

TRADITIONS AT COLORADO SPRINGS

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

TITLE SHEET
JUNE 2016

LEGAL DESCRIPTION

LOT 1, TRADITIONS AT COLORADO SPRINGS FILING NO. 1 (PLAT TO BE SUBMITTED)
A TRACT OF LAND LOCATED IN A PORTION OF SECTION 18, TOWNSHIP 13 SOUTH, RANGE 85 WEST OF THE 8TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF RIDGEMAN AT STETSON HILLS FILING NO. 15 AS FILED FOR RECORD AT RECEPTION NO. 20155060 OF THE RECORDS OF EL PASO COUNTY, AND POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF POWERS BOULEVARD, EAST ON SAID WESTERLY RIGHT-OF-WAY LINE 365.26 FEET TO THE POINT OF BEGINNING OF THE TRACT TO BE DESCRIBED HEREBY; THENCE NORTH 88°42'11" WEST, 508.07 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF POWERS BOULEVARD AS RECORDED IN BOOK 8104 AT PAGE 1287 OF THE RECORDS OF SAID EL PASO COUNTY; THENCE FOLLOWING SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 011°49' EAST, 514.84 FEET TO INTERSECT THE SOUTH LINE OF RIDGEMAN BUSINESS CENTER FILING NO. 1 AS FILED FOR RECORD AT RECEPTION NO. 203059519 OF SAID COUNTY RECORDS;
THENCE ALONG SAID SOUTH LINE, SOUTH 89°42'24" EAST, 493.24 FEET TO THE SAID WESTERLY RIGHT-OF-WAY LINE OF TUTT BOULEVARD;
THENCE FOLLOWING SAID WESTERLY LINE THE FOLLOWING TWO (2) COURSES:
1. SOUTH 10°39'38" EAST, 30.15 FEET;
2. SOUTH 001°7'35" WEST, 494.11 FEET TO THE POINT OF BEGINNING.
COUNTY OF EL PASO,
STATE OF COLORADO

PROJECT TEAM:

CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC
519 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, CO 80907
MR. KYLE CAMPBELL, P.E. (719) 785-0790

LANDSCAPE ARCHITECT

HIGHER GROUND DESIGNS, INC.
3610 REBECCA LANE, SUITE 111
COLORADO SPRINGS, COLORADO 80917
MR. JOHN MACKAY (719) 477-1846

ARCHITECT

THE ARCHITECTS OFFICE, PLLC
499 MAIN STREET, SUITE 200
DENVER, CO 80202
MR. JOHN PRICE (208) 343-2931

GEOTECHNICAL ENGINEER

ENTECH ENGINEERING INC.
505 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
MR. JOE GOODE, P.E. (719) 531-5599

SHEET INDEX

COVER SHEET	SHEET 1 OF 14
DEVELOPMENT PLAN	SHEET 2 OF 14
PRELIMINARY GRADING & EROSION CONTROL PLAN	SHEET 3 OF 14
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	SHEET 4 OF 14
DEVELOPMENT PLAN DETAIL SHEET	SHEET 5 OF 14
LANDSCAPE PLAN AND NOTES	SHEET LP-01 OF 14
LANDSCAPE PLAN	SHEET LP-02 OF 14
LANDSCAPE INSTALLATION NOTES	SHEET LP-03 OF 14
BUILDING ELEVATIONS	SHEET LP-04 OF 14
BUILDING ELEVATIONS	SHEET 10 OF 14
BUILDING ELEVATIONS	SHEET 11 OF 14
BUILDING ELEVATIONS	SHEET 12 OF 14
SITE LIGHTING PLAN	SHEET 13 OF 14
SITE LIGHTING DETAILS	SHEET 14 OF 14

GENERAL NOTES:

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS.
NO DIRECT VEHICULAR ACCESS FROM LOT 1 SHALL BE PERMITTED TO POWERS BOULEVARD.

SITE DATA:

APPLICANT:
CLASSIC CONSULTING ENGINEERS & SURVEYORS
619 N. CASCADE AVENUE SUITE 200
COLORADO SPRINGS, COLORADO 80907
MR. KYLE CAMPBELL, P.E. (719) 785-0790

DEVELOPER:

INLAND GROUP
1620 N. MAMER ROAD, BLDG B
SPOKANE VALLEY, WA 99216
MR. ROBERT KEINER (509) 321-3204
NORTH POWERS PROPERTIES II, LLC
PO BOX 9867
BRECKENRIDGE, CO 80424

TAX SCHEDULE NO.:

53182-00-020
ADDRESS:
TBD TUTT BLVD
AREA:
6.000 ACRES
EXISTING ZONING:
PBC-AO
MASTER PLAN:
STETSON HILLS PHASE II
(UNDEVELOPED PER CITY CODE
(719) 408-2100)
OFFICE INDUSTRIAL
PARK R&D
FILE NO.:UNDEVELOPED
CPC MPA 05-246

EXISTING USE:

UNDEVELOPED
180 UNIT-4 STORY APARTMENT
BLDG W/ INTERNAL CLUBHOUSE
30 DU/ACRE
2017 FULL BUILDOUT
45'
SEE ELEVATION SHEETS
24' UNLESS OTHERWISE NOTED
15.9%
36%
PROPOSED LOT COVERAGE BY ASPHALT/CONCRETE:

PROPOSED LOT COVERAGE BY BUILDINGS:

15.9%
36%
PROPOSED LOT COVERAGE BY ASPHALT/CONCRETE:
25' MINIMUM
20' MINIMUM
25' MINIMUM
25' MINIMUM
8 SPACES
136 SPACES
136 SPACES
283 SPACES REQUIRED
52 SPACES
40 SPACES
188 SPACES
286 SPACES PROVIDED
7 SPACES (W/ 7 VAN)
8'X18'
8'X18'
5'X18' (8' WIDE FOR VAN)
TOTAL BEDROOMS: 260
FLOODPLAIN STATEMENT:
NO PORTION OF THE PROPOSED SITE IS WITHIN A 100-YEAR FLOODPLAIN
AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.)
MAP NUMBER DBD41C 0537F EFFECTIVE DATE, MARCH 17, 1997.

LANDSCAPE SETBACKS:

ALONG POWERS BLVD:
ALONG TUTT BLVD:
BUILDING SETBACKS:
ALONG POWERS BLVD:
ALONG TUTT BLVD:

PARKING REQUIREMENTS:

8 STUNDO X 1.5
92 1 BEDROOM X 1.5
80 2 BEDROOM X 1.7
HC SPACES REQUIRED = 7 SPACES
PARKING PROVIDED:
TOTAL PARKING SPACES PROVIDED:
CAR PORTS
GARAGES
OPEN SPACES
HC SPACES PROVIDED:
TYPICAL PARKING SPACE:
TYPICAL HANDICAPPED PARKING SPACE:
TYPICAL HANDICAPPED ZONE:
TOTAL BEDROOMS: 260

LANDSCAPE SETBACKS:

ALONG POWERS BLVD:
ALONG TUTT BLVD:
BUILDING SETBACKS:
ALONG POWERS BLVD:
ALONG TUTT BLVD:

PARKING REQUIREMENTS:

8 STUNDO X 1.5
92 1 BEDROOM X 1.5
80 2 BEDROOM X 1.7
HC SPACES REQUIRED = 7 SPACES
PARKING PROVIDED:
TOTAL PARKING SPACES PROVIDED:
CAR PORTS
GARAGES
OPEN SPACES
HC SPACES PROVIDED:
TYPICAL PARKING SPACE:
TYPICAL HANDICAPPED PARKING SPACE:
TYPICAL HANDICAPPED ZONE:
TOTAL BEDROOMS: 260

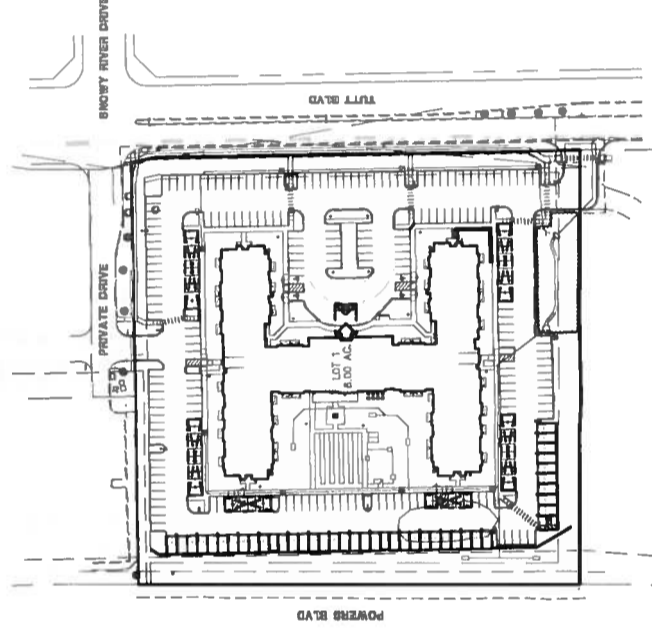
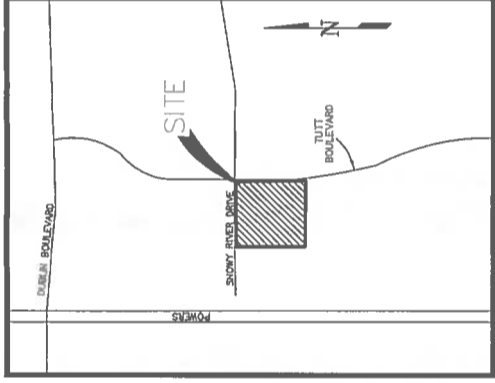
FLOODPLAIN STATEMENT:

NO PORTION OF THE PROPOSED SITE IS WITHIN A 100-YEAR FLOODPLAIN
AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.)
MAP NUMBER DBD41C 0537F EFFECTIVE DATE, MARCH 17, 1997.

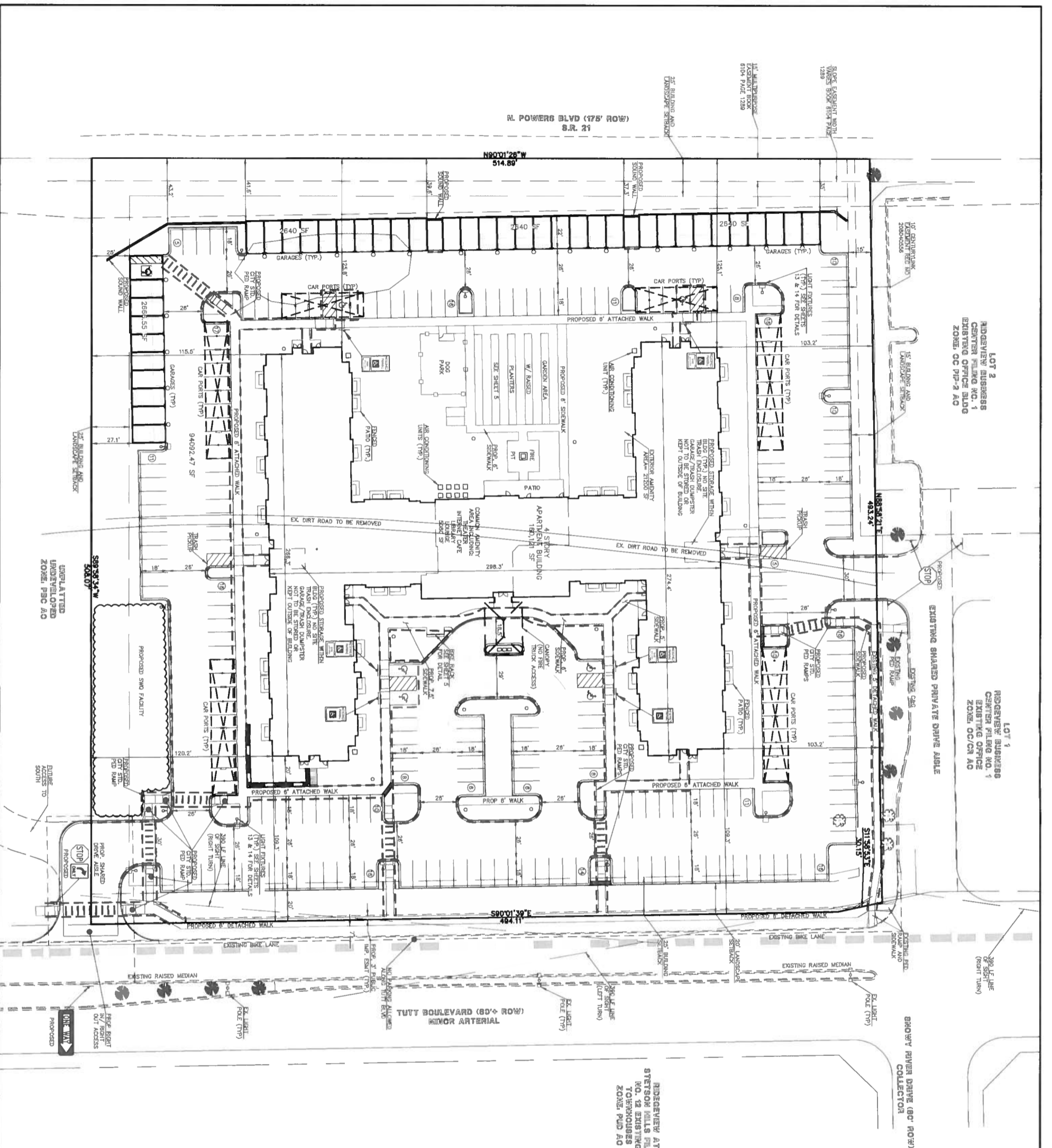
CPC CU 16-00091

TRADITIONS AT COLORADO SPRINGS
DEVELOPMENT PLAN

DESIGNED BY	KRC	SCALE	DATE	6/20/16
DRAWN BY	BB	(H) 1"=VARIES	SHEET 1	OF 14
CHECKED BY	(V) 1"= N/A	JOB NO.	2417.80	



KEY MAP
SCALE: 1" = 100'



