

a. **Recreational Clubs:** A club providing indoor and/or outdoor athletic facilities, with or without social facilities. Typical uses include health clubs, country clubs, nonprofit recreation or community centers.

b. **Social Clubs:** A club providing social or meeting facilities. Typical uses include private social clubs and fraternal organizations. A "marijuana consumption club" as defined in section 2.2.202 of this Code shall not be considered a social club under this Zoning Code.

4. **CREMATORY SERVICES:** An establishment exclusively providing services for the incineration of human or animal corpses.

5. **CULTURAL SERVICES:** A library, museum, planetarium, performing art venue or similar registered nonprofit organizational use displaying, preserving and exhibiting objects of community and cultural interest in one or more of the arts and sciences.

6. **DAYCARE SERVICES:** A Colorado State licensed facility which provides care to children or adults, who may or may not be related to the owner, operator, or manager, and such facility is operated with or without a stated educational purpose or compensation for the care of those persons.

a. A daycare for children may include a daycare home, large daycare home, daycare center, day nursery, nursery school, kindergarten, preschool, play group, daycare center for handicapped and mentally or emotionally disordered individuals. The term shall not include any facility known as a family care home or a large family care home. Occasional twenty four (24) hour emergency care may be provided.

b. A daycare for adults (age 21 and above) may include a daycare home, large daycare home, daycare center or daycare center for handicapped or mentally or emotionally disordered individuals. Occasional twenty four (24) hour emergency care may be provided.

7. **DETENTION FACILITIES:** A public or private use which provides housing and care for individuals legally confined and is designed to isolate those individuals from a surrounding community.

8. **EDUCATIONAL INSTITUTION:** Education shall mean public schools, nonpublic schools,

schools administered and operated by the State, colleges or universities, and proprietary schools. The following definitions shall apply to the various types of educational institutions:

a. **Charter School:** Those schools approved as charter schools under the State Schools Act.

b. **College And University:** An educational institution of higher learning which offers a course of study designed to culminate in the issuance of a degree certified by a generally recognized accrediting organization and under charter or license from the State of Colorado.

c. **Nonpublic Schools:** All private, parochial, and independent schools which provide education of compulsory school age pupils comparable to that provided in the public schools of the State. The term "comparable" shall mean a schedule of at least one hundred eighty (180) days of actual teacher-pupil teaching days, at least a five and one-half (5 $\frac{1}{2}$) hour school day in grades one through six (6) and at least a six (6) hour school day in grades seven (7) through twelve (12), and at least fifty percent (50%) of the school's full time teachers must hold valid Colorado teaching certificates.

d. **Proprietary Schools:** Schools such as art schools, language schools, business colleges, trade schools, secretarial colleges, gymnastic schools and dance schools.

e. **Public Schools:** Those schools administered by legally organized school districts.

9. **HOSPITAL:** An institution providing primary health services and medical or surgical care to persons suffering from illness, disease, injury, and other ailments, and including as an integral part of the institution related facilities such as laboratories, outpatient facilities or training facilities.

10. **MAINTENANCE AND SERVICE FACILITY:** A public facility supporting maintenance, repair, vehicular or equipment servicing, material storage, and similar activities having characteristics of commercial services or contracting or industrial activities.

11. **MAUSOLEUM/COLUMBARIUM:** A place such as a building or vault used or intended to be used for the burial of the dead and dedicated for cemetery purposes.

PERMITTED, CONDITIONAL AND ACCESSORY USES
 AGRICULTURAL, RESIDENTIAL, SPECIAL USE, TRADITIONAL NEIGHBORHOOD AND FORM BASED⁵ DEVELOPMENT ZONE DISTRICTS

| Use Types | A | R | R-1 9000 | R-1 6000 | R-2 | R-4 | R-5 | SU | TND |
|--|---|---|----------|----------|-----|-----|-----|----|-----|
| Residential use types: | | | | | | | | | |
| Single-family detached dwelling on an individual lot | P | P | P | P | P | P | P | P | P |
| Two-family dwelling on an individual lot | | | | | P | P | P | P | P |
| Multiple detached single-family dwellings on an individual lot | | | | | | P | P | P | P |
| Multiple two-family dwellings on an individual lot | | | | | | P | P | P | P |
| Accessory dwelling unit | P | | | | P | P | P | P | P |
| Manufactured home | P | P | P | P | P | P | P | P | P |
| Mobile home ¹ | | | | | | | | | |
| Multi-family dwelling | | | | | | P | P | P | P |
| Rooming or boarding house | | | | | | P | P | P | P |
| Studio or efficiency | | | | | | P | P | P | P |
| Dormitory, fraternity or sorority house | | | | | | P | P | P | P |
| Retirement home | | | | | | P | P | P | P |
| Human service establishments: | | | | | | | | | |
| Human service home | P | P | P | P | P | P | P | P | P |
| Human service residence: | P | P | P | P | P | P | P | P | P |
| Family care home | P | P | P | P | P | P | P | P | P |
| Large family care home | C | C | C | C | C | P | P | P | C |
| Domestic violence safe house | P | P | P | P | P | P | P | P | P |
| Family support residence | P | P | P | P | P | P | P | P | P |

