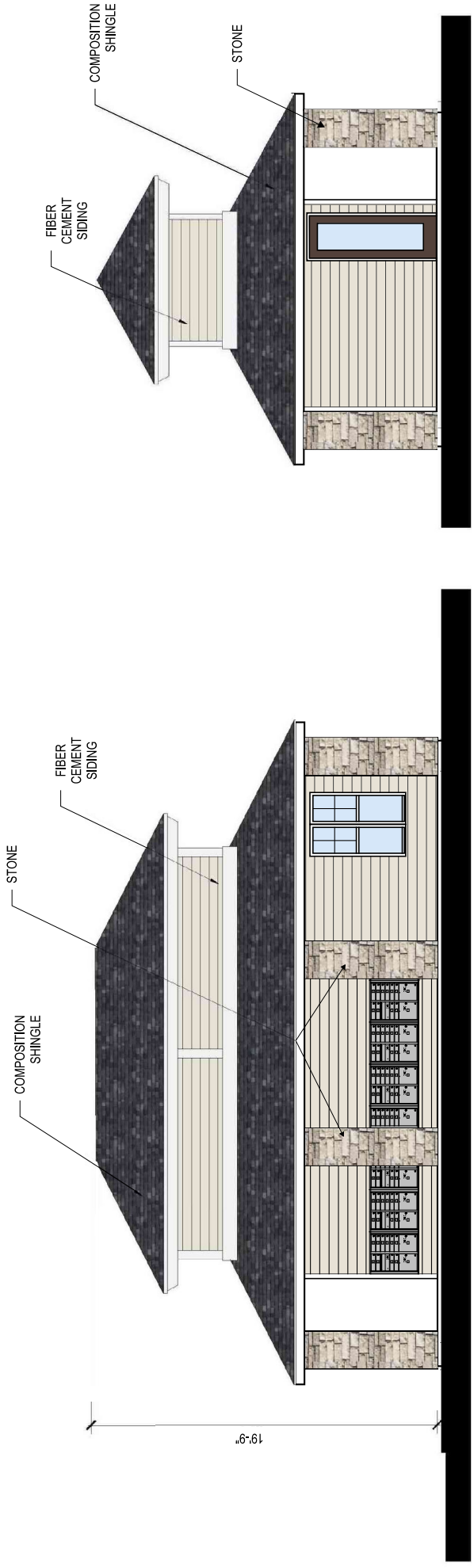


RIGHT ELEVATION / LEFT ELEVATION

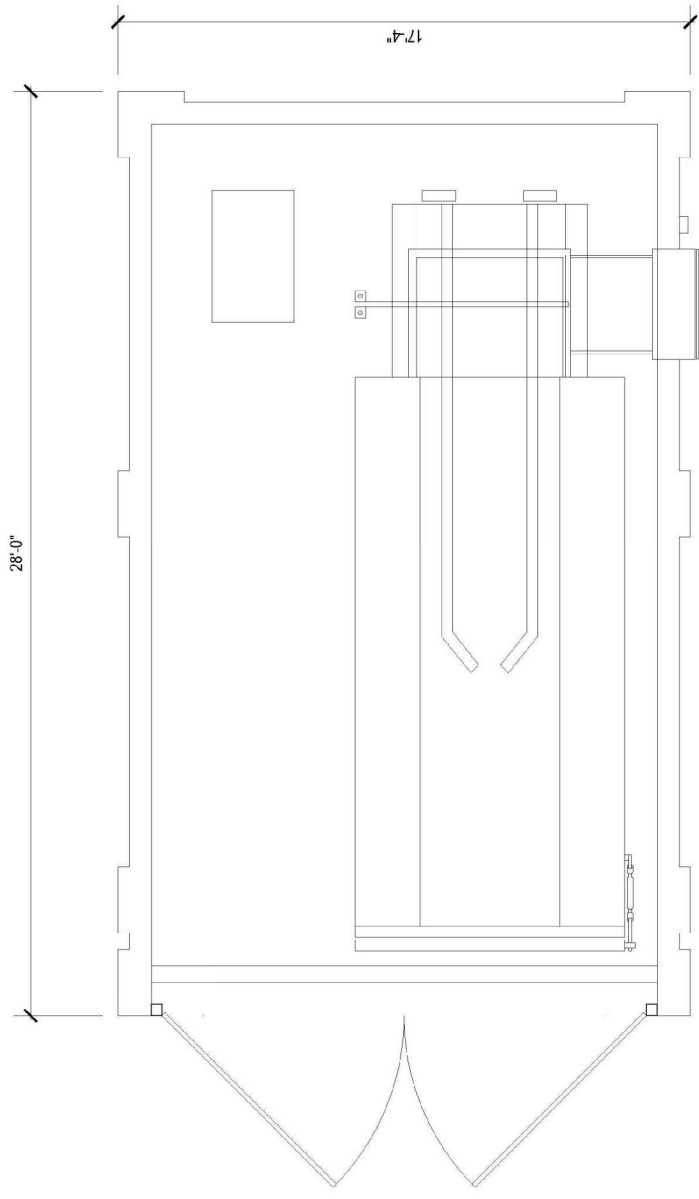


CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



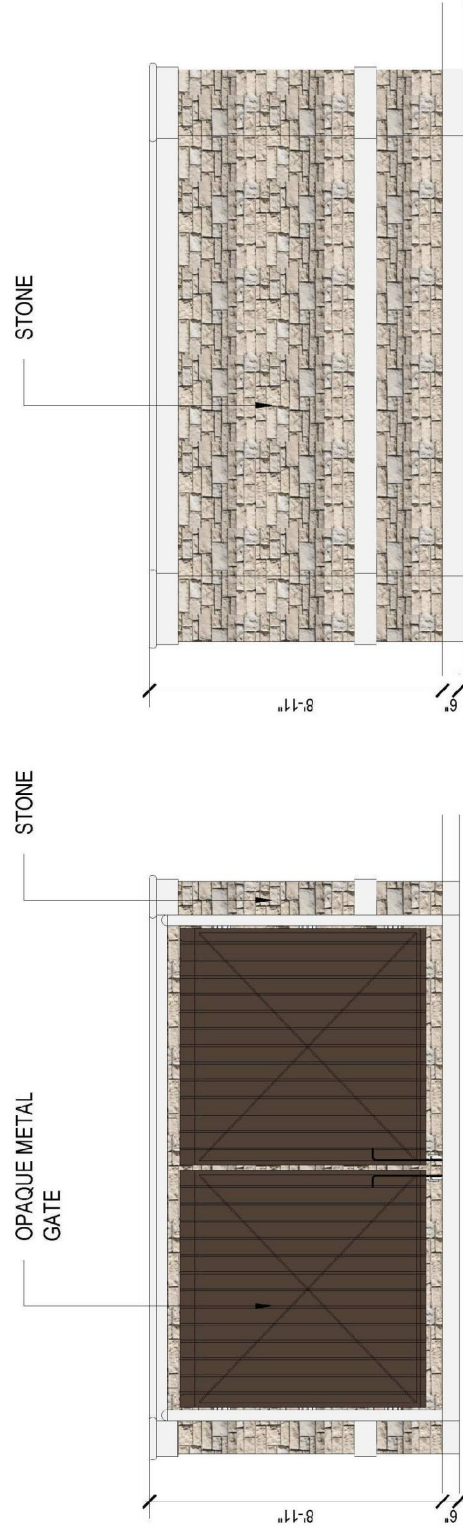
© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, L.P. The arrangements depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be reproduced in any form without its written permission. Architectural conceptual site plans are for feasibility purposes only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