LOT 2
RIDGEVIEW SUBBERS
CENTER FILING NO. 1
EXISTING OFFICE BLDG
ZONE: CC PIP-2 AC

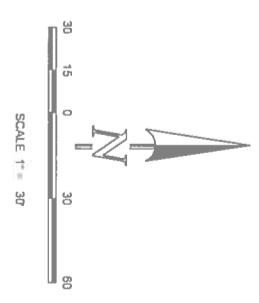
LOT 1
RIDGEVIEW SUBBERS
CENTER FILING NO. 1
EXISTING OFFICE
ZONE: CC/CR AC

RIDGEVIEW AT
STETSON HILLS FILING
NO. 12 EXISTING
TOWNHOUSES
ZONE: PUD AC

NOISE SUMMARY

- 1) MAXIMUM 40' SETBACK IS EXCEEDED ALONG POWERS AND TUTT BLVD
- 2) GARAGES ALONG POWERS ACT AS SOUND BUFFER
- 3) APPROX. 8' LINA CONVERTER SOUND WALLS PROPOSED BETWEEN GARAGES AND ON NORTH AND SOUTH ENDS.

PROPOSED LINA SITE AND MAPPING ACCESS OVERLOOK



CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

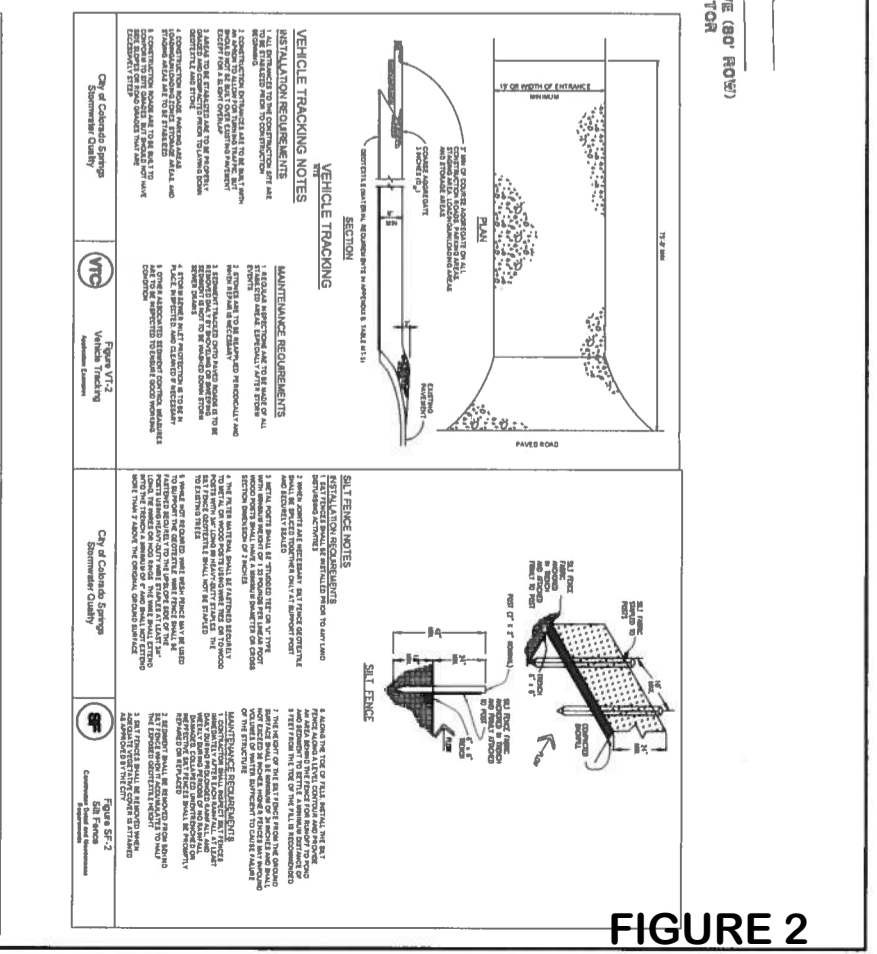
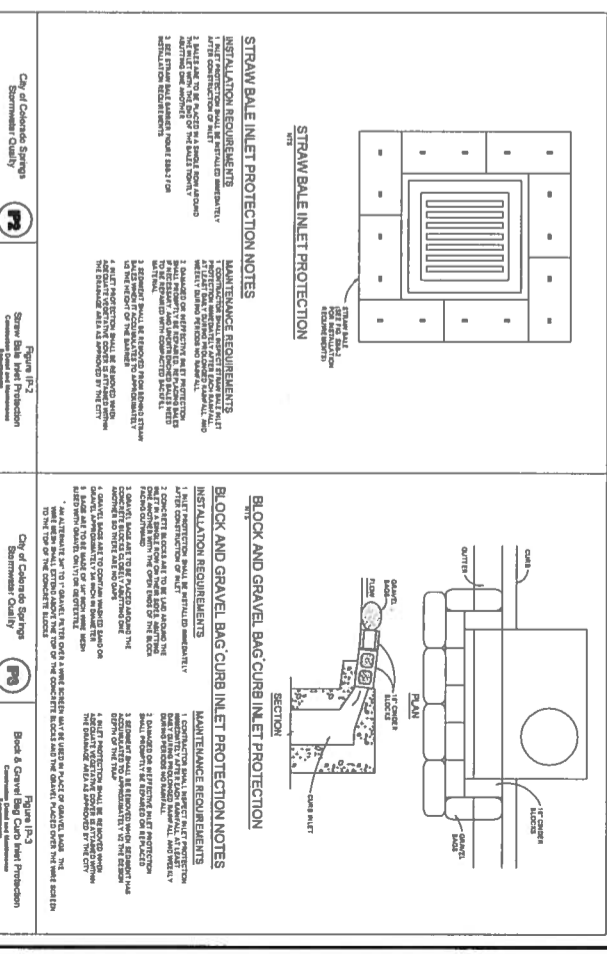
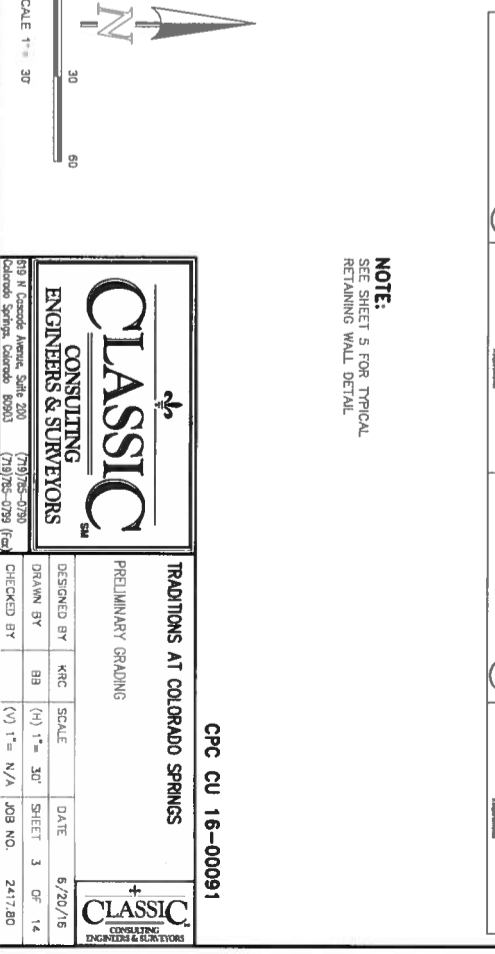
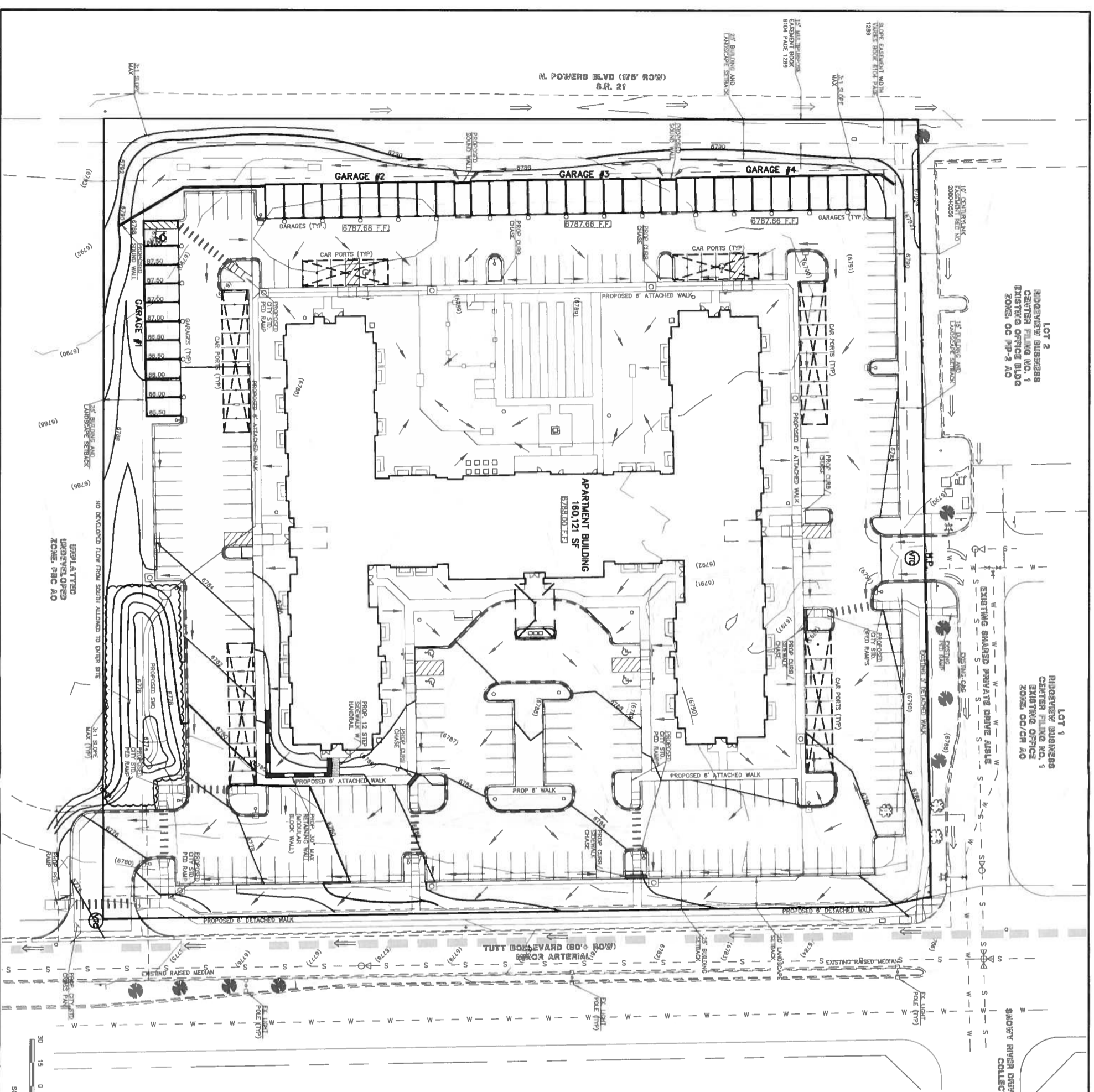
TRADITIONS AT COLORADO SPRINGS