FIGURE 8

(6) Flyway Barriers:

(A) A flyway barrier shall be installed within five feet (5') of the entrance of all beehives on properties of less than five (5) acres in area. No flyway barrier is required if the beehive(s) is located fifty feet (50') or more from any property line.

(B) A flyway barrier shall be a minimum of six feet (6') in height.

(C) A flyway barrier shall be located no further than five feet (5') from any beehive(s).

(D) A flyway barrier shall be constructed of an opaque fence or fast growing, dense evergreen vegetative material capable of reaching six feet (6') in height at maturity.

(7) Fresh Water Supply: A fresh water supply shall be provided within five feet (5') of the beehive(s).

c. Playhouse: A child's playhouse is allowed in any residential district provided that if the playhouse exceeds six feet (6') in height it must meet all of the development standards for the zone district.

d. Columbarium: Columbaria may be allowed as an accessory use to a religious institution subject to approval of a development plan or development plan amendment for the religious institution.

e. Daycare Home: Small daycare homes which are State licensed and have an attendance of not more than six (6) full time and two (2) part time children are allowed in any residential zone district.

f. Flagpole: Flagpoles are allowed in any residential zone district.

g. Garage Sale: Garage sales are allowed in any residential zone district provided that:

(1) Each garage sale is held no more than two (2) times per calendar year, and

(2) Each garage sale does not exceed a period of two (2) consecutive days.

h. Medical Or Dental: Any use accessory to a clinic or medical or dental office building or office complex, such as drug prescription and supply shop, office or shop for fabricating and fitting prosthetic or corrective devices or medical or dental laboratories, shall be permitted as an accessory use to the permitted use within any clinic, office building or office complex, provided such accessory use shall be intended for the use of the occupants and clientele of such office; however, this accessory use is only allowed in the Special Use (SU) Zone District.

i. Outdoor Storage: Outdoor storage only as specifically permitted by the district.

j. Storage Structure: Storage structures are limited to two (2) structures per principal use, provided the structures do not exceed four hundred (400) square feet in gross floor area.

k. Swimming Pool/Bathhouse: Private swimming pool and bathhouse.

B. Daycare Homes, Large Daycare Homes, And Daycare Centers: Whenever a daycare home, large daycare home or daycare center is a principal permitted use or a conditional use within a specific zone district, the following criteria must be met:

1. A licensed daycare home, a facility with attendance of no more than six (6) children full time plus two (2) children part time, is allowed as an accessory use. The following standards shall apply to a daycare home:

a. No more than one part time employee who does not reside in the home may work at the home.

b. Substitute providers are allowed when the normal provider cannot be present.

c. One wall sign not more than two (2) square feet is allowed.

d. No part of the required outdoor space shall be situated within any front building setback. The required outdoor space shall be screened from adjacent residential properties when necessary and appropriate to reduce play area sounds.

e. Subject to the approval of a daycare permit from the Community Development Department.

2. A licensed large daycare home, a facility with attendance of seven (7) to twelve (12) children, requires a conditional use in most residential zone districts. For licensed large daycare homes, contact both the Regional Building Department and the Colorado Springs Fire Department for Building and Fire Code requirements. The following standards shall apply to a large daycare home:

a. All standards required for a daycare home, listed in section 7.2.302 of this chapter.

b. A large daycare home shall provide the minimum square footage of indoor and outdoor space per person that complies with the State's requirements.

3. A daycare center, a facility having more than six (6) children full time and generally located in an office or commercial zone district. For daycare centers, contact both the Regional Building Department and the Colorado Springs Fire Department for Building and Fire Code requirements. A daycare center must meet the following standards:

a. A daycare center shall provide the minimum square footage of indoor and outdoor space per person that complies with the State's requirements. No part of the required outdoor space shall be situated within any front building setback. The required outdoor space shall be screened from adjacent residential properties when necessary and appropriate to reduce play area sounds.

b. A daycare center must be located on a collector street which is a street having direct access to a minor or major arterial roadway.

C. Carports And Garages: Carports and/or garages are allowed in any zone district as an accessory use, but only in connection with a principal use. Except as otherwise provided in part 9 of this article, the maximum capacity and size of any combination of attached or detached private parking garages or carports associated with one dwelling unit are as follows:

1. Single-Family: A maximum of one thousand two hundred (1,200) square feet per unit with garage doors for no more than four (4) cars.

