



**VICINITY MAP**

BUILDING UNIT 2  
17' TO ROOF DECK

**CONSTRUCTION:**

CODES USED: IBC 2009 & IBC 2009  
Type of Construction: II-B  
Building is fully sprinklered (existing system to be expanded for addition)  
Exit: Zoning: Light Industrial P12 Zoning.

SCOPE OF WORK:  
Add additional work areas with additional roof top deck stairs.  
The main use of this space is for sublease warehouse with accessory use of existing office area and existing retail shop = 1102 SF

**AREA CALCULATIONS:** Existing total area = 40,231 SF  
New warehouse addition = 8500 SF  
TOTAL BUILDING AREA = 48,731 SF

**AREAS BY OCCUPANCY:**  
Existing Warehouse (includes food process area) = 41,071 SF  
Existing Retail Shop = 8000 SF  
Addition of new expanded retail shop = 1,071 SF  
Existing Kitchen area = 7,536 SF  
TOTAL AREA = 48,221 SF

**EXISTING TOILETS:** (NOTE: EXCEEDS TOILET AND SINK COUNT CALCULATIONS)  
MEN: 4 W.C. 3 urinals, 3 hand sinks  
WOMEN: 6 W.C.  
Staff area: 4 W.C. 3 urinals, 3 hand sinks  
WOMEN: 6 W.C.

**OCCUPANCY LOAD & TOILET COUNT CALCULATIONS:**

Warehouse (S-2): 49,071 SF / 300 = 163 occupants  
Retail Merchandise (M): 10,512 SF / 30 = 350 occupants  
Total occupants = 513 occupants  
Total occupant load per Table 1004.1.2 IBC: 514 occupants

**EXISTING TOILETS:** (NOTE: EXCEEDS TOILET AND SINK COUNT CALCULATIONS)  
MEN: 4 W.C. 3 urinals, 3 hand sinks  
WOMEN: 6 W.C.  
Staff area: 4 W.C. 3 urinals, 3 hand sinks  
WOMEN: 6 W.C.

**CODE DATA:**  
EXCEPTION FOR FIRE BARRIERS PER IBC 2009 Section 912.5.1 (exception)  
Change of occupancy of warehouse from S-1 to S-2 allows for the separation walls to be fire barriers.  
PER TABLE 707.3.9 2HR FIRE BARRIER SEPARATION REQUIRED. (See plan notes this sheet)  
3 EXIT RADI, AND 3 PROVIDED  
MINIMUM EGRESS WIDTH REQUIRED: 04.578 x 2" = 115"  
WIDTH PROVIDED:  
30" DOOR x 9 DOORS = 324"  
TRAVEL DISTANCES:  
MAXIMUM TRAVEL DISTANCE = 140 FT  
ACTUAL MAX TRAVEL DISTANCE = 140 FT  
REQUIRED MAX COMMON RATH OF TRAVEL = 100 FT  
ACTUAL COMMON RATH OF TRAVEL = 100 FT