CPC CU 16-00091

DESIGNED BY	KJC	SCALE	DATE
DRAWN BY	BR	(H) 1" = 30'	SHEET 2 OF 14
CHECKED BY	(V) 1" = N/A	JOB NO.	241780

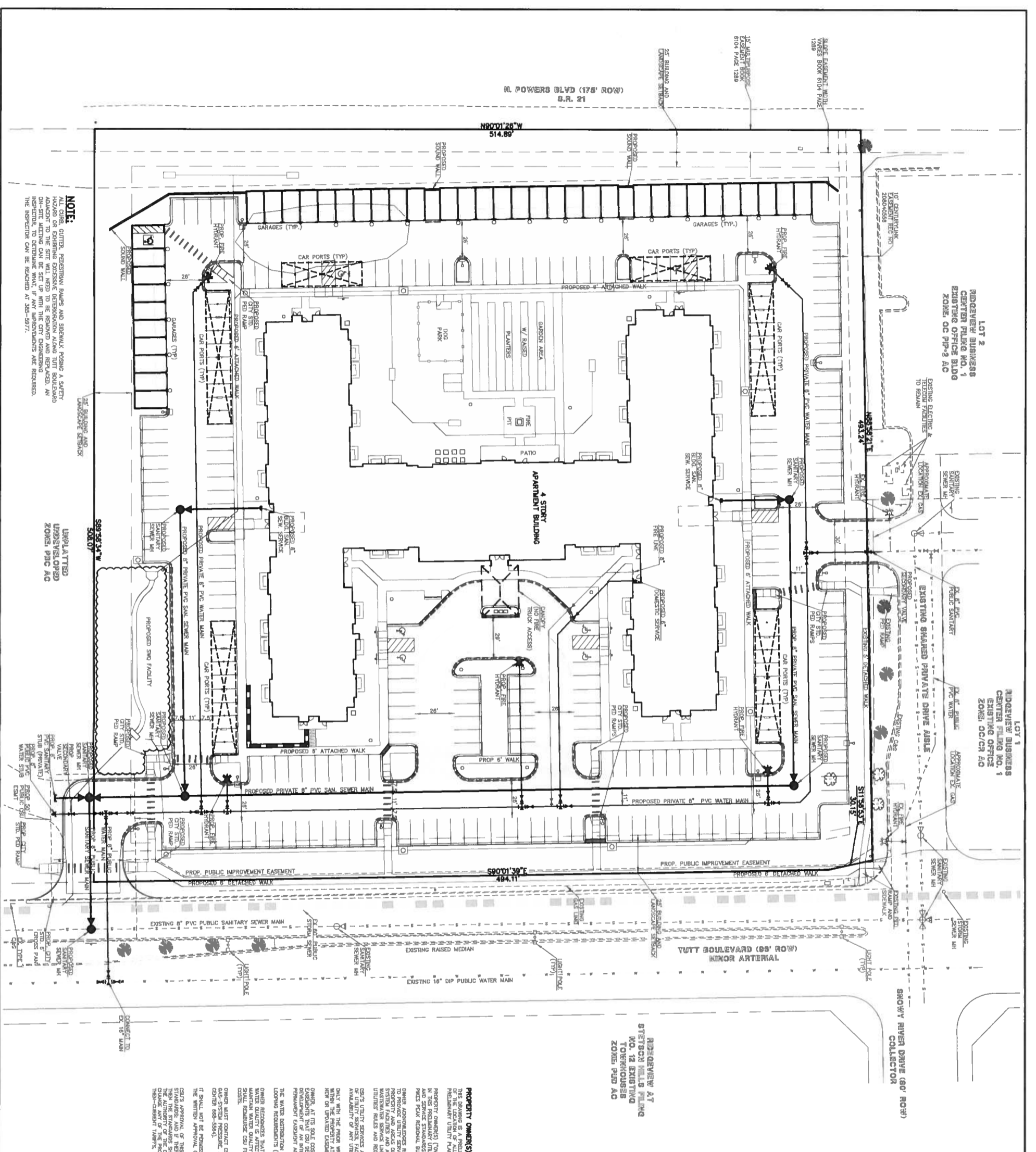
619 N Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 525-0799 Fax

FIGURE 2



CLASSIC CONSULTING ENGINEERS & SURVEYORS
 TRADITIONS AT COLORADO SPRINGS
 PRELIMINARY GRADING
 DESIGNED BY: KRC SCALE: DATE: 8/20/16
 DRAWN BY: BB (H) 1" = 30' SHEET: 3 OF 14
 CHECKED BY: (V) 1" = N/A JOB NO: 241780

FIGURE 2



GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS (REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER'S ACKNOWLEDGENCE AND ASSET TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

THE DRAWING IS A PRELIMINARY UTILITY PLAN AND IT DOES NOT SHOW THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC, AND GAS FACILITIES WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS DRAWING.

PROPERTY OWNER'S (OWNER) ACKNOWLEDGEMENT THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY SHOWN HEREON IS THE PROPERTY OWNER'S RESPONSIBILITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY, INCLUDING THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY, INCLUDING THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY.

OWNER'S RESPONSIBILITY FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY, INCLUDING THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY.

OWNER'S RESPONSIBILITY FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY, INCLUDING THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL UTILITY SERVICES TO BE PROVIDED TO THE PROPERTY.

APARTMENT BUILDING

GROSS SQ. FT. 110,121 SF GROSS
 REQ. 0.5M FIRE FLOW = 7,250 gpm
 50% REDUCTION REQ. CPM FIRE FLOW = 3,625 gpm
 AVE. DIST. BETWEEN HYDRANTS = 250'
 MAX. HOSE LENGTH = 210'
 MAX. HOSE LENGTH = 210'
 BUILDING IS NOT TO BE CONNECTED TO THE CITY WATER SYSTEM. A 50% REDUCTION REQ. FIRE FLOW AREA SEPARATION WALLS ARE NOT USED.

LEGEND

---	ROW/PROPERTY LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATER MAIN
---	PROPOSED WATER SERVICE
---	PROPOSED SANITARY SEWER MAIN
---	PROPOSED SANITARY SEWER SERVICE
---	PROPOSED STORM SEWER
---	PROPOSED STORM ALLET
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER MAIN
---	PROPOSED STORM SEWER
---	EXISTING GAS MAIN
---	EXISTING ELECTRIC
---	EXISTING TELEPHONE
---	EXISTING FIBER OPTIC
---	NO PARKING - FIRE LANE SOAKS AND/OR PAINTED CURB

SITE SPECIFIC NOTES:

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN, ALL INTERNAL, IMPROVED, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL EXISTING AND PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMP WHICH THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS.

A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

CLASSIC CONSULTING ENGINEERS & SURVEYORS

DEVELOPMENT PLAN
 PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY: RKC
 DRAWN BY: BB
 CHECKED BY: []

SCALE: []
 DATE: 6/20/16
 SHEET 4 OF 14

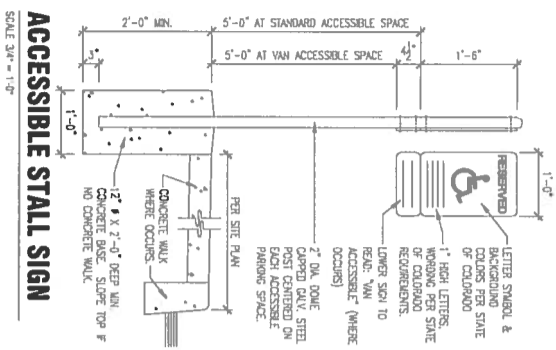
JOB NO. 241780

CPC CU 16-00091

TRADITIONS AT COLORADO SPRINGS

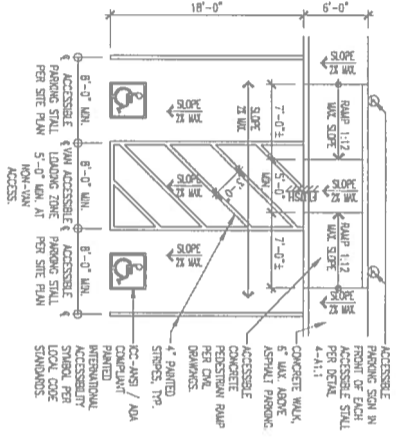
SCALE: 1" = 30'

FIGURE 2



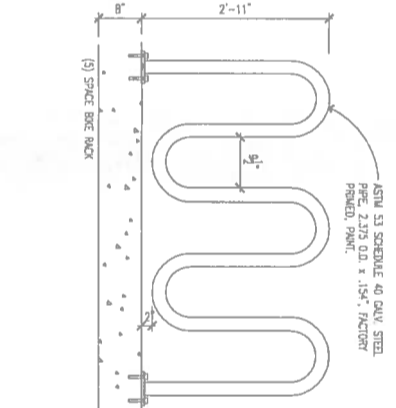
ACCESSIBLE STAIR SIGN

SCALE 3/4" = 1'-0"



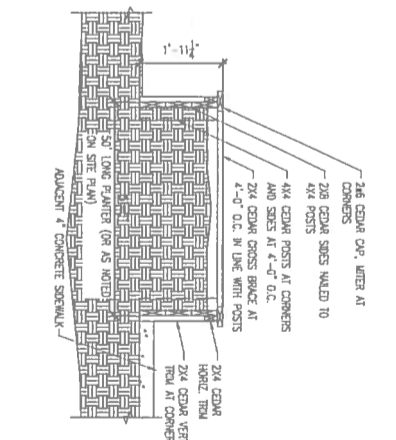
TYPICAL ACCESSIBLE STALL

SCALE 1/8" = 1'-0"



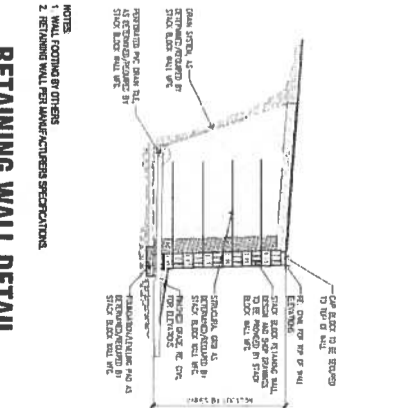
BIKE RACK

SCALE 3/8" = 1'-0"



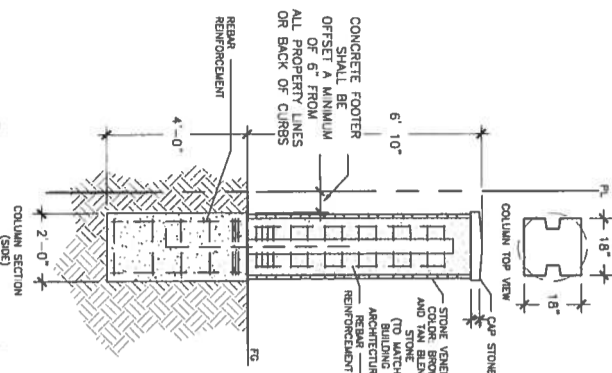
RAISED PLANTER BOX SECTION

SCALE 1/2" = 1'-0"



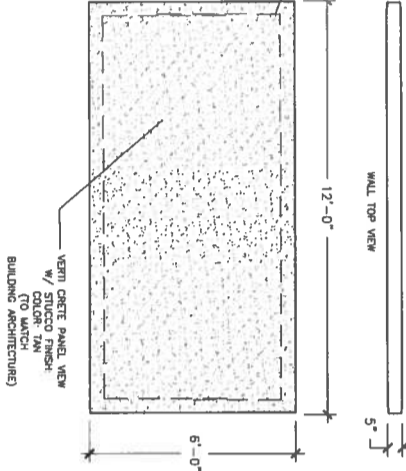
RETAINING WALL DETAIL

SCALE 1/2" = 1'-0"



SOUND WALL DETAIL

NOT TO SCALE



LENGTH FOR RADIUS
A = 1/2"
B = 1-1/2"
C = 2"

TYPE 3 SPILL CURB AND GUTTER

NOT TO SCALE

TYPE 3 CURB & GUTTER

NOT TO SCALE

MOD. TYPE 1 CURB AND GUTTER

NOT TO SCALE

FIGURE 2

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

TRADITIONS AT COLORADO SPRINGS

CPC CU 16-00091

DESIGNED BY	KRC	SCALE	DATE
DRAWN BY	BB	(H) 1" = N/A	6/20/16
CHECKED BY	(V) 1" = N/A	SHEET	5 OF 14
		JOB NO.	241780

619 E. Colorado Avenue, Suite 200
Colorado Springs, Colorado 80905
(719) 525-9799
(719) 525-9799 (fax)

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

CLIMATE ZONE: FOOTHILLS Foothills and Plains PLAINS

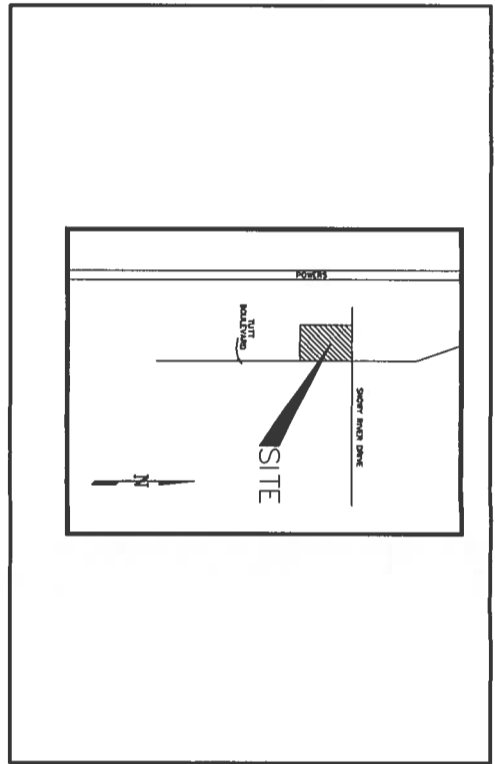
ALL LANDSCAPE AREAS ARE 3 & 4 L EXCEPT FOR TURF GRASS AREAS-3H

PLANT COMMUNITIES	HYDROZONES (SUPPLEMENTAL WATER)
1 - SEMIARID SHRUBLANDS	V - VERY LOW (0 TO 7 IN./YR)
2 - PINYON WOODLANDS	L - LOW (7 TO 15 IN./YR)
3 - PRAIRIE EVAPATION RIPARIAN	M - MODERATE (15 TO 25 IN./YR)
4 - FOOTHILL SHRUBLANDS	H - HIGH (MORE THAN 25 INCHES/YR)
5 - PANDEROSA PINE FOREST	
6 - UPPER ELEVATION RIPARIAN	
7 - UPPER ELEVATION RIPARIAN	
8 - DOUGLAS-FIR FOREST	

