

DEVELOPMENT PLAN FOR SUN MOUNTAIN TOWNHOMES

BLOCK 43, ADDITION NO. 2 TO THE TOWN OF WEST COLORADO SPRINGS, COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND

- PROPOSED**
- INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - CONCRETE AREA
 - ASPHALT AREA
 - CURB AND GUTTER
 - BUILDING
 - BUILDING OVERHANG
 - STRIPING AREA
 - STUMPING AREA
- EXISTING**
- PROPERTY LINE
 - EASEMENT LINE
 - LOT LINE
 - BUILDING SETBACK LINE
 - AD JACENT PROPERTY LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - CONCRETE AREA
 - ASPHALT AREA
 - CURB AND GUTTER
 - BUILDING
 - BUILDING OVERHANG
 - CHAIN LINK FENCE
 - TREE (EVERGREEN/DECIDUOUS)
 - SHRUB
 - ROCK
 - WATER MAIN
 - WATER SERVICE LINE
 - WATER VALVE
 - WATER HYDRANT
 - RRE HYDRANT
 - SANITARY SEWER MAIN
 - SANITARY SEWER SERVICE LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - GAS MAIN
 - OVERHEAD ELECTRIC LINE
 - UNDERGROUND ELECTRIC LINE/MANHOLE
 - UTILITY POLE/UTILITY WIRE
 - WATER SHUTOFF VALVE/SPRINKLER BOX
 - ELECTRIC TRANSFORMER/VAULT
 - TELEPHONE PEDestal
 - LIGHT POLE

- MAP NOTES**
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY HITE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. (INVEST 83)
 - ALL EXISTING UNDERGROUND UTILITIES LOCATED ON THIS PLAN ARE FROM UTILITIES AND RECORDS AND THE LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PROVIDED.

- FLOODPLAIN STATEMENT**
- THE PROPERTY IS LOCATED WITHIN FEMA DESIGNATED FLOOD ZONE 'A' OR 'AE' AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND RECORDED MAPS. MAP NUMBER DEP-N-24-0118.

- GEOLOGIC HAZARD DISCLOSURE**
- THE PROPERTY IS SUBJECT TO THE PROPOSED ISSUANCE AND CONCLUSION OF A GEOLOGIC HAZARD REPORT PREPARED BY BRINCH COMPANY, INC. THE GEOLOGIC HAZARD REPORT SHALL BE SUBMITTED TO THE CITY OF WEST COLORADO SPRINGS FOR REVIEW AND APPROVAL. THE GEOLOGIC HAZARD REPORT SHALL BE SUBMITTED TO THE CITY OF WEST COLORADO SPRINGS FOR REVIEW AND APPROVAL. THE GEOLOGIC HAZARD REPORT SHALL BE SUBMITTED TO THE CITY OF WEST COLORADO SPRINGS FOR REVIEW AND APPROVAL.