2. Multiple-Family: A maximum of six hundred (600) square feet per unit with garage doors for no more than two (2) cars.

3. Storage: The space within a garage or carport shall not exceed one thousand two hundred (1,200) square feet unless a storage space not to exceed four hundred fifty (450) square feet has been incorporated into the structure.

4. Detached Garages: Detached garages with a roof pitch of less than six to twelve (6:12) shall have a maximum height of sixteen feet (16'). Detached garages with a roof pitch of six to twelve (6:12) or greater shall have a maximum height of twenty feet (20'). Height for detached garages shall be measured as the vertical distance from the average elevation of the finished grade adjoining the building to the highest point of the roof surface.

5. Footprint Size: The size of the footprint for detached garages may not exceed the footprint size of the principal structure.

D. Greenhouse And Nursery, Private: A commercial private greenhouse/nursery is allowed as an accessory use in all residential zone districts, however, sales are limited to products grown on site.



CITY OF COLORADO SPRINGS

| | |
|-------------------------------|-------------|
| Day Care Permit Number | |
| _____ | |
| Fee Paid (\$30.00): _____ | Date: _____ |
| TSN: _____ | |

APPLICATION FOR HOME DAY CARE PERMIT

Name: _____ Telephone _____

Address: _____ Zip Code _____ e-mail _____

Property Owner Information (if other than applicant)

Owner: _____ Telephone _____

Address: _____ Zip Code _____ e-mail _____

Day Care Information:

Type of Day Care: All Ages: Infant Only:

Maximum number children in day care: Full Time _____ Part Time: _____

Number of Employees at the day care at any one time (excluding self): Full Time: _____ Part Time: _____

Describe the number, size and location of any signage to be used to identify the day care:

Submittal Requirements:

1. Completed Day Care Permit Application
2. Site Plan (See Attached Example)
3. \$30.00 Fee (Made out to the City of Colorado Springs)
4. Once the application is completed, the application should be mailed to: Land Use Review, 30 S. Nevada Av #105, Colorado Springs, CO 80903

Owner / Applicant Authorization

The signature(s) below hereby certify that I (we) have familiarized myself (ourselves) with the rules and regulations with respect to the application. I (we) further certify that the statements contained herein and the information on the attached site plan are in all respects true and accurate to the best of my (our) knowledge.

Owner: _____ Applicant: _____

Approved: _____ Denied: _____

Staff: _____ Date: _____ All Ages _____ Infant _____

Comments: _____

FINAL DISPOSITION

APPROVAL:

After completion of the day care home permit, the reviewing planning staff member will return one (1) copy of the approved application to the applicant.

DENIAL:

If this application is denied, the planning staff member will provide written notification to the applicant that will clearly specify all of the reasons for denial.

DAY CARE HOME PERMITS

Applications for a Day Care Home Permit must meet all of the criteria listed in the Zoning Code before the application can be approved by Planning & Development. These criteria are as follows:

Day Care Home Permit Review Criteria:

A licensed Day Care Home, a facility with attendance of no more than six (6) children full time plus two (2) children part time, is allowed as an Accessory Use. The following standards shall apply to a Day Care Home:

1. No more than one (1) part time employee who does not reside in the home may work at the home.
2. Substitute providers are allowed when the normal provider cannot be present.
3. One (1) wall sign attached to the house, but not more than two (2) square feet is allowed.
4. No part of the required outdoor space shall be situated within any front building setback. The required outdoor space shall be screened from adjacent residential properties when necessary and appropriate to reduce play area sounds. A noise mitigation fence may be required for substantiated noise complaints. Code Section 7.3.105.B.1.d
5. Subject to the approval of a Day Care Permit from City Planning.

A licensed Large Day Care Home, a facility with attendance of seven (7) to twelve (12) children, requires a conditional use in most residential zone districts. For licensed Large Day Care Homes, contact both the Regional Building Department and the Colorado Springs Fire Department for Building and Fire code requirements. The following standards shall apply to a Large Day Care Home:

1. All standards required for a Day Care Home, listed above in this Subsection B.
2. A Large Day Care Home shall provide the minimum square footage of indoor and outdoor space per person that complies with the State's requirements.

A Day Care Center, a facility having more than six (6) children full time and generally located in an office or commercial zone district. For Day Care Centers, contact both the Regional Building Department and the Colorado Springs Fire Department for Building and Fire code requirements. A Day Care Center must meet the following standards:

1. A Day Care Center shall provide the minimum square footage of indoor and outdoor space per person that complies with the State's requirements. No part of the required outdoor space shall be situated within any front building setback. The required outdoor space shall be screened from adjacent residential properties when necessary and appropriate to reduce play area sounds.
2. A Day Care Center must be located on a collector street which is a street having direct access to a minor or major arterial roadway.