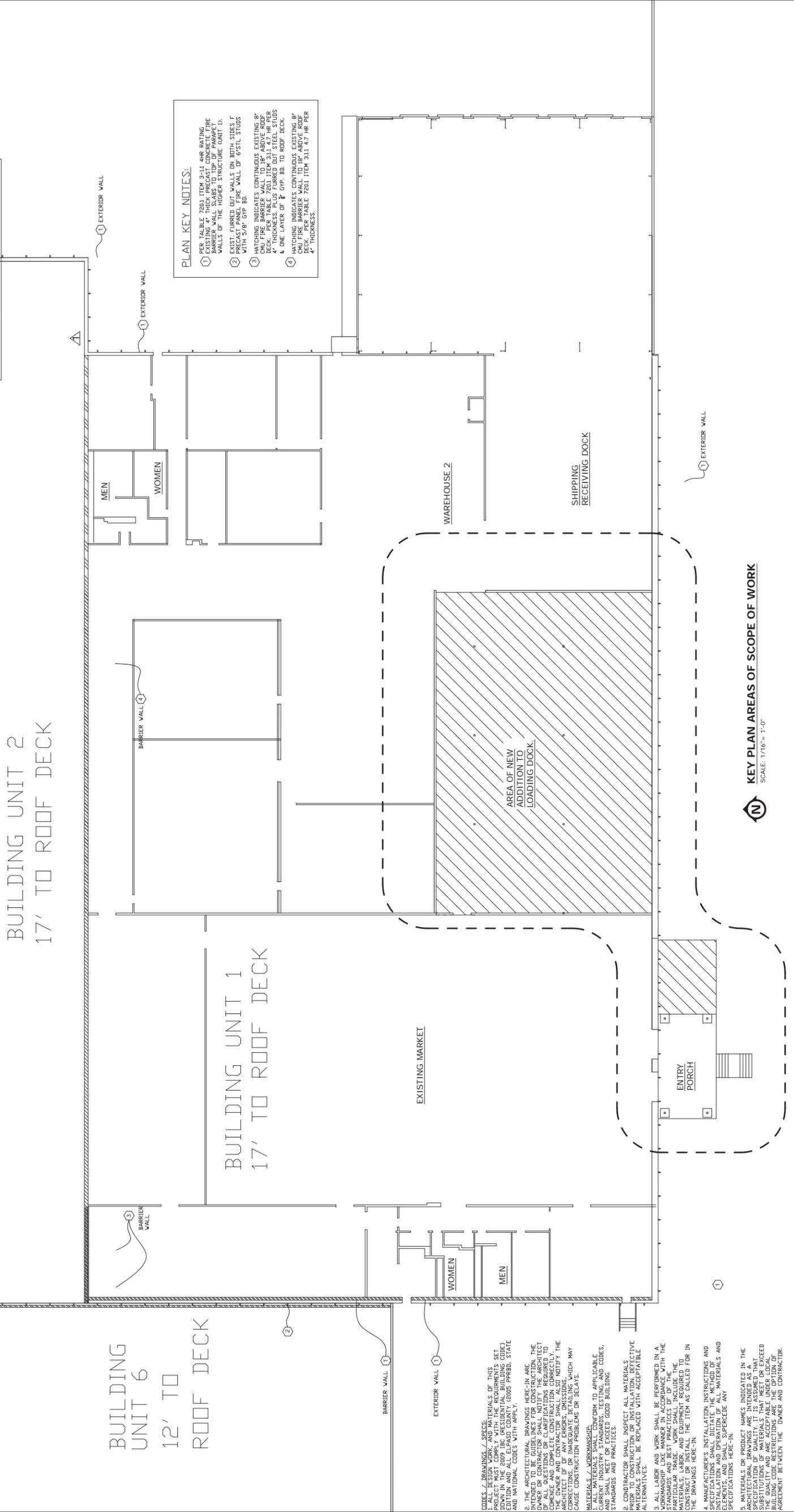
**LEGAL DESCRIPTION:**  
CONTRACTOR SHALL VERIFY ALL LEGAL DESCRIPTIONS AND RECORDS ACCORDING TO THE DECLARATION OF CONDOMINIUMS AND AS RECORDED MAY 11, 2006, REC # 2006090881 AND AS RECORDED MAY 11, 2006, REC # 2006090772  
ADDRESS: 615 WOOTEN RD, COLORADO SPRINGS, CO, 80915  
TAX SCHEDULE # 641280209  
OWNER: 600 WOOTEN RD, LLC

**SHEET INDEX:**  
A-1: COVER SHEET  
A-2: SITE PLAN  
A-3: DOCK ADDITION FLOOR PLAN  
A-4: DOCK ADDITION ELEVATIONS  
A-5: DOCK ADDITION SECTION

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**PROJECT: LE HING INC. MARKET EXPANSION**  
**615 WOOTEN RD. #170 LOT 1**  
**COLORADO SPRINGS CO 80915**  
**SHEET: COVER SHEET / KEY PLAN**

date: 09/17/18  
Rev:  
**A-1**



**PLAN KEY NOTES:**

- PER TABLE 7801 ITEM 3-11 AND RATING EXISTING 4" THICK PRECAST CONCRETE FIRE BARRIER WALL SLABS TO TOP OF PARAPET WALLS OF THE HIGHER STRUCTURE UNIT 1).
- EXIST. FURRED OUT WALLS ON BOTH SIDES F WITH 5/8" GYP. BR.
- HATCHING INDICATES CONTINUOUS EXISTING 8" CHU-FINE BARRIER WALL TO BE ABOUT 1" ABOVE DECK. PER TABLE 7801 ITEM 3.11.4.7 HR PER 4" THICKNESS. PLUS FURRED OUT STEEL STUDS & ONE LAYER OF # 6 GYP. BR. TO WOOD DECK.
- HATCHING INDICATES CONTINUOUS EXISTING 8" CHU-FINE BARRIER WALL TO BE ABOUT 1" ABOVE DECK. PER TABLE 7801 ITEM 3.11.4.7 HR PER 4" THICKNESS.