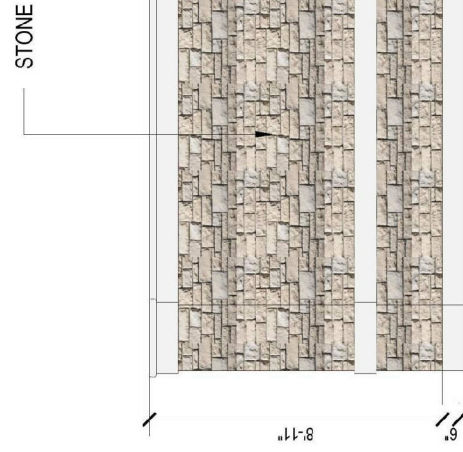
FLOOR PLAN



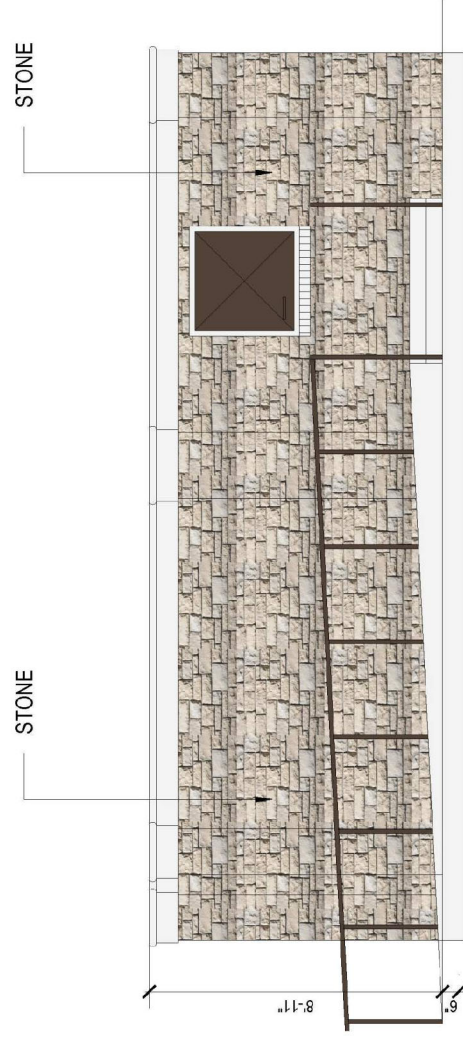
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

CONDITIONAL USE DEVELOPMENT PLAN

SCALE: 3/8" = 1'-0" (24"x36" SHEET)