In addition to approval of this permit, you must also obtain licensing through the Colorado Division of Childcare. You can contact Child Care Licensing by calling (303) 866-5958 or (800) 799-5876. More information is available at <http://www.cdhs.state.co.us/childcare>

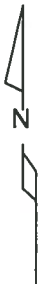
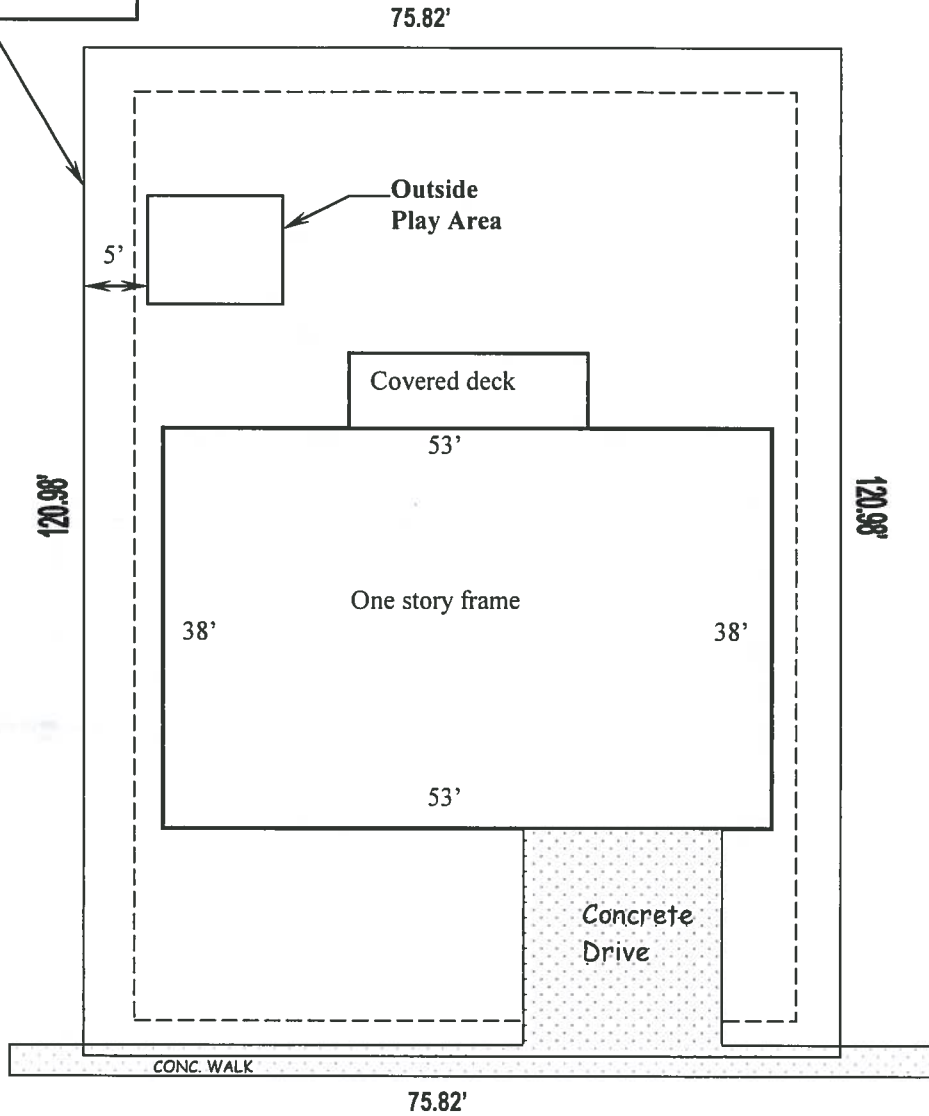
The City of Colorado Springs-Planning Group is committed to ensuring that all of our services are accessible to those with disabilities. We encourage participation by all individuals. If you have a disability, advance notification of any special needs will help us better serve you. Please call Planning & Development at (719) 385-5905 to request any special service that you may require. A one (1) week advance notice to allow us to accommodate your request is appreciated.

Site Plan Example

- * Show fencing if any.
- * Show location of outside play area.

Please indicate proposed or existing fence type and height

Example X X X X
6'



1" = 20'

John Q. Citizen
123 Main St.
Colorado Springs, 80918
(719) 385-5982

Note: 7.3.105.B.d. No part of the required outdoor space shall be situated within any front building setback.