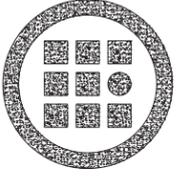
CODES / DRAWINGS / SPECIFICATIONS / MATERIALS OF THIS PROJECT MUST COMPLY WITH THE REQUIREMENTS SET DOWN IN THE 2009 IBC RESIDENTIAL BUILDING CODES AND NATIONAL CODES WITH APPLY.

2. THE ARCHITECTURAL DRAWINGS HERE-IN ARE INTENDED TO BE GUIDELINES FOR CONSTRUCTION. THE OWNER OR CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND COMPLETE CONSTRUCTION CORRECTLY. THE OWNER AND CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND COMPLETE CONSTRUCTION CORRECTLY OR INADEQUATE DETAILS WHICH MAY CAUSE CONSTRUCTION PROBLEMS OR DELAYS.

**MATERIALS / WORKMANSHIP:**  
1. ALL MATERIALS SHALL CONFORM TO APPLICABLE CURRENT INDUSTRY STANDARDS, TESTING AND CODES, STANDARDS AND PRACTICES.  
2. CONTRACTOR SHALL INSPECT ALL MATERIALS PRIOR TO CONSTRUCTION OR INSTALLATION. DEFECTIVE MATERIALS SHALL BE REPLACED WITH ACCEPTABLE ALTERNATIVES.  
3. ALL LABOR AND WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE STANDARDS AND BEST PRACTICES OF THE PARTICULAR TRADE. WORK SHALL INCLUDE THE CONSTRUCTION OF ALL MATERIALS AND SHALL BE CONSTRUCTED OR INSTALLED THE ITEM AS CALLED FOR IN THE DRAWINGS HERE-IN.  
4. MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL DIGTATE THE METHOD OF INSTALLATION AND RESPONSIBILITY FOR ALL MATERIALS AND FINISHES AND PERFORMANCE OF ALL MATERIALS AND SPECIFICATIONS HERE-IN.  
5. MATERIALS OR PRODUCT NAMES INDICATED IN THE ARCHITECTURAL DRAWINGS ARE INTENDED AS A SPECIFICATION OF QUALITY. IT IS ASSUMED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUALITY AND ARE ACCEPTABLE UNDER LOCAL BUILDING CODE RESTRICTIONS ARE THE OPTION OF AGREEMENT BETWEEN THE OWNER AND CONTRACTOR.

