



**VICINITY MAP**

**CONSTRUCTION:**

CODES USED: IBC 2009 & IBC 2009  
 Type of Construction: II-B  
 Building is fully sprinklered (existing system to be expanded for addition)  
 Ext. Zoning: Light Industrial (PZ Zoning)

**SCOPE OF WORK:**  
 Add additional warehouse area with additional roof top deck stairs.  
 The main use of this space is for sublease warehouse with accessory use of existing office area and existing retail shop = 1102 SF

**AREA CALCULATIONS:** Existing total area = 40,231 SF  
 - New warehouse addition = 8,500 SF  
**TOTAL BUILDING AREA = 48,731 SF**

**AREAS BY OCCUPANCY:**  
 Existing Warehouse (includes food process area) = 41,071 SF  
 Existing Retail Shop = 10,512 SF  
 Addition of new warehouse = 8,500 SF  
**new total area of warehouse = 12,012 SF**  
 Existing Kitchen area = 7,536 SF  
**TOTAL AREA = 48,231 SF**

**EXISTING TOILETS:** (NOTE: EXCEEDS TOILET AND SINK COUNT CALCULATIONS)  
 MEN: 4 WC, 3 urinals, 3 hand sinks  
 WOMEN: 6 WC  
 Staff area: 4 WC, 3 urinals, 3 hand sinks  
 WOMEN: 6 WC

**OCCUPANCY LOAD & TOILET COUNT CALCULATIONS:**

Warehouse (S-2): 49,071 SF / 300 = 163 occupants  
 Retail Merchandise (M): 10,512 SF / 300 = 350 occupants  
 Kitchen (K): 7,536 SF / 100 = 75 occupants  
**54 TOTAL TOILETS**

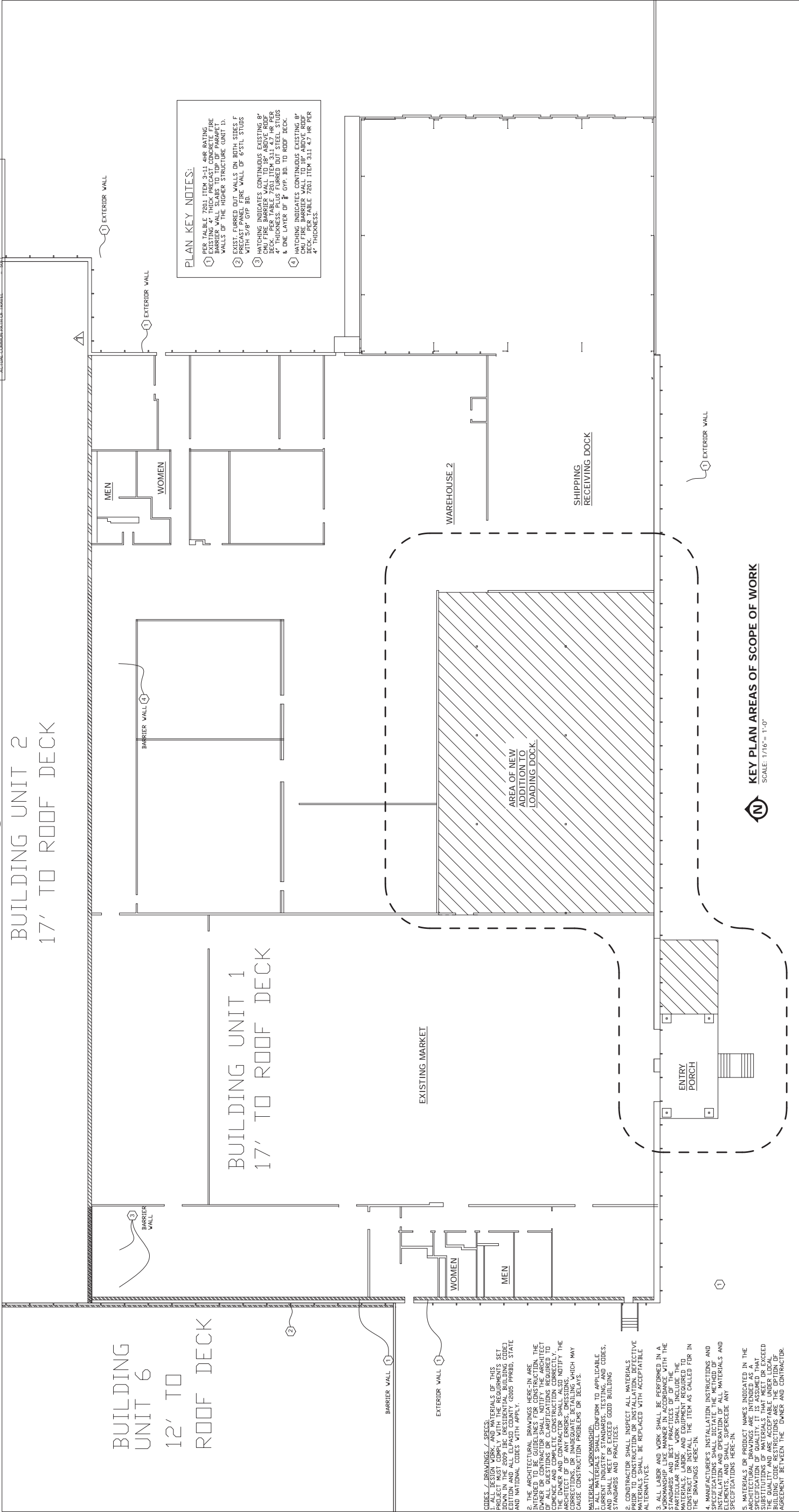
**EXISTING TOILETS:** (NOTE: EXCEEDS TOILET AND SINK COUNT CALCULATIONS)  
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 Staff area: 4 WC, 3 urinals, 3 hand sinks  
 WOMEN: 6 WC