SCHEMATIC LANDSCAPE DIAGRAM NOT TO SCALE

LANDSCAPE STRATA (L/S)	STREET CLASSIFICATION	MONTH (FT)	LENGTH	THICKNESS	NO. OF TREES
STREET PLANTING (L/S 1)	EXPANDED	2500 FT	544 FT	1/2 FT	146
TUTT BLVD	TURF AREAS	2000 FT	544 FT	1/2 FT	146
AREA SUBMITTALS	CONCRETE/GRASS STR.	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING
NO. OF VEHICLE SPACES PROVIDED	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES
331 (OPEN + CARPORT)	448	448	448	448	448
VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING
NO. OF VEHICLE SPACES PROVIDED	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES
331 (OPEN + CARPORT)	448	448	448	448	448
VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING	VEHICLE PLANTING
NO. OF VEHICLE SPACES PROVIDED	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES	VEHICLE SPACES
331 (OPEN + CARPORT)	448	448	448	448	448

SITE CATEGORY CALCULATIONS



VICINITY MAP NOT TO SCALE

CITY AFFIDAVIT NOTE

THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON CITY APPROVED FINAL LANDSCAPE PLAN AND CONSTRUCTION DRAWINGS BY HCD INC. IF ANY DISCREPANCY BETWEEN APPROVED FINAL LANDSCAPE PLAN AND CONSTRUCTION DRAWINGS EXIST THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE. THIS REQUIRES CONSTRUCTION OBSERVATION VISITS TO ACQUIRE THE AFFIDAVIT. WHEN AFFIDAVITS ARE NOT SUBMITTED FINANCIAL ASSURANCES ARE TAKEN AND HELD FOR TWO YEARS. REGARDLESS MATTER SEED AREAS REQUIRE A TWO YEAR ESTABLISHMENT FINANCIAL ASSURANCE.

ACCEPTABLE FIELD CHANGES INCLUDE BUT ARE NOT LIMITED TO: CORRECTABLE PLANT SUBSTITUTES (I.E. APPROXIMATELY 2 TREES, 10 SHRUBS) IN ACCORD WITH THE CITY PLANT LIST. SHORT RETAINING WALL EXTENSIONS WHICH DO NOT ENROACH INTO EASEMENTS OR CONFLICT WITH E. DRAINAGE OR A UTILITY. A CHANGE IN PLANT SIZE BUT STILL MEETS CITY ANNUAL SIZE REQUIREMENT AND ARE NOT REQUIRED AS PART OF ANY SPECIAL PLAN APPROVAL AGREEMENT OR STANDARD. WHEN MINOR LANDSCAPE CHANGES ACCUMULATE OR LARGER CHANGES OCCUR FROM THE APPROVED PLAN AFTER ENTITLEDMENT, A MINOR AMENDMENT APPLICATION SUBMITTAL IS OTHER REQUIRED BEFORE THE CERTIFICATE OF OCCUPANCY WILL BE GRANTED. WHEN HEARD TO CALL OF INSPECTION AND SUBMIT AFFIDAVIT'S FIRST CONTACT THE CITY PLANNER OF RECORD (363-5889) AND AS NECESSARY DON ONE OFFICE (363-5881).

IRRIGATION SYSTEM DESCRIPTION NOTE

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AND A NON-SPRINK SYSTEM FOR TURF AND/OR SEED BEDS AS REQUIRED PER PLAN.

IF THE IRRIGATION PLAN IS NOT SUBMITTED WITH THE FINAL, IT MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS AFTER BUILDING PERMIT IS ISSUED. THE PLAN MUST BE APPROVED PRIOR TO ANY IRRIGATION COMPONENT INSTALLATION AND/OR ISSUANCE OF CERTIFICATE OF OCCUPANCY. CONTACT LANDSCAPE ARCHITECT.

FINAL LANDSCAPE PLAN SUBMITTAL NOTE

A FINAL LANDSCAPE PLAN TO INCLUDE AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST.

THE FINAL LANDSCAPE PLAN WILL INCLUDE A MAINTENANCE PLAN TO ADDRESS MOWING, PRUNING, AND IRRIGATION SCHEDULING FOR PLANT MATERIAL. SPECIFIC INFORMATION WILL BE PROVIDED FOR BLUEGRASS AND WHITE SEED. THE PROPERTY OWNER SHALL BECOME FAMILIAR WITH THESE GUIDELINES.

GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL HAVE SLEEVING PROVIDED PER PLANS. REFER TO IRRIGATION PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROVED STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

FERTILIZER NOTES

SOIL TYPE FOR THIS SITE IS BLAINE/SANDY LOAM AS DETERMINED BY THE SOIL SURVEY OF EL PASO COUNTY AREA, PREPARED BY NATURAL RESOURCES CONSERVATION SERVICE.

SOIL REPORT WILL BE SUBMITTED WITH FINAL LANDSCAPE PLAN.

FERTILIZER AS FOLLOWS (USE THE OVER LINE TO CALCULATE THE SQUARE FEET TO CALC. AREA)

THRES. 780 LBS PHOSPHORUS PER 1,000 SF. 780 LBS NITROGEN PER 1,000 SF. 780 LBS POTASSIUM PER 1,000 SF.

ADJUST FERTILIZER RECOMMENDATIONS FOR AREA OCCUPIED BY ROOT SYSTEM, WHICH IS OFTEN TWO TO THREE TIMES THE DIAMETER OF THE PLANT. DO NOT APPLY FERTILIZER UNTIL TREES HAVE BEEN PLANTED FOR ONE FULL YEAR. APPLY HALF OF FERTILIZER IN SPRING, HALF IN FALL. FERTILIZER SHOULD BE APPLIED TO TURF AND FRUIT TREES. USE ABOVE RATES FOR CONIFERS, EVERGREENS, OR FRUIT TREES.

STRONG/RECOMMENDED GRADES/SPREEDERS/RATES. 780 LBS PHOSPHORUS PER 1,000 SF. 780 LBS NITROGEN PER 1,000 SF. 780 LBS POTASSIUM PER 1,000 SF.

SPREAD RECOMMENDED FERTILIZER EVENLY OVER THE ROOT ZONE, STARTING SIX INCHES AWAY FROM THE PLANT BASE AND EXTENDING A FOOT BEYOND THE ENDS OF THE BRANCHES. RAKE INTO THE TOP INCH OF SOIL WITHOUT DISTURBING ROOTS. APPLY HALF THE RECOMMENDED FERTILIZER IN EARLY SPRING, HALF IN EARLY SUMMER.

RECOMMEND FERTILIZER PER 1,000 SF. 780 LBS NITROGEN PER 1,000 SF. 780 LBS POTASSIUM PER 1,000 SF.

APPLY ABOUT 1 LB OF RECOMMENDED NITROGEN IN LATE SUMMER. APPLY HALF OF REMAINING NITROGEN REQUIRED IN MID-FALL, HALF IN MID WINTER. FERTILIZER SHOULD BE APPLIED TO TURF AND FRUIT TREES. USE ABOVE RATES FOR CONIFERS, EVERGREENS, OR FRUIT TREES.

RECOMMEND FERTILIZER PER 1,000 SF. 780 LBS NITROGEN PER 1,000 SF. 780 LBS POTASSIUM PER 1,000 SF.

DOCUMENT NOTE

PREPARED BY: HIGHER GROUND DESIGNS, LANDSCAPE ARCHITECTS
 DATE: 6-22-16
 SHEET NO: LP-016 OF 14

NOT FOR CONSTRUCTION

FOR APPROVAL ONLY

TRADITIONS AT COLORADO SPRINGS
 TUTT BLVD. & SNOWY RIVER DRIVE
 COLORADO SPRINGS, CO

PREPARED FOR:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY. ALL PLANS, DETAILS AND NOTES IN THIS DOCUMENT SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING. THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, LANDSCAPE ARCHITECTS AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

HIGHER GROUND DESIGNS
 LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
 COLORADO SPRINGS, CO 80917
 Phone 719-477-1646
 Fax 719-268-1122

633-16

JOB NUMBER: 633-16

REVISIONS:

DATE: 6-22-16

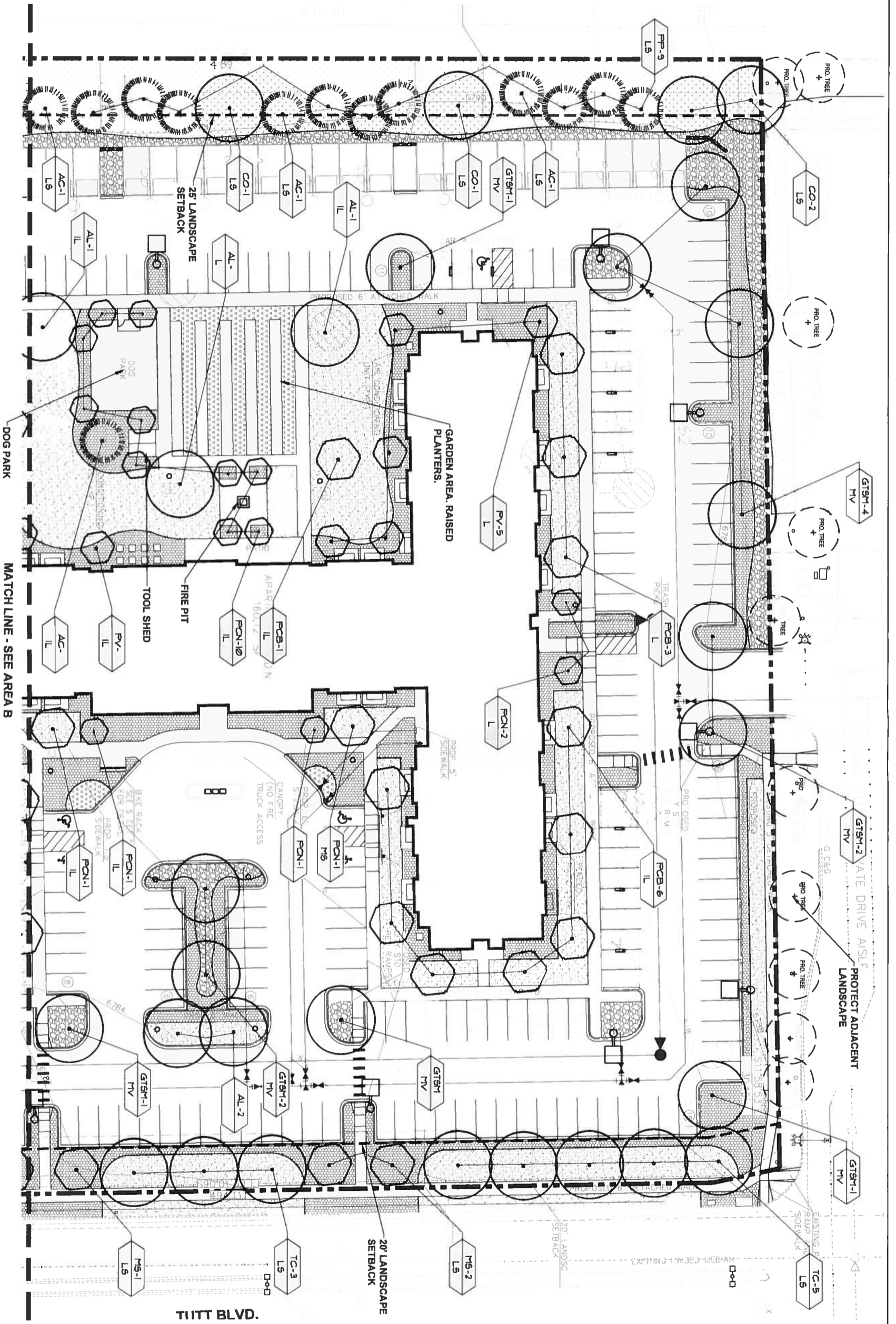
DESIGNED BY: JIM

PRELIMINARY LANDSCAPE PLAN - TITLE SHEET

SHEET NO: LP-016 OF 14

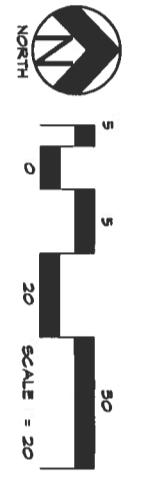
FIGURE 2

AREA A



PLANTING CALL OUTS

Tree Type - Quantity	Site Category
Tree Type - Quantity	Site Category
Tree Type - Quantity	Site Category