**KEY PLAN AREAS OF SCOPE OF WORK**  
SCALE: 1/16" = 1'-0"

**FIGURE 3**



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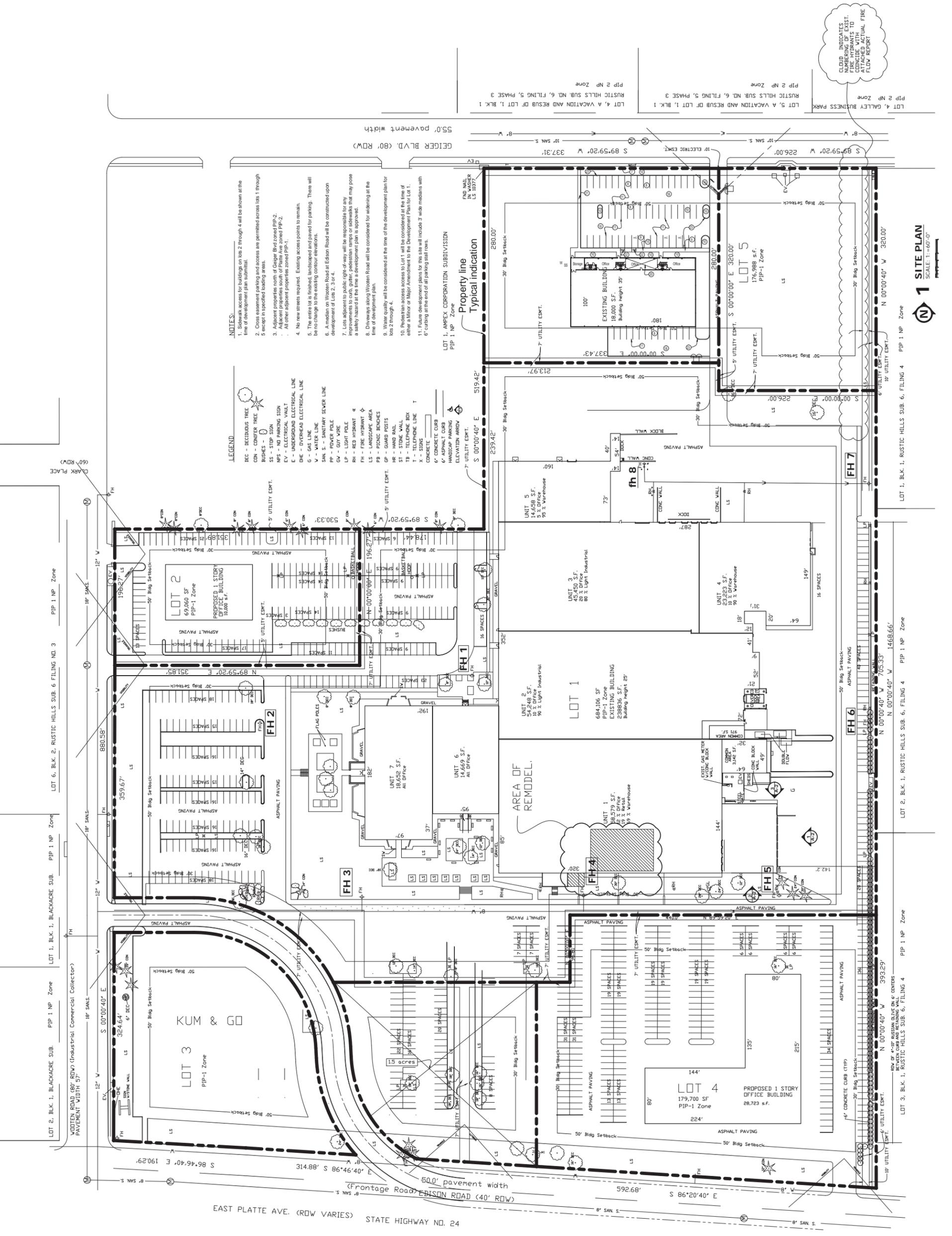
SHEET: SITE PLAN

date: 09/17/18

rev:

A-2

CLOUD INDICATES NUMBERING OF EXIST. STRUCTURES TO BE REMOVED TO ACCORD WITH ATTACHED ACTUAL FIRE FLOW REPORT



- NOTES:**
1. Sidewalk access for buildings on lots 2 through 4 will be shown at the time of development plan submission.
  2. Cross easement parking and access are permitted access lots 1 through 5 except in specified loading areas.
  3. Adjacent properties north of Geiger Blvd zoned PIP-2.
  4. Adjacent properties south of Platte Ave zoned PIP-1.
  5. All other adjacent properties zoned PIP-1.
  6. No new streets required. Existing access points to remain.
  7. The site is to be graded, landscaped and paved for parking. There will be no change to the existing contour elevations.
  8. A median on Wooten Road at Edison Road will be constructed upon development of Lot 2, 3 or 4.
  9. Lots adjacent to public right-of-way will be responsible for any improvements to curb, gutter, pedestrian ramps or sidewalks that may pose a safety hazard at the time a development plan is approved.
  10. Driveways along Wooten Road will be considered for widening at the time of development plan.
  11. Water quality will be considered at the time of the development plan for lots 2 through 4.
  12. Pedestrian access to Lot 1 will be considered at the time of either a Minor or Major Amendment to the Development Plan for Lot 1.
  13. Final development plans for this site will include 3' wide medians with 6" curbing at the end of all parking stall rows.

- LEGEND**
- REC - RECIDIOUS TREE
  - CON - CONIFER TREE
  - SS - STOP SIGN
  - NPS - NO PARKING SIGN
  - EV - ELECTRICAL MULLION
  - UE - UNDERGROUND ELECTRICAL LINE
  - GC - GAS LINE
  - V - WATER LINE
  - SAN S. - SANITARY SEWER LINE
  - PP - POWER POLE
  - GP - GUY WIRE
  - LP - LIGHT POLE
  - RH - RED HYDRANT
  - FH - FIRE HYDRANT
  - LS - LANDSCAPE AREA
  - GP - GUARD POSTS
  - HR - HAND RAIL
  - ST - STICK WALL
  - TB - TELEPHONE BOX
  - Y - TELEPHONE LINE
  - CONC - CONCRETE
  - 6" CONCRETE CURB
  - 6" ASPHALT CURB
  - HANDICAP PARKING
  - ELEVATION ARROW
  - 7' UTILITY ESMT.