**CODE DATA:**  
 EXCEPTION FOR FIRE BARRIERS PER IBC 2009 Section 912.5.1 (exception)  
 Change of occupancy of warehouse from S-1 to S-2 allows for the separation walls to be fire barriers.  
 PER TABLE 707.3.9 - 2HR FIRE BARRIER SEPARATION REQUIRED. (See plan notes this sheet)  
 3 EXITS REQUIRED AND PROVIDED  
 MINIMUM EGRESS WIDTH REQUIRED: 04.578 x 2" = 115"  
 WIDTH PROVIDED:  
 36" DOOR x 9 DOORS = 324"  
 TRAVEL DISTANCES:  
 MAXIMUM TRAVEL DISTANCE = 140 FT  
 ACTUAL MAX TRAVEL DISTANCE = 140 FT  
 REQUIRED MAX COMMON RATH OF TRAVEL = 100 FT  
 ACTUAL COMMON RATH OF TRAVEL = 100 FT

**LEGAL DESCRIPTION:**  
 COMMUNITY TRUST DEVELOPMENT, LLC  
 RECORDED MAY 11, 2006, REC # 200609088181 AND AS  
 SUPPLEMENTAL INSTRUMENT RECORDED MAY 11, 2006, REC # 2006090772  
 ADDRESS: 615 WOOTEN RD,  
 COLORADO SPRINGS, CO, 80915  
 TAX SCHEDULE # 641280209  
 OWNER: 600 WOOTEN RD, LLC

**SHEET INDEX:**  
 A-1: COVER SHEET  
 A-2: SITE PLAN  
 A-3: DOCK ADDITION FLOOR PLAN  
 A-4: DOCK ADDITION ELEVATIONS  
 A-5: DOCK ADDITION SECTION

**architivity**  
 Ron Conder  
 rconder@architivity.com  
 14405 River Oaks Dr.  
 Colorado Springs, CO 80921  
 719-661-9250 , phone  
 719-481-6463 , fax



BUILDING UNIT 6  
 12' TO  
 ROOF DECK

BUILDING UNIT 1  
 17' TO  
 ROOF DECK

BUILDING UNIT 2  
 17' TO  
 ROOF DECK

**CODES / DRAWINGS / SPECIFICATIONS:**  
 ALL MATERIALS OF THIS PROJECT MUST COMPLY WITH THE REQUIREMENTS SET DOWN IN THE 2009 IBC (RESIDENTIAL BUILDING CODE) AND NATIONAL CODES WITH APPLY.