DOCUMENT NOTE

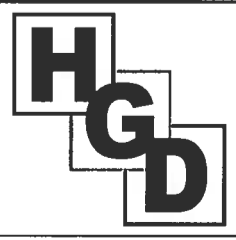
CPC PUD 09-00107-A1M116

NOT FOR CONSTRUCTION	
REVISIONS	633-16
DATE	REV. BY
6-22-16	JM
DESCRIPTION	
PRELIMINARY LANDSCAPE PLAN	
SHEET NO.	7 of 14
LP-02	

TRADITIONS AT COLORADO SPRINGS
 TUTT BLVD. & SNOWY RIVER DRIVE
 COLORADO SPRINGS, CO

PREPARED FOR:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY. ALL PLANS, DETAILS AND NOTES IN THIS DOCUMENT SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING. THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

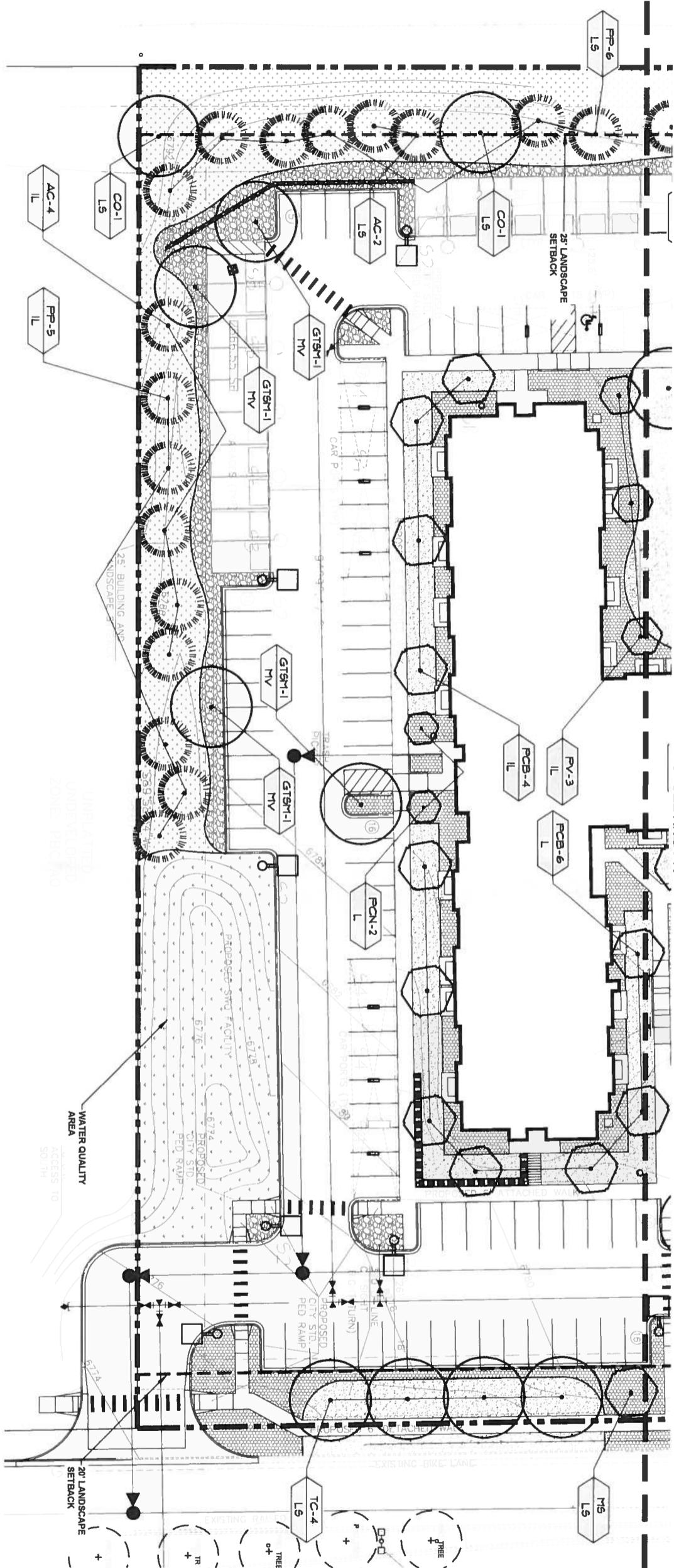


HIGHER GROUND DESIGNS
 LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
 COLORADO SPRINGS, CO 80917
 Phone 719-477-1848
 Fax 719-268-1122

FIGURE 2

AREA B



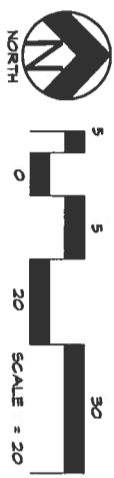
MATCH LINE - SEE AREA 'A'

SYMBOL	DESCRIPTION	APPROX SF
[Symbol]	Arkansas Tan Rock - 1.5" Diameter (with weed barrier with plants to meet minimum city code coverage)	1000
[Symbol]	Brown Drainage Rock 3/4" Diameter (with weed barrier)	2000
[Symbol]	Arkansas Tan Cobble Rock 2-4" Diameter (with weed barrier with plants to meet minimum city code coverage)	1500
[Symbol]	Native Seed - Mix A	1000
[Symbol]	Native Seed - Mix B	1000
[Symbol]	Steel Edging	1000

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

PLANTING CALL OUTS

FR-3	TREE TYPE	QUANTITY
(L.S.)	FR-3	1
(L.S.)	FR-3	1
(L.S.)	FR-3	1



NOTE

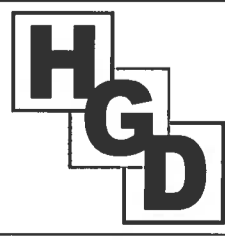
PC PUD 09-00107-A1M116

NOT FOR CONSTRUCTION	
JOB NUMBER	633-16
REVISIONS	
DATE	BY
DESCRIPTION	
DESIGNED BY	JM
DATE	6-22-16
DRIVER	
DESCRIPTION	PRELIMINARY LANDSCAPE PLAN
SHEET NO.	LP-03
TOTAL SHEETS	8 of 14

TRADITIONS AT COLORADO SPRINGS
TUTT BLVD. & SNOWY RIVER DRIVE
COLORADO SPRINGS, CO

PREPARED FOR:

THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY. ALL PLANS, DETAILS AND NOTES IN THIS DOCUMENT SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING. THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.



HIGHER GROUND DESIGNS
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
COLORADO SPRINGS, CO 80917
Phone 719-477-1646
Fax 719-268-1122

FIGURE 2

LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THE PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY COLORADO SPRINGS PLANNING AND OWNER REPRESENTATIVE.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.
EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.
CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCCO) 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTRACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.
QUANTITIES SHOWN IN PLAN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.
LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-1/2 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.
ALL EXISTING SEPARATING CURB, PLANTER, DECORATIVE ROCK OR MULCH AREAS TO BE BROWN PRO-STEEL (18" x 4" x 12") WITH STAGES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.
ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH POLYSTYRENE WEED BARRIER WITH STAPLES AT 9 O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.
GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.
TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. UNLESS OTHERWISE SPECIFIED ORGANIC MULCH TO BE CASCADE CEDAR WITH NO LANDSCAPE FABRIC 4" DEPTH.
DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.
PLANT BACKFILL SHALL BE 70% MATRE OK-SITE SOIL AND 30% BREK-GRO BROADCAST CLASS 1 (OR CITY APPROVED EQUAL). A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.
LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.
DECORATIVE Boulders SHALL BE BURIED 10 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.
PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY PRELAME STORAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH STORAGE OR THE VEGETATION PLANTED ADJACENT TO SUCH STORAGE WILL NOT BE VEGETATION THAT WILL GROW OR IMMEDIATELY OBSTRUCT SUCH STORAGE.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED AREAS:

- A. FOR EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TIL TO 6" DEPTH, AREAS ADJACENT TO WALLS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- B. REMOVE ALL RIBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.
- C. FOR TREE LOCATIONS REMOVE AND REPLACE EXISTING SOIL TO 36" DEPTH. IF CLAY OR SAND REPLACE WITH GRADE B TOPSOIL.

ACCEPTANCE NOTE

CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE INSPECTIONS. INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
● LAYOUT AND BOLLDER PLACEMENT
● PLANT TYPE, MATERIAL SIZE AND QUALITY VERIFICATION, AND PLACEMENT VERIFICATION.
● IRRIGATION MAIN LINE INSPECTION (AS APPLICABLE)
● FINAL SYSTEM COMPLETION AND WATER/VALVE/PIPING PRIOR TO MULCH INSTALLATION.
● LANDSCAPE ARCHITECT INSPECTION AND SIGNATURE.
● LANDSCAPE AND IRRIGATION FINAL INSPECTION AND ACCEPTANCE.
REFER TO CITY AFFIDAVIT FOR ADDITIONAL INFORMATION. SUBMIT RECEIPT FOR SOIL AMENDMENTS TO LANDSCAPE ARCHITECT AND AS-BUILT FOR IRRIGATION SYSTEM TO OWNER.
WHEN ALL THE WORK IS COMPLETED, THE OWNERS AUTHORIZED REPRESENTATIVE SHALL UPON INSPECTION OF THE WORK TO DETERMINE ACCEPTABILITY. HE WILL PREPARE A PUNCHLIST OF ITEMS REMAINING TO BE COMPLETED. IMMEDIATELY SIZED OR OTHERWISE DEFICIENT, THE PUNCHLIST REFERENCES SHALL BE CORRECTED NOT MORE THAN 30 WORKING DAYS AFTER THE INSPECTION. WHEN THE CORRECTIVE WORK IS COMPLETED, THE OWNER WILL ISSUE A CERTIFICATE OF SUBSTANTIAL COMPLETION OF LANDSCAPE AND IRRIGATION WORK.
THE FORMAL MAINTENANCE PERIOD IS APPLICABLE AND WARRANTY PERIOD SHALL COMMENCE FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNERS AUTHORIZED REPRESENTATIVE OF THE CONTRACT WORK IN ACCORDANCE WITH THESE DRAWINGS.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.
BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED. ACCEPTED BY OWNER AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS TOLING, WEEDING, REPAIRING AND PLANTING AS REQUIRED. FERTILIZING SHALL BE DONE AT THE RECOMMENDED RATES AND TIMES AND SHOULD BE DONE AT LEAST TWICE PER YEAR. FERTILIZING SHALL BE STOPPED IN THE FALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AREAS DAMAGED BY TRAFFIC AND/OR WINDSWEPT DURING THE CONSTRUCTION PERIOD.
IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.
ONE-YEAR WARRANTY
AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.
THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADJUSTMENTS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCCO SPECIFICATIONS HANDBOOK REV. EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Code, spp Key from A,B	Mature Size W x H	Planting Size
	AC		Abies concolor	White Fir	1256D	20x50	8 & B
	PP		Pinus ponderosa	Ponderosa Pine	2678D	20x50	8' H
	AL		Acer platanoides	Norway Maple (European)	5	30'x25'	1-1/2" cal
	GM		Quercus macrocarpa	Bur Oak	4D	30'x25'	1-1/2" cal
	GRN		Quercus rubra	Northern Red Oak	4S	30'x25'	1-1/2" cal
	PCN		Pinus x edulis 'Schmidt'	Big Oak Plum	485	12' x 12'	1-1/2" cal
	MS		Malus 'Spring Snow'	Spring Snow Crabapple	487S	15'x15'	1-1/2" cal
	MA		Mahonia nodiflora compacta	Compact Oregon Grape Holly	588A	5.8' / 1.4'	Container
	MA		Pinus mugo 'Stemwood'	Stemwood Mugo Pine	1356D	2.3' / 2.3'	Container
	CR		Cornus sibirica 'Heidegelb'	Red Tegu Dogwood	487S	6-10' x 8-10'	Container
	SU		Spiraea thunbergii	Red Spirea	487D	2' x 1.5'	# 3
	SH		Shrub 'Sonderland'	May Camellia	SN	3.4' x 3.4'	# 5
	PBS		Viburnum trilobum 'Spring Green'	Spring Green Compact Viburnum A	A	2.3' x 2.3'	# 5
	FW		Potentilla fruticosa 'Mickey's White'	Mickey's White Potentilla	A	2.3' x 2.3'	# 5
	PC		Pinus x edulis	Purple Leaf Plum	124567D	5.5' x 8'	# 5
	CA		Calamagrostis canadica 'Karl Foerster'	Feather Reed Grass	A	1.3' / 2.3'	Container
	PVG		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	12348D	3.4' / 3.5'	# 5 cont.
	SH		Phlox subulata	Creeping Phlox	DA	2' x 6"	#1 CONT.
	HEM		Hemerocallis 'Red Magic'	Red Magic Daylily	D	16" x 12"	#1 CONT.
	SAL		Salvia nemoralis 'May Night'	May Night Salvia	DA	24" x 24"	#1 CONT.