LOT 1, AMPEX CORPORATION SUBDIVISION  
PIP 1 NP Zone  
Property line  
Typical indication

LOT 1, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone  
LOT 2, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone  
LOT 3, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone

LOT 1, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone

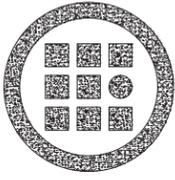
LOT 2, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone

LOT 3, BLK. 1, RUSTIC HILLS SUB. 6, FILING 4 PIP 1 NP Zone

1 SITE PLAN  
SCALE: 1"=60'-0"

FIGURE 3





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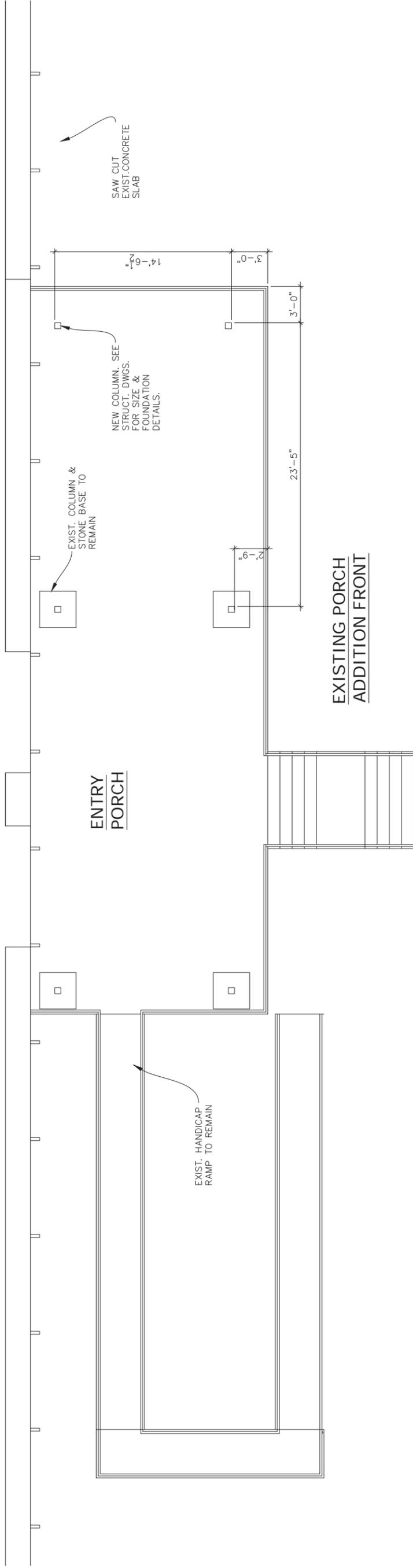
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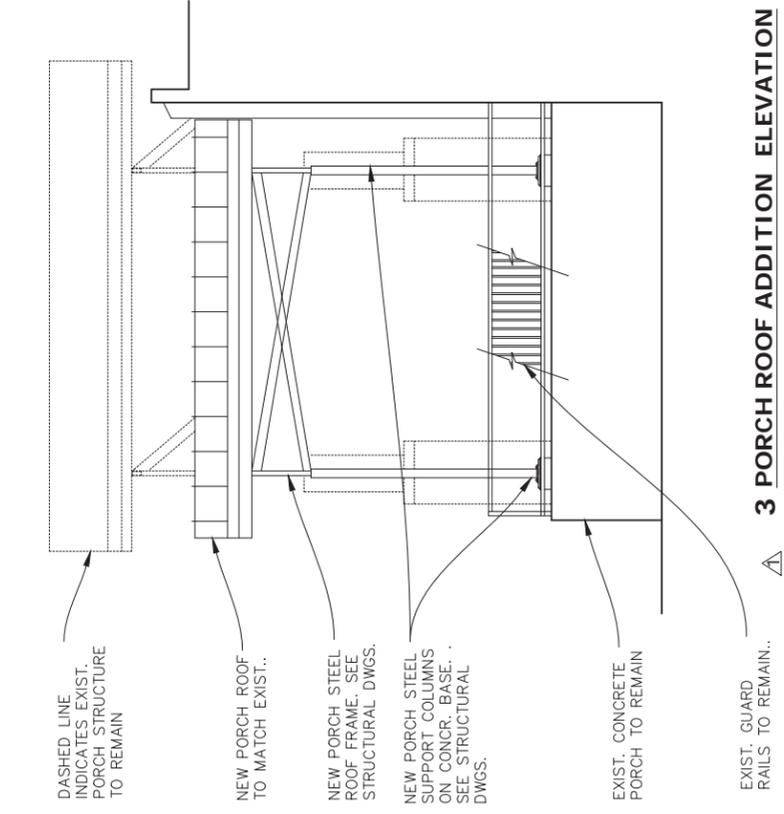
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**A-4**