**2. THE ARCHITECTURAL DRAWINGS HERE-IN ARE INTENDED TO BE GUIDELINES FOR CONSTRUCTION. THE OWNER OR CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY, OMISSION, AND COMPLETE CONSTRUCTION CORRECTLY. THE OWNER AND CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY, OMISSION, AND COMPLETE CONSTRUCTION CORRECTLY. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY CAUSE CONSTRUCTION PROBLEMS OR DELAYS.**

**MATERIALS / WORKMANSHIP:**  
 1. ALL MATERIALS SHALL CONFORM TO APPLICABLE CURRENT INDUSTRY STANDARDS, TESTING, AND CODES, STANDARDS AND PRACTICES.

**2. CONTRACTOR SHALL INSPECT ALL MATERIALS PRIOR TO CONSTRUCTION OR INSTALLATION. DEFECTIVE MATERIALS SHALL BE REPLACED WITH ACCEPTABLE ALTERNATIVES.**

**3. ALL LABOR AND WORK SHALL BE PERFORMED IN A MANNER THAT IS CONSISTENT WITH THE STANDARDS AND BEST PRACTICES OF THE PARTICULAR TRADE. WORK SHALL INCLUDE THE CONSTRUCTION OF ALL MATERIALS AND SHALL BE CONSTRUCTED OR INSTALLED THE ITEM AS CALLED FOR IN THE DRAWINGS HERE-IN.**

**4. MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL DIGITATE THE METHOD OF INSTALLATION AND DEPENDENT ON ALL MATERIALS AND SPECIFICATIONS AND DEPEND ON ALL MATERIALS AND SPECIFICATIONS HERE-IN.**

**5. MATERIALS OR PRODUCT NAMES INDICATED IN THE ARCHITECTURAL DRAWINGS ARE INTENDED AS A SPECIFICATION OF QUALITY. IT IS ASSUMED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE QUALITY AND ARE ACCEPTABLE UNDER LOCAL BUILDING CODE RESTRICTIONS ARE THE OPTION OF AGREEMENT BETWEEN THE OWNER AND CONTRACTOR.**

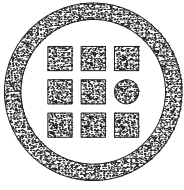
**SHEET: COVER SHEET / KEY PLAN**  
**COLORADO SPRINGS CO 80915**  
**615 WOOTEN RD. #170 LOT 1**  
**PROJECT: LE HING INC. MARKET EXPANSION**

date: 09/17/18  
 rev:   
 A-1

**FIGURE 3**







**architvity**

Ron Conder

rconder@architvity.com

14405 River Oaks Dr.  
 Colorado Springs, CO 80921  
 719-661-9250 , phone  
 719-481-6463 , fax

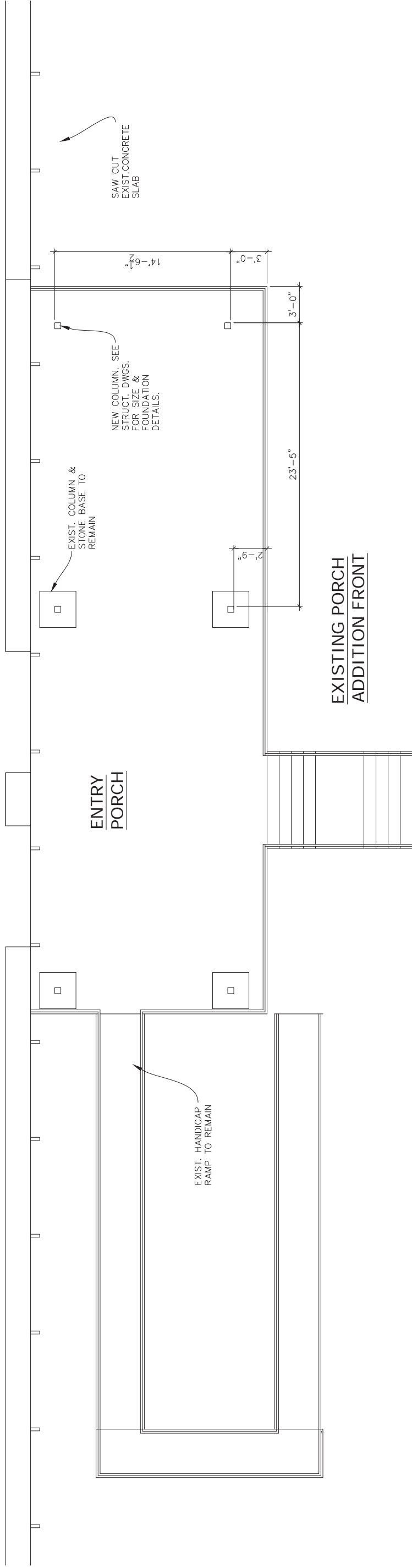
**PROJECT: LE HING INC. MARKET EXPANSION**  
**615 WOOTEN RD. #170 LOT 1**  
**COLORADO SPRINGS CO 80915**