PERCENT SIGNATURE TREES REQUIRED: 60%
TOTAL NO. OF TREES: SIGNATURE TREES 16/18 100% SIGNATURE TREES
PERCENT SIGNATURE SHRUBS REQUIRED: 80%
TOTAL NO. OF SHRUBS: SIGNATURE SHRUBS 100% SIGNATURE SHRUBS

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

DOCUMENT NOTE

RESPONSIBILITY OF ANY OTHER ITEMS IN THIS DOCUMENT LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, OR REPAIRS OF ANY OTHER ITEMS NOT SHOWN ON THESE DRAWINGS. LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, OR REPAIRS OF ANY OTHER ITEMS NOT SHOWN ON THESE DRAWINGS. LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, OR REPAIRS OF ANY OTHER ITEMS NOT SHOWN ON THESE DRAWINGS.

CPC PUD 09-00107-A1M1N16

JOB NUMBER	DATE	DESCRIPTION
633-16	6-22-16	DRIVING BY JLM

FOR APPROVAL ONLY

NOT FOR CONSTRUCTION

SHEET NO LP-04 9 of 14

TRADITIONS AT COLORADO SPRINGS
TUTT BLVD. & SNOWY RIVER DRIVE
COLORADO SPRINGS, CO

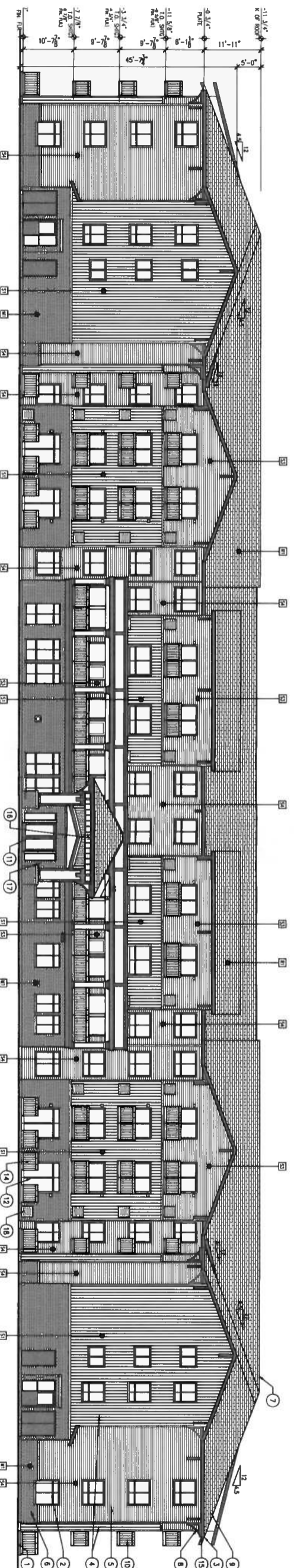
PREPARED FOR:
THIS DOCUMENT IS FOR CITY REVIEW AND APPROVAL ONLY. ALL PLANS, DETAILS AND NOTES IN THIS DOCUMENT SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING. THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.



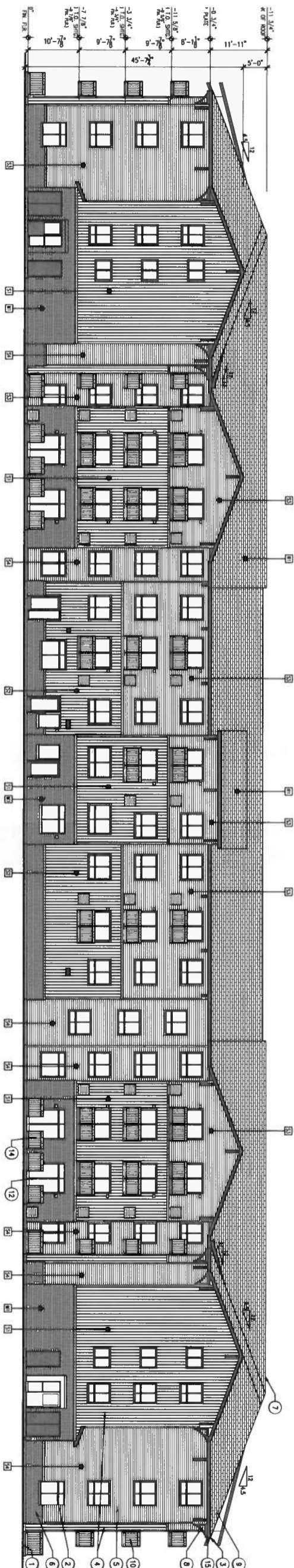
HIGHER GROUND DESIGNS
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
COLORADO SPRINGS, CO 80917
Phone 719-477-1646
Fax 719-268-1122

FIGURE 2



1 EAST ELEVATION
 SCALE 3/32" = 1'-0"



2 WEST ELEVATION
 SCALE 3/32" = 1'-0"

PRIMARY FINISHES

- 1 VERTICAL SIDING - BOARD & BATTEN
 MEDIUM BLUE (GRAINE - REGALTY) [S1]
- 2 VERTICAL SIDING - BOARD & BATTEN
 MEDIUM GREY (GRAINE - CHRISTOPHER) [S2]
- 3 VERTICAL SIDING - HORIZONTAL LAP
 LIGHT TAN (GRAINE - FRED) [S3]
- 4 VERTICAL SIDING - HORIZONTAL LAP
 MEDIUM GREY (GRAINE - CHRISTOPHER) [S4]
- 5 MASONRY - BRICK VENEER
 (MATERIAL, MATERIALS - REDWOOD GREY) [M1]
- 6 MASONRY - BRICK VENEER
 (MATERIAL, MATERIALS - REDWOOD GREY) [M2]
- 7 HORIZONTAL BAND TO MATCH
 SIDING/VENTILATOR COLOR BELOW [H1]

KEYNOTES

1. FINISH GRADE SHALL BE 18" ABOVE FINISH GRADE AT 2X LINK.
2. VERTICAL SIDING - BOARD & BATTEN PER SCHEDULE.
3. 2X8 PAINTED FRESH, SMOOTH TRIM OR EQUAL.
4. BOARD AND BATTEN WITH SINK.
5. 4" CLIPBOARD STYLE LAPPED WITH SINK.
6. CONTINUOUS ROOF VENT SEE ROOF PLAN.
7. DECORATIVE WOOD GRAIN BRACKET, SEE 6/15.2.
8. ARCHITECTURAL, UNPAINTED FIBERGLASS ROOF SHINGLES.
9. METAL RAINWATER, SEE 2/10.1.
10. ALUMINUM STONE FROM EXTERIOR SYSTEM.
11. 6X6 FIBERGLASS VENT.
12. 4" FIBERGLASS VENT.
13. 4" FIBERGLASS VENT.
14. 4" FIBERGLASS VENT.
15. PREPARED METAL GUTTER AND DOWNSPOUT, EXTEND TO SPLASH.
16. BUILDING ADDRESS NUMBER, UNPAINTED 7" TALL, 3/4" BRASS STROKE.
17. KNOCK BOX MOUNTED ADVANCED TO MAIN ENTRY DOOR AND THE INSIDE.
18. FINISH GRADE, PAINT TO MATCH ADJACENT SIDING COLOR.

GENERAL NOTES

- A. ALL NOTES ON ELEVATIONS ARE TYPICAL AND APPLY TO ALL ELEVATIONS.
- B. ALL FINISH MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- C. VERIFY ALL FINISH MATERIAL, SELECTION AND COLORS WITH OWNER PRIOR TO ORDERING AND INSTALLATION.
- D. SUB-CONTRACTORS TO PROVIDE 12" X 12" MIN. SAMPLE OF ALL FINISH MATERIALS FOR OWNER'S REVIEW AND ACCEPTANCE PRIOR TO INSTALLATION.
- E. ALL UNITS TO BE SCHEDULED OR BELOW GRADE. COORDINATE WITH MECHANICAL DRAWINGS AS REQUIRED.
- F. SHOWING STYLES TO MATCH ADJACENT CORNERS WHERE NOT SHOWN (UNLESS NOTED OTHERWISE).
- G. FINISH GRADE SHALL BE 18" ABOVE FINISH GRADE AT 2X LINK.
- H. FINISH GRADE SHALL BE 18" ABOVE FINISH GRADE AT 2X LINK.

PROJECT
TRADITIONS AT COLORADO SPRINGS
 TUITT BLVD. & SNOWY RIVER DRIVE
 COLORADO SPRINGS, CO

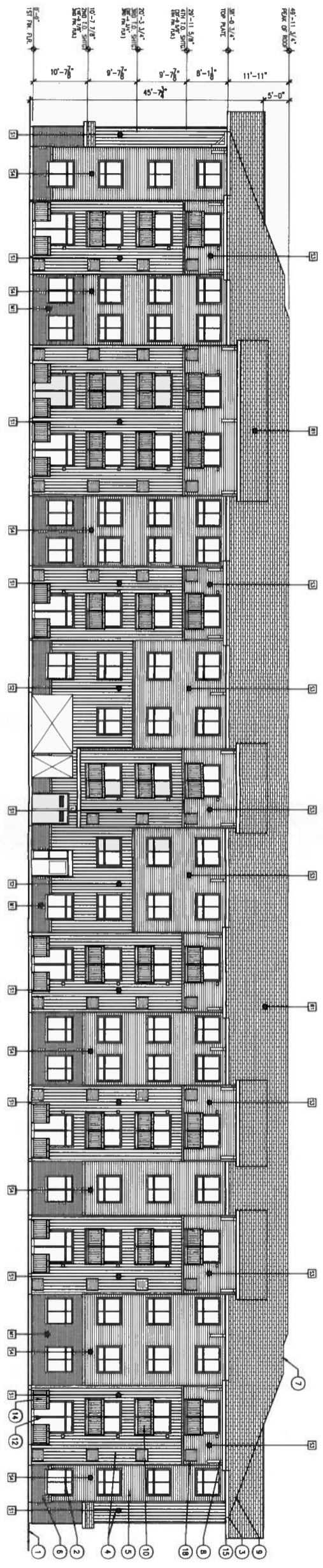
PERMIT SET
9-30-2016

STATE OF COLORADO
 JOHN PRICE
 ARCHITECT
 LICENSED ARCHITECT
 9-30-2011

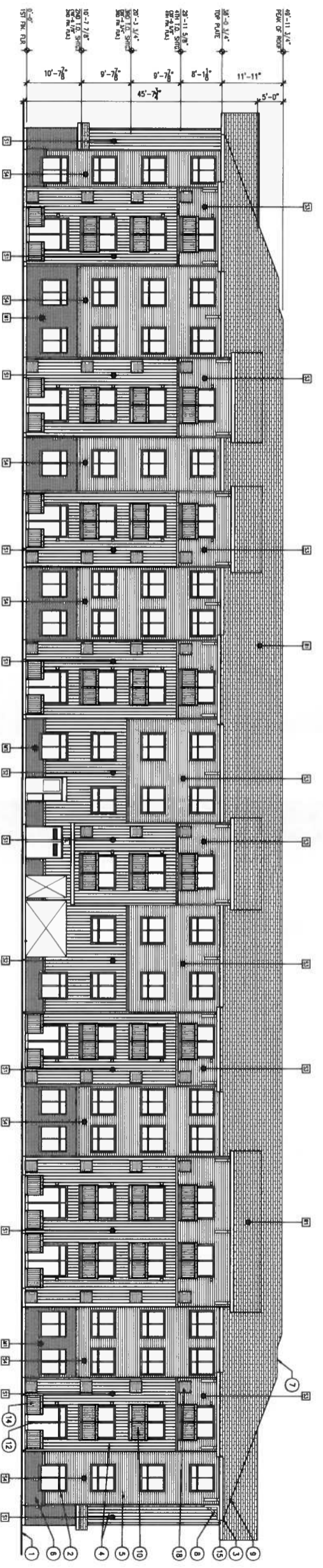
The document is the property of The Architects Office, P.L.L.C. and is not to be duplicated without written authorization.
 © THE ARCHITECTS OFFICE, P.L.L.C.

FILED
 and
 SEPTEMBER 30, 2016
 16-213 AS.0
 JOHN PRICE

REVISIONS



1 NORTH ELEVATION
 SCALE 3/32" = 1'-0"



2 SOUTH ELEVATION
 SCALE 3/32" = 1'-0"

- PRIMARY FINISHES**
- S1 VINYL STONE - BOARD & BUTTER MEDIUM GREY (CRANE - RECTIFY)
 - S2 VINYL STONE - BOARD & BUTTER MEDIUM GREY (CRANE - GREYSTONE)
 - S3 VINYL STONE - BOARD & BUTTER LIGHT TAU (CRANE - RTF)
 - S4 VINYL STONE - HORIZONTAL LAP MEDIUM GREY (CRANE - GREYSTONE)
 - U1 MASONRY - BRICK, VENEER MEDIUM GREY (CRANE - GREYSTONE)
 - U2 MASONRY - BRICK, VENEER (VARIABLE MATERIALS - REDDING GREY)
 - R1 ROOF - ASPHALT/FLY ASBESTOS MEDIUM GREY
 - R2 HORIZONTAL BAND TO MATCH SPONGE/ANTHROPOM COLOR BELOW

- KEYNOTES**
1. FINISH STONE, STONE, SANDY FLOW FINISHING AT 2% MIN.
 2. VINYL STONE FINISH PER SCHEDULE.
 3. 20% PAINTED FRESH, SHIRT TAIL OR EQUAL.
 4. BOARD AND BUTTER VINYL STONE.
 5. 4" CLAMPED STEEL LAPPED VINYL STONE.
 6. 4" CLAMPED STEEL LAPPED VINYL STONE.
 7. COMPOSITE ROOF VENT, SEE ROOF PLAN.
 8. DECORATIVE WOOD CABLE BRACKET, SEE 6/AS2.
 9. ARCHITECTURAL, UNPAINTED FIBERGLASS ROOF SHEETS.
 10. METAL RAINWATER, SEE 2/A/10.1.
 11. ALUMINUM STAIR RISE, ENTIRE SYSTEM.
 12. ALUMINUM STAIR RISE, ENTIRE SYSTEM.
 13. 6x6 FIBERGLASS VENT.
 14. 4" HIGH POWER COATED METAL RAINW. CONE AND GROUT INSULATION.
 15. PREPARED METAL GUTTER AND DOWNSPOUT, EXTEND TO SPASH.
 16. BUILDING ADDRESS NUMBER, MINIMUM 6" TALL, 3/4" BRUSH STROKE, COLOR TO HAVE POSITIVE CONTRAST WITH BACKGROUND.
 17. KNOX BOX MOUNTED ADVANTAGE TO MAIN ENTRY DOOR AND FIRE ESCAPE DOOR.
 18. FINISH BRICK PAINT TO MATCH ADJACENT STONE COLOR.