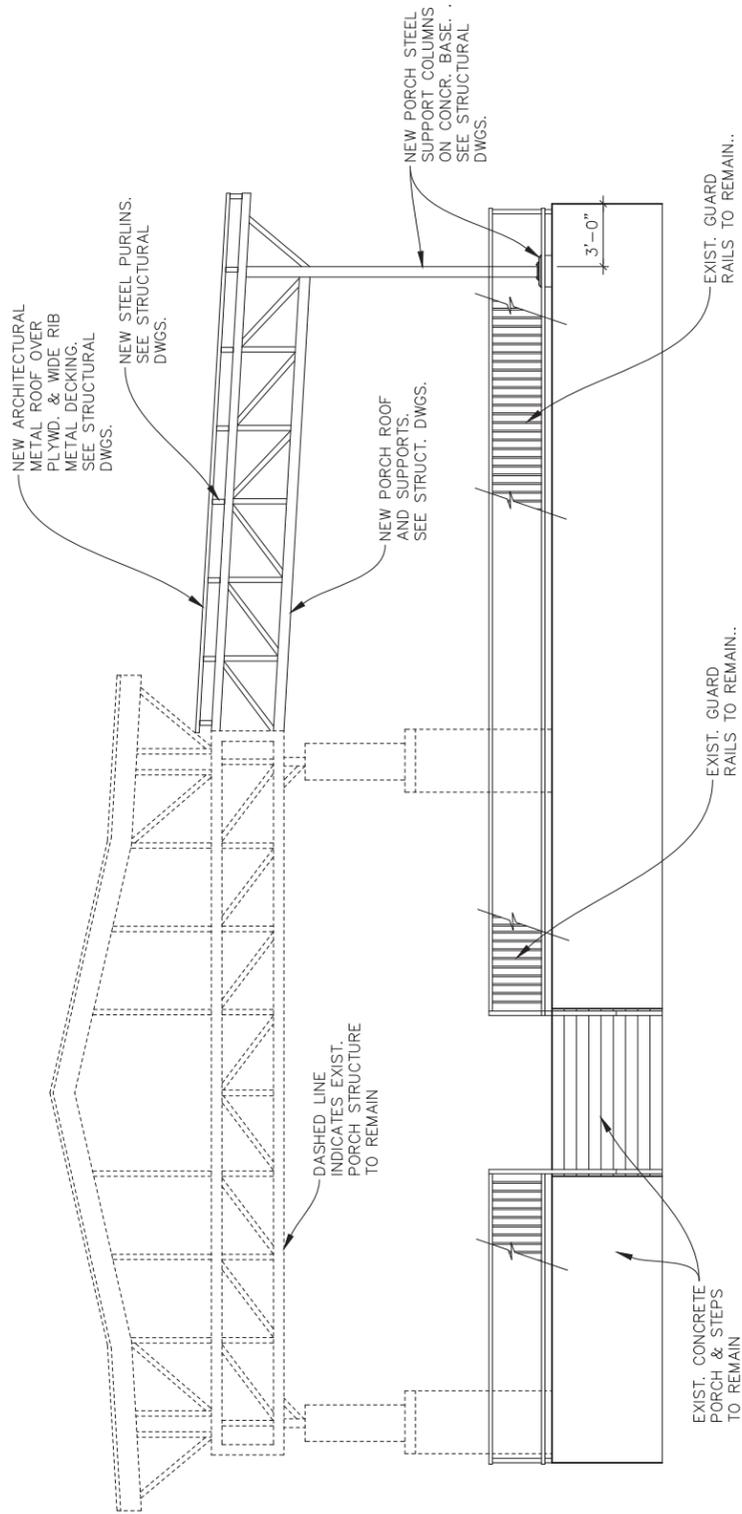
**1 ENLARGED ENTRY PORCH PLAN**

SCALE: 1/4" = 1'-0"



**3 PORCH ROOF ADDITION ELEVATION**

SCALE: 1/8" = 1'-0"



**2 PORCH ROOF ADDITION ELEVATION**

SCALE: 1/8" = 1'-0"

**FIGURE 3**