**SHEET: NEW ENTRY PORCH ROOF ADDITION**

date: 09/17/18

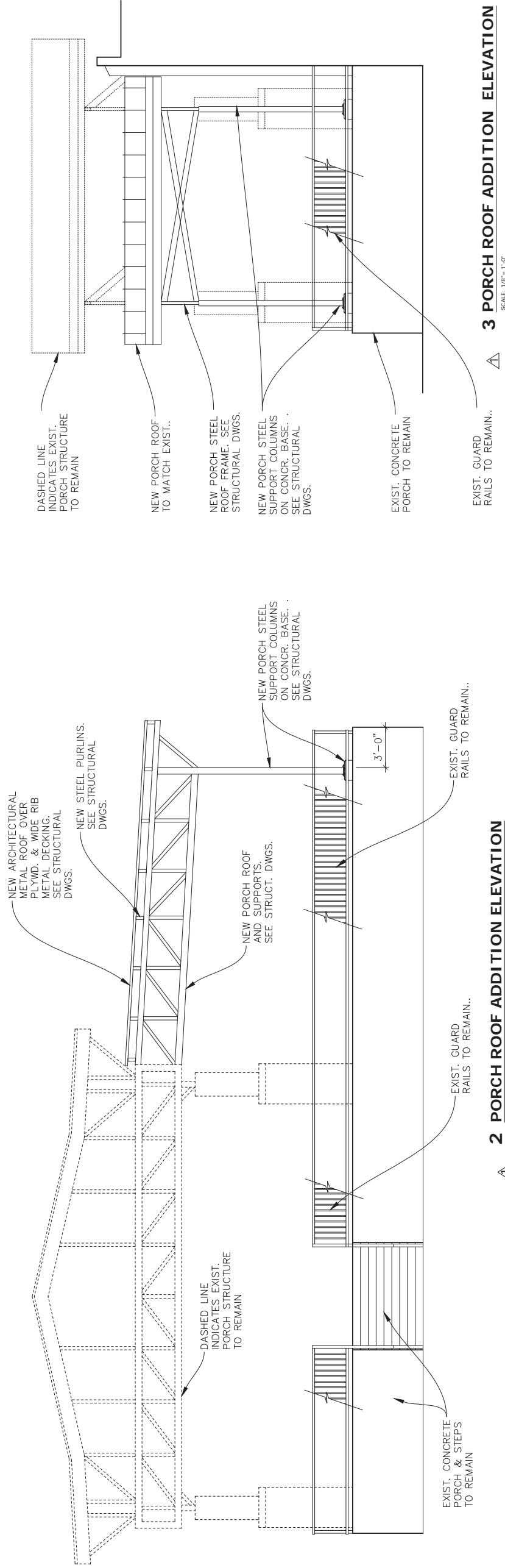
Rev:

**A-4**



**EXISTING PORCH  
 ADDITION FRONT**

**1 ENLARGED ENTRY PORCH PLAN**  
 SCALE: 1/4" = 1'-0"



**2 PORCH ROOF ADDITION ELEVATION**  
 SCALE: 1/8" = 1'-0"

**3 PORCH ROOF ADDITION ELEVATION**  
 SCALE: 1/8" = 1'-0"

**FIGURE 3**