- GENERAL NOTES**
- A. ALL NOTES ON ELEVATIONS ARE TYPICAL AND APPLY TO ALL ELEVATIONS.
 - B. ALL FINISH MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, 2017 OR LATEST REVISIONS AND PER GOVERNMENT SPECIFICATIONS, 2017 OR LATEST REVISIONS.
 - C. VERIFY ALL FINISH MATERIAL, SELECTION AND COLORS WITH OWNER PRIOR TO ORDERING AND INSTALLATION.
 - D. SUB-CONTRACTORS TO PROVIDE 12" X 12" MIN. SQUARE OF ALL FINISH MATERIALS FOR OWNER'S REVIEW AND ACCEPTANCE PRIOR TO INSTALLATION.
 - E. ALL UNITS TO BE SPECIFIED OR BELOW GRADE. COORDINATE WITH MECHANICAL DRAWINGS AS REQUIRED.
 - F. SMOKE (UNLESS NOTED OTHERWISE) THROUGH ROOF AND GUTTER LOCATED IN STONE STONE. REQUEST CUSTOM COLOR FROM GENERAL CONTRACTOR.

SEAL

PERMIT SET
9-30-2016

STATE OF COLORADO
 JOHN PRICE
 ARCHITECT
 9-30-2016
 LICENSED ARCHITECT

The document is the property of THE ARCHITECTS OFFICE, P.L.L.C. and is not to be duplicated without written authorization.
 THE ARCHITECTS OFFICE, P.L.L.C.

FILE
 and
 SEPTEMBER 30, 2016

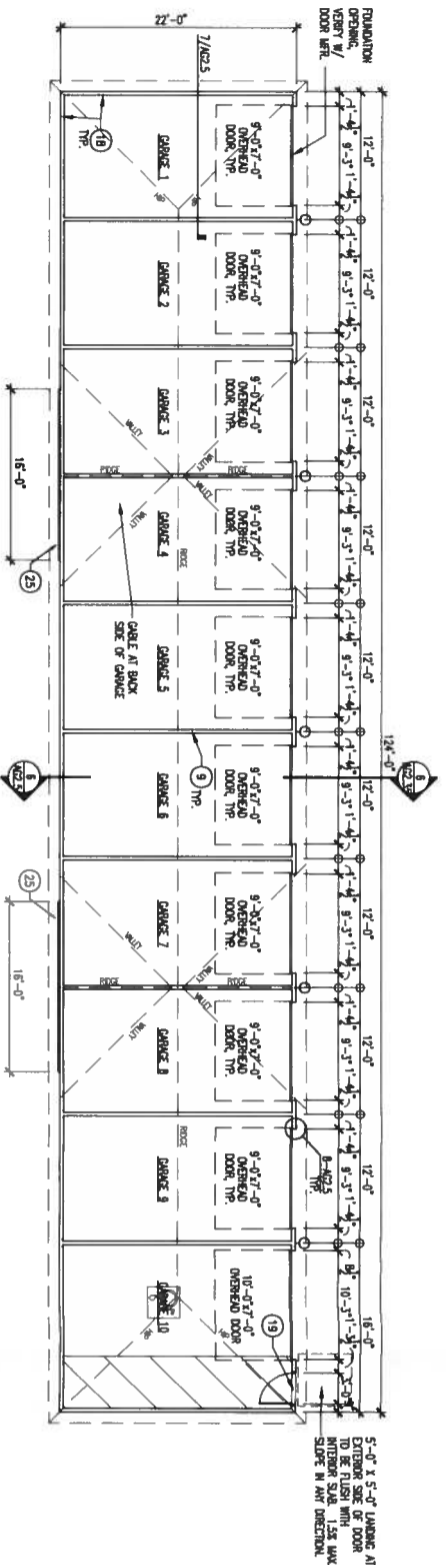
DATE
 16-213 AS.0

BY
 JOHN PRICE

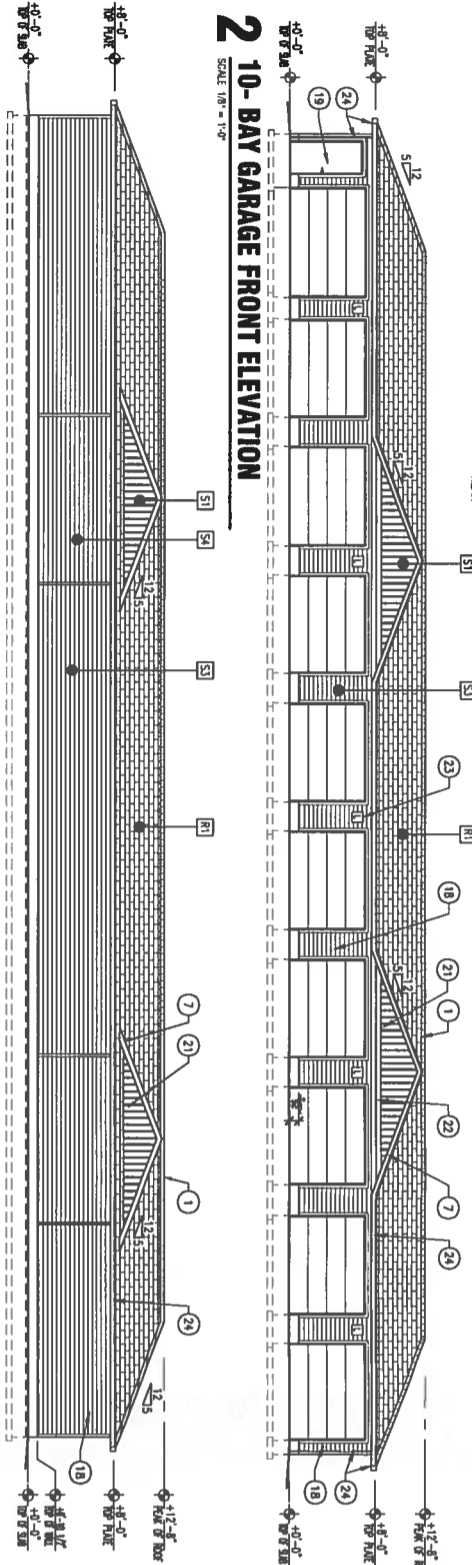
REVISIONS

PROJECT
TRADITIONS
AT
COLORADO
SPRINGS
 TUTT BLVD. &
 SNOWY RIVER DRIVE
 COLORADO SPRINGS, CO

SHEET
11 of 14
 BUILDING ELEVATIONS
 CPC CU 16-00091

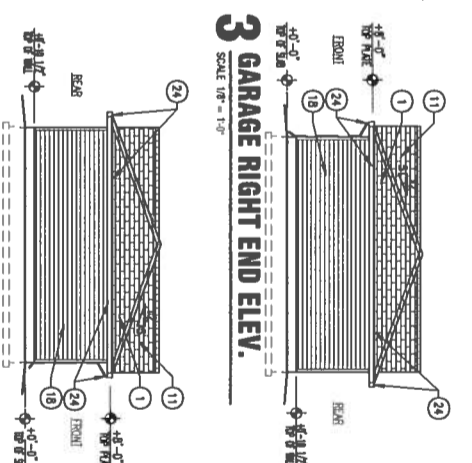


1 10-BAY GARAGE FLOOR PLAN
SCALE: 1/8" = 1'-0"

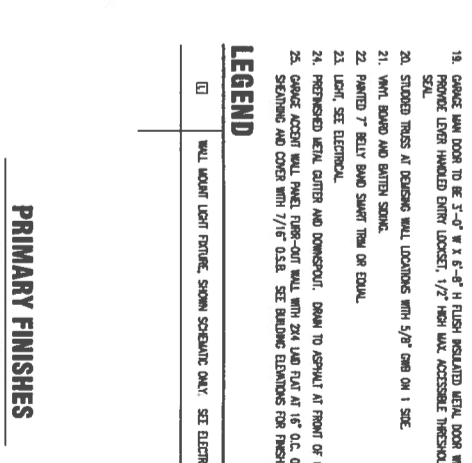


2 10-BAY GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"

4 10-BAY GARAGE REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 GARAGE RIGHT END ELEV.
SCALE: 1/8" = 1'-0"



5 GARAGE LEFT END ELEV.
SCALE: 1/8" = 1'-0"

KEYNOTES

1. 30 YEAR LAMINATED ASPHALT SHINGLES OVER 1/2" FIBERGLASS MAT OVER 1/2" OSB SHEATHING WITH FLY CUPS, 80 AT 6" O.C. EDGE WALKING, 80 AT 12" O.C. FIELD WALKING.
2. MANUFACTURED TRUSSES AT 24" O.C. WITH "SAPPHIRE" (H1) TRUSS ANCHOR AT EACH END. TRUSS SUPPORTS TO PROVIDE TRUSS BLOCKING AND BRACING. CONNECTION TO INSTALL TRUSS BLOCKING AND BRACING PER TRUSS MANUFACTURER'S DESIGN.
3. 2X4 PRESSURE TREATED OR REMOVED KEROSENE TALL WITH FIBERGLASS SILL SEAL.
4. 4" CONCRETE SLAB ON 4" COMPACTED GRAVEL FILL ON COMPACTED SANDGRADE (SEE CONNECTION), WITH CONTROL JOINTS AT 12'-0" O.C. MAX.
5. 9'-0" W x 7'-0" H OVERHEAD GARAGE DOOR.
6. HEADER PER STRUCTURAL WITH (1) 2X4 TRIMMER, (2) 2X4 END STUDS.
7. PAINTED EXTERIOR SWART TRIM OR EQUAL.
8. VENERATED WHITE SOFFIT.
9. TYPICAL INTERIOR GARAGE WALL: 2X4 STUDS AT 16" O.C. WITH 5/8" ORGYMA BOARD ON 1 SIDE FROM FLOOR SLAB TO BOTTOM OF ROOF SHEathing.
10. CONTINUOUS FOOTING, SEE STRUCTURAL.
11. ROOF TRUSS OVER-BUILD GARAGE ROOF BEYOND.
12. TRACEDOOD SLAB EDGE WITH (1) #4 HORIZONTAL BAR.
13. 1-1/2" DIA. HULDS AT 6" O.C. IN TRUSS BLOCKING FOR VENTILATION.
14. METAL DRAIN EDGE.
15. FINISH GRADE, SEE CIVIL DRAWINGS.
16. GARAGE DOOR OPERATOR, SEE ELECTRICAL. GARAGE DOOR OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325 FOR THE SECTION WALLS.
17. CONTINUOUS ROOF VENT.
18. WHEN SPRING OVER BUILDING WRAP OVER 7/16" O.S.B. OVER 2X4 WOOD STUDS AT 16" O.C. PROVIDE LEVER HANDED ENTRY LOCKSET, 1/2" HIGH MAX. ACCESSIBLE THRESHOLD, AND WINTER SEAL.
19. STUCCO TRUSS AT EXTERIOR WALL LOCATIONS WITH 5/8" DIA. OR 1" SIZE.
20. VINYL BOARD AND BRUSH SODAK.
21. PAINTED 7" BELLY BAND SWART TRIM OR EQUAL.
22. LIGHT, SEE ELECTRICAL.
23. FINISHED METAL CENTER AND DOWNSPOUT. DOWN TO ASPHALT AT FRONT OF GARAGE.
24. GARAGE ACCENT WALL PANEL, FIBER-GLASS WITH 2X4 LAMB FINISH AT 16" O.C. OVER WALL SHEATHING AND COVER WITH 7/16" O.S.B. SEE BUILDING ELEVATIONS FOR FINISH MATERIALS.

LEGEND

- [□] WALL LIGHT FIXTURE, SHOWING SPREADING ONLY. SEE ELECTRICAL DRAWINGS.