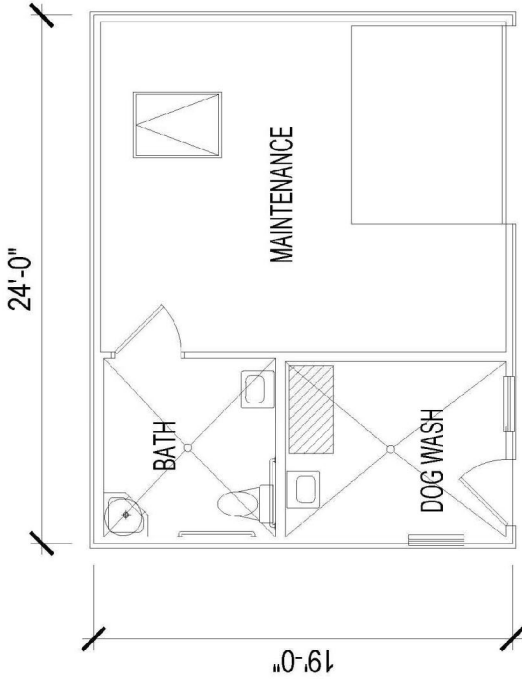


HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9638 | www.humphreys.com

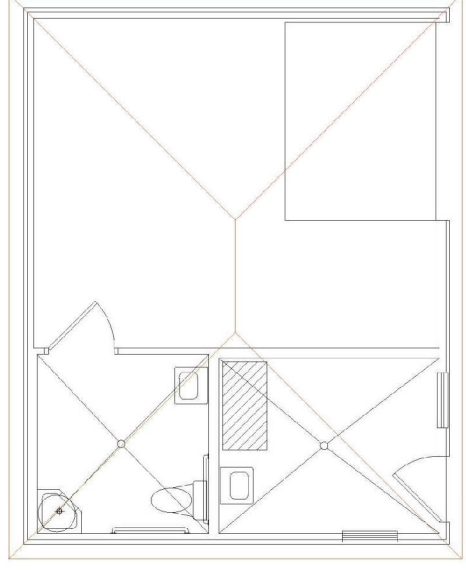


COMPACTOR
October 23, 2020

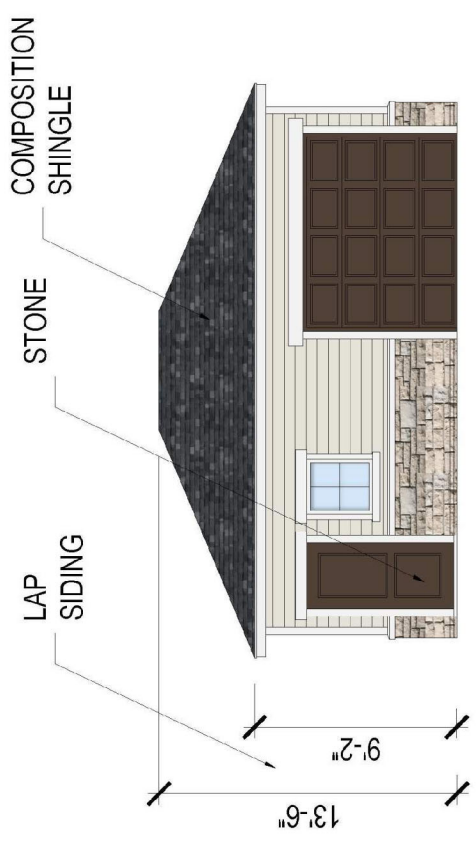
CALIBER AT BRIARGATE
COLORADO SPRINGS, CO
HPA# 20270
CPC CU 20-00171



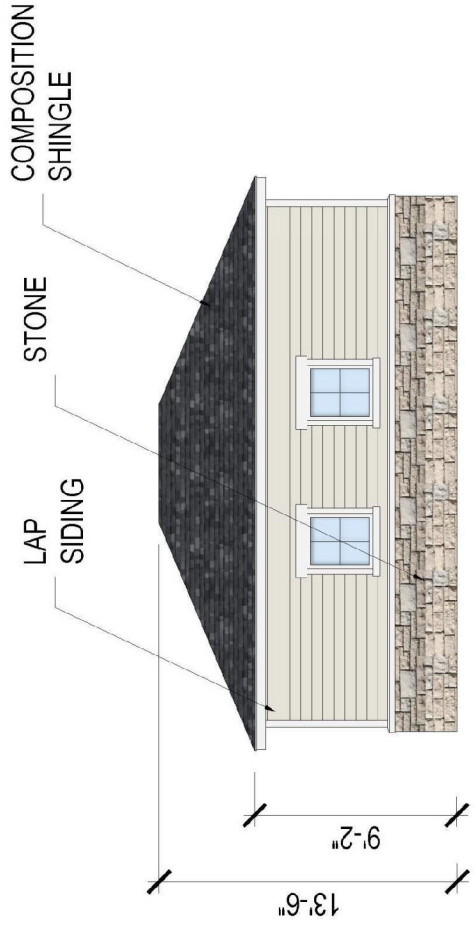
MAINTENANCE
440 SQ. FT.



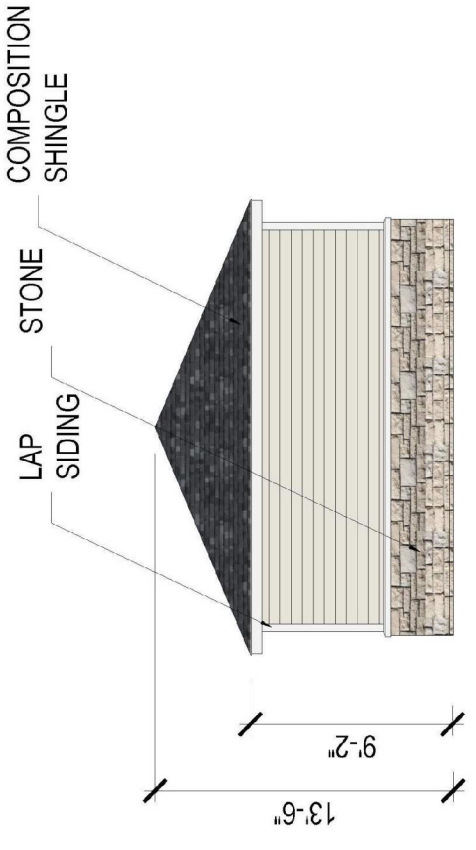
ROOF PLAN



FRONT ELEVATION



REAR ELEVATION



LEFT / RIGHT ELEVATION

CONDITIONAL USE
DEVELOPMENT PLAN

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



© 2020 BY HUMPHREYS & PARTNERS ARCHITECTS, L.P. The arrangement depicted herein are the sole property of Humphreys & Partners Architects, LP and may not be reproduced in any form without its written permission. Architectural conceptual site plans are for feasibility purpose only. Revisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.