PRIMARY FINISHES

- [S1] VINYL SODAK - BOARD & BRUSH
- [S2] MEDIUM BLUE (GRAVEL - REBOUTIN)
- [S3] VINYL SODAK - LAMINATED LAM
- [S4] LIGHT TRIM (CORNER - RITE)
- [S5] VINYL SODAK - LAMINATED LAM
- [S6] MEDIUM GREY (CORNER - CHRISTOPHER)
- [R1] ROOF - FIBERGLASS SHEATHING
- [R2] MENTHOL GREY
- [R3] *APPROPRIATE BAND TO MATCH SODAK/LAMINATED COLOR BELOW

TA SLIMES
DESIGN
THE ARCHITECTS OFFICE
499 MAIN STREET
BOISE, IDAHO 83725
(208) 343-2891
17A010410.CDW

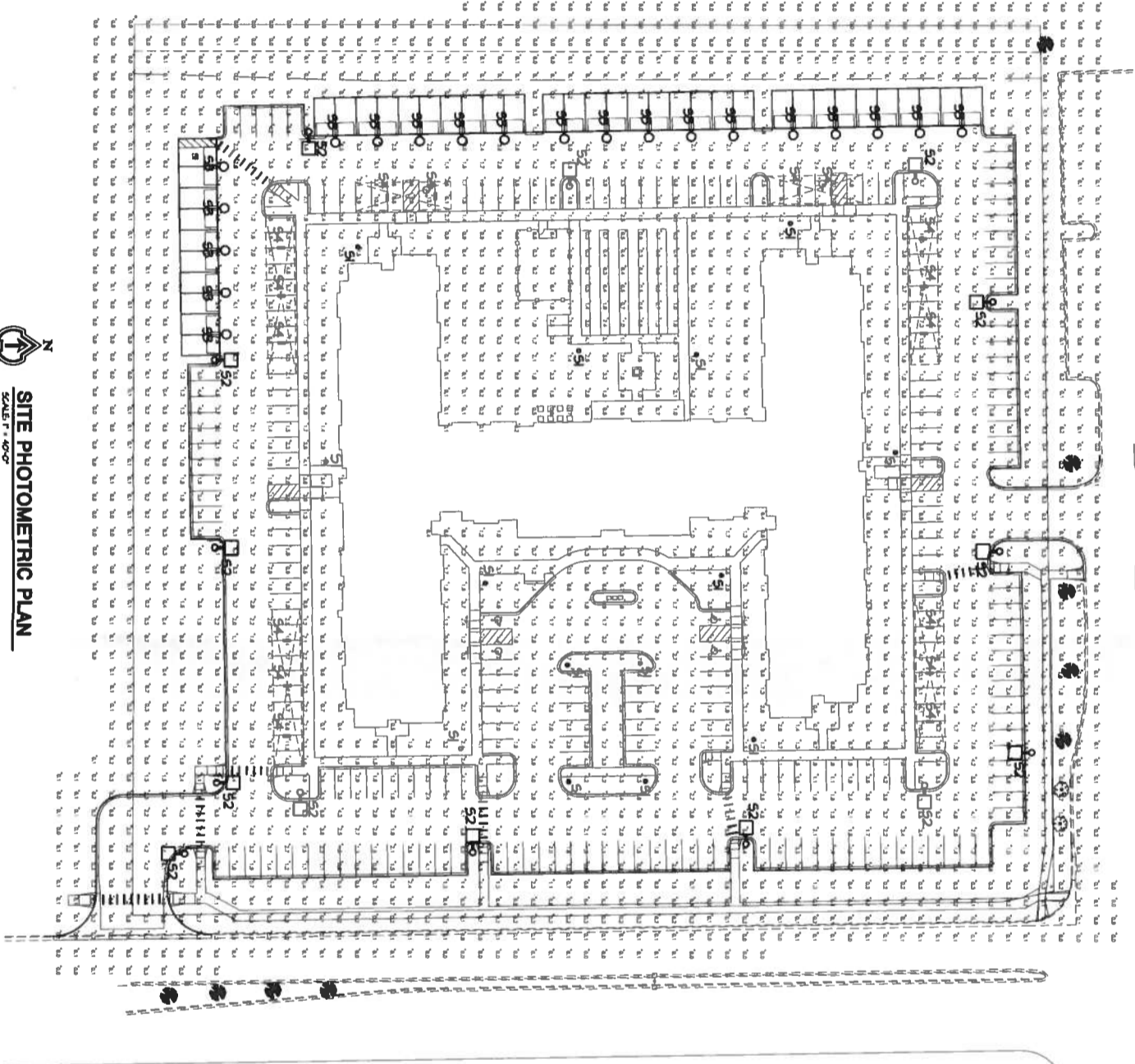
TRADITIONS AT COLORADO SPRINGS
TUTT BLVD. & SNOWY RIVER DRIVE
COLORADO SPRINGS, CO

PERMIT SET 9-30-2016



The document is the property of THE ARCHITECTS OFFICE. FILED and is not to be duplicated without their authorization.
THE ARCHITECTS OFFICE, PLLC
FILED
SEPTEMBER 30, 2016
16-213 AG20
JOHN PRICE

FIGURE 2



 **SITE PHOTOMETRIC PLAN**
 SCALE: 1" = 40'


MEP
 ENGINEERING
 CONSULTING
 4425 S. I-70, Suite 100 (N) Denver, CO 80231
 303.733.8800
 www.mep-engineering.com

FIGURE 2


Traditions of Colorado Springs Filing No. 1
 COLORADO SPRINGS, CO

ISSUE	DATE
SDP	06.24.2016

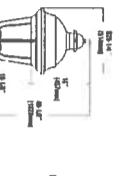
MEP JOB: 16040
 DESIGNED: HEG
 CHECKED: DMA

Site Photometric Plan

LININGTON




DESCRIPTIONS: - Linington features a traditional outdoor lamp with a weather resistant finish. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a classic design that adds a touch of elegance to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.



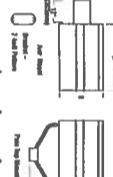
FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.

GREENBARR



DESCRIPTIONS: - The Greenbarr outdoor lamp features a modern, minimalist design. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a contemporary design that adds a touch of modernity to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.

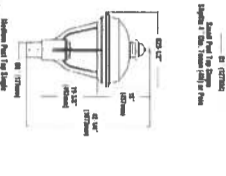


FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

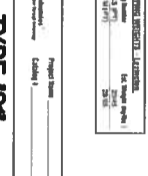
OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	mounting	VOLTS	LAMPS	NOTES
S1	LED	1-528	Decorative Post Top Pedestals Pole Light	POLE 8'-0"	277	(1) 175W PSH	
S2	LED	1-529	Decorative Post Top Pedestals Pole Light	POLE 8'-0"	277	(1) 175W PSH	
S3	LED	1-530	Decorative Post Top Pedestals Pole Light	POLE 8'-0"	277	(1) 175W PSH	
S4	LED	1-531	Decorative Post Top Pedestals Pole Light	POLE 8'-0"	277	(1) 175W PSH	

TYPE S1



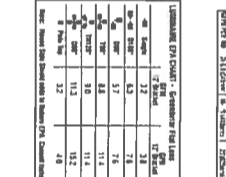
DESCRIPTIONS: - Type S1 features a classic outdoor lamp design with a weather resistant finish. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a traditional design that adds a touch of elegance to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.




FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.

TYPE S2




DESCRIPTIONS: - Type S2 features a modern outdoor lamp design with a weather resistant finish. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a contemporary design that adds a touch of modernity to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.




FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.

KICHLER




DESCRIPTIONS: - Kichler outdoor lamp features a traditional design with a weather resistant finish. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a classic design that adds a touch of elegance to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.



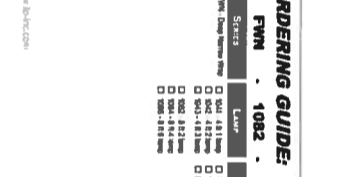
FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.

DEEP NARROW WRAP

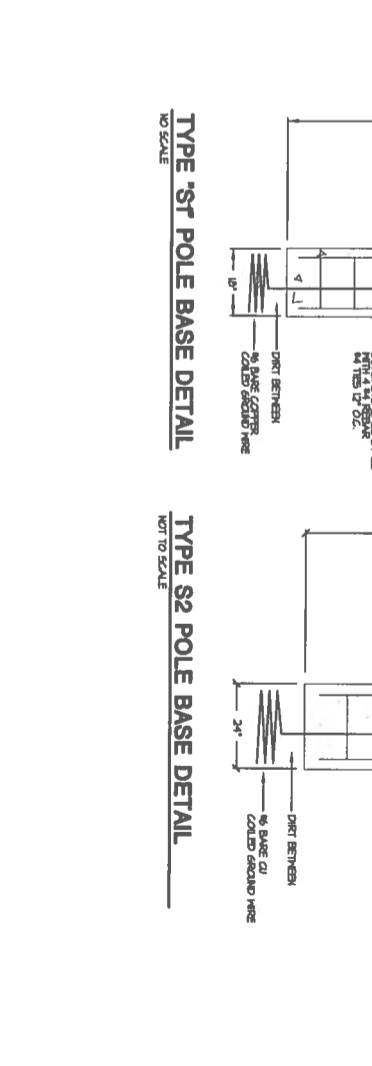
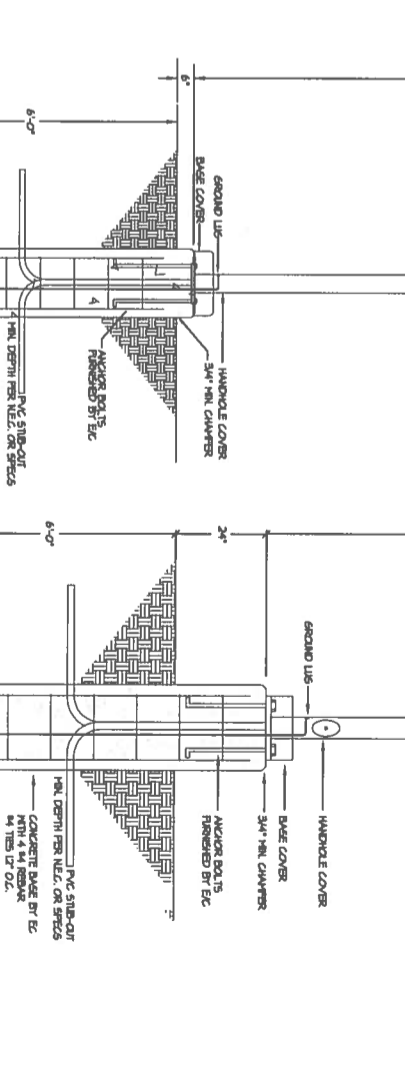
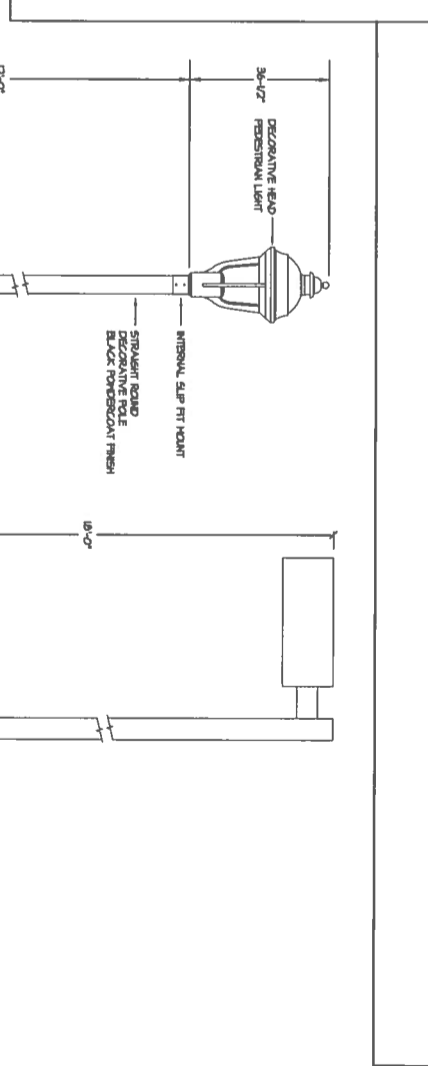


DESCRIPTIONS: - Deep Narrow Wrap outdoor lamp features a modern, wrap-around design with a weather resistant finish. The outdoor lamp is available in a variety of sizes and finishes. The outdoor lamp is designed for use in a variety of outdoor settings. The outdoor lamp is made of high quality materials and is built to last. The outdoor lamp is a contemporary design that adds a touch of modernity to any outdoor space. The outdoor lamp is a must-have for anyone looking to enhance their outdoor lighting.



FINISHES: - The outdoor lamp is available in a variety of finishes. The outdoor lamp is available in a variety of finishes including: Black, Bronze, Copper, Silver, and White. The outdoor lamp is available in a variety of finishes to match your outdoor decor.

OPTIONS: - The outdoor lamp is available with a variety of options. The outdoor lamp is available with options including: LED, CFL, and Incandescent. The outdoor lamp is available with options to meet your needs and budget.



ISSUE	DATE
S01	06.24.2016

MEP JOB: 16040
DESIGNED: NEG
CHECKED: DGM

Lighting Details