NOT A CONSTRUCTION DOCUMENT

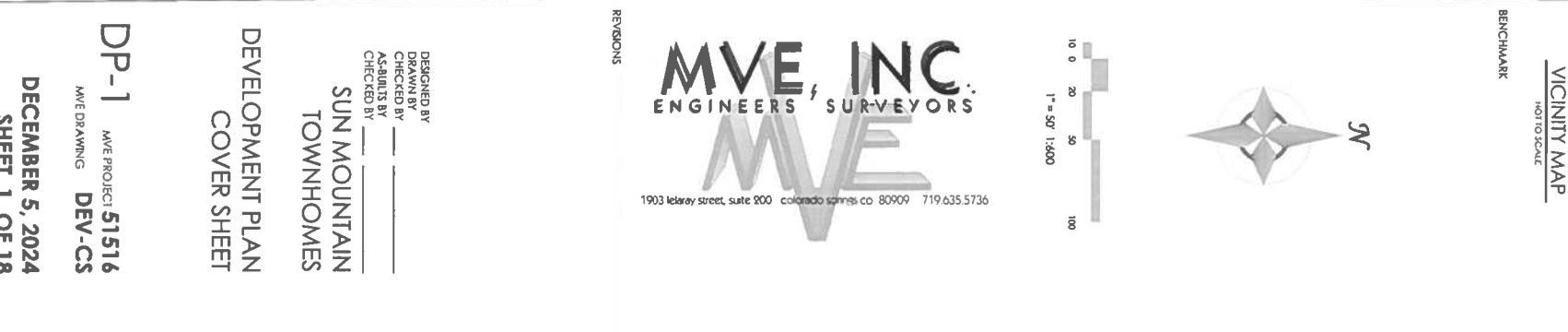
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- NOTES**
- THE PARTS RESPONSIBLE FOR THE PLAN HAVE EXAMINED THE LOTS WITH ALL CURRENT ACCESSORY, CRITERIA, AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL THE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE FEDERAL BUREAU OF INVESTIGATION. THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES DO NOT APPLY TO PROPOSED UNDER OR WITH RESPECT TO ANY PART OF THE PROPOSED DEVELOPMENT FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS WITH THE PROPERTY OWNER.
 - ALL EXISTING CURB, GUTTER, AND SERVICE LINES, DAMAGED, EROSION, OR EXCESSIVE PENETRATION OF SOFT WEARING SURFACES SHALL BE REPAIRED TO MEET THE CITY OF WEST COLORADO SPRINGS STANDARDS. THE CITY ENGINEER SHALL BE NOTIFIED OF ANY DAMAGE TO EXISTING CURB, GUTTER, AND SERVICE LINES. THE CITY ENGINEER SHALL BE NOTIFIED OF ANY DAMAGE TO EXISTING CURB, GUTTER, AND SERVICE LINES. THE CITY ENGINEER SHALL BE NOTIFIED OF ANY DAMAGE TO EXISTING CURB, GUTTER, AND SERVICE LINES.
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- STANDARD NOTES**
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OWNER	APPLICANT	M.A.V.E., INC.	DAVID R. GORHAM, P.E.	1903 ELABANY STREET	COLORADO SPRINGS, CO 80909	PH (719) 635-5736	FAV (719) 635-5450	DAVE@MVAE.COM	TAX SCHEDULE NO.	CURRENT ADDRESS	LAND USE	CURRENT: VACANT RESIDENTIAL	PROPOSED: MULTI-FAMILY RESIDENTIAL	ATTACHED	SITE DATA	ZONING	EXISTING: R2 (NORTH PARCEL), R2 (SOUTH PARCEL)	PROPOSED: R-FLEX (MEDIUM)	SETBACKS	NORTH PARCEL: 10' FRONT (NUNTAH STREET), 10' REAR SIDE - NON-RESIDENTIAL (ALLEY), 10' REAR (NORTH)	SOUTH PARCEL: 10' FRONT (NUNTAH STREET), 10' REAR SIDE - NON-RESIDENTIAL (ALLEY), 10' REAR (ALLEY)	SETRACKS SUBJECT TO CHANGE DURING FINAL PLATING BUT SHALL MEET CODE.	MAX BUILDING HEIGHT	45' HEIGHT LIMIT BY PROPOSED PERMITS (MEDIUM) ZONING STANDARDS	PROPOSED HEIGHT IS 34.3' FROM AVERAGE FINISHED GRADE	DETENTION	DETENTION / WATER QUANTITY FOR SUN MOUNTAIN TOWNHOMES IS PROVIDED IN THE PROPOSED FULL SPECIFICATIONS EXTENDED DETENTION BASIN LOCATED IN THE SOUTHERN PORTION OF THE SITE. DETAILS OF THE FACILITY WILL BE PROVIDED IN THE DRAINAGE REPORT FOR SUN MOUNTAIN TOWNHOMES.
64 DEVELOPMENT LLC 50 POLO POINT DRIVE COLORADO SPRINGS, CO 80906	M.A.V.E., INC. DAVID R. GORHAM, P.E. 1903 ELABANY STREET COLORADO SPRINGS, CO 80909 PH (719) 635-5736 FAV (719) 635-5450 DAVE@MVAE.COM	7411124206 7411124137	520 N. 20TH STREET 527 N. 21ST STREET 2024 W. UNTAH STREET	19 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	16 ALT	26 TOTAL UNITS	96,704 SF (2,220 AC)	2,220 ± ACRES	96,704 SF (2,220 AC)	11.71 DU/AC	5 - 14' DU/AC	52 SPACES 52 SPACES 52 SPACES 52 SPACES	52 SPACES 52 SPACES 52 SPACES 52 SPACES	52 SPACES 52 SPACES 52 SPACES 52 SPACES	52 SPACES 52 SPACES 52 SPACES 52 SPACES			
<p>COVERAGE DATA</p> <p>PROPOSED BUILDING (ROOM)</p> <p>PROPOSED PAVEMENT (PARKING/WALK)</p> <p>LANDSCAPING</p> <p>TOTAL AREA</p> <p>DENSITY</p> <p>26 TOTAL UNITS</p> <p>TOTAL SUBDIVISION AREA:</p> <p>PROPOSED DENSITY = 26 UNITS / 2,220 AC = 11.71 DU/AC</p> <p>ALLOWED DENSITY (R-FLEX MEDIUM) = 5 - 14' DU/AC</p>		<p>PARKING DATA</p> <p>REQUIRED SPACES:</p> <ul style="list-style-type: none"> 26 DWELLING, SINGLE FAMILY ATTACHED UNITS (2 PER DWELLING UNIT) = 52 SPACES 26 GUEST PARKING (10% RIG SPACES) = 52 SPACES 10% REQUIRED SPACES = 52 ± 5 <p>PROVIDED SPACES:</p> <ul style="list-style-type: none"> GARAGES = 52 SPACES REGULAR SPACES = 13 SPACES ADA SPACES = 2 SPACES TOTAL PROVIDED SPACES = 67 SPACES <p>OFF-STREET BICYCLE PARKING REQUIREMENTS:</p> <p>ESTIMATED 64,000 SF GROSS FLOOR AREA (24 UNITS) @ 0.5 PER 1,000 SF = 33 SPACES</p> <p>PROVIDED SPACES:</p> <ul style="list-style-type: none"> GARAGES = 26 SPACES 100% BKE BACK + 3 EA = 9 SPACES TOTAL PROVIDED SPACES = 35 SPACES 																									



ZONE: PUD
USE: TOWNHOMES



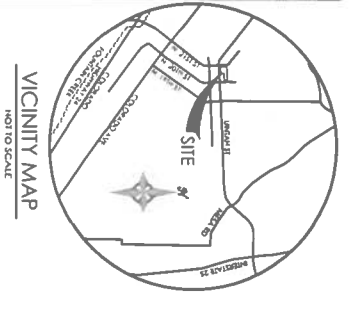
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W UINTAH STREET (PUBLIC)
MAJOR ARTERIAL
RIGHT OF WAY
(SEE DETAIL)

POND SIGNAGE:
WHITE SIGN w/ RED LETTERS

WARNING
THIS AREA IS A STORMWATER FACILITY
AND IS SUBJECT TO PERIODIC FLOODING
DO NOT PLAY WITH WATER PRESENT

DEPN-24-0111



MVE, INC.
ENGINEERS SURVEYORS

1903 Melroy street, suite 200 colorado springs co 80909 719.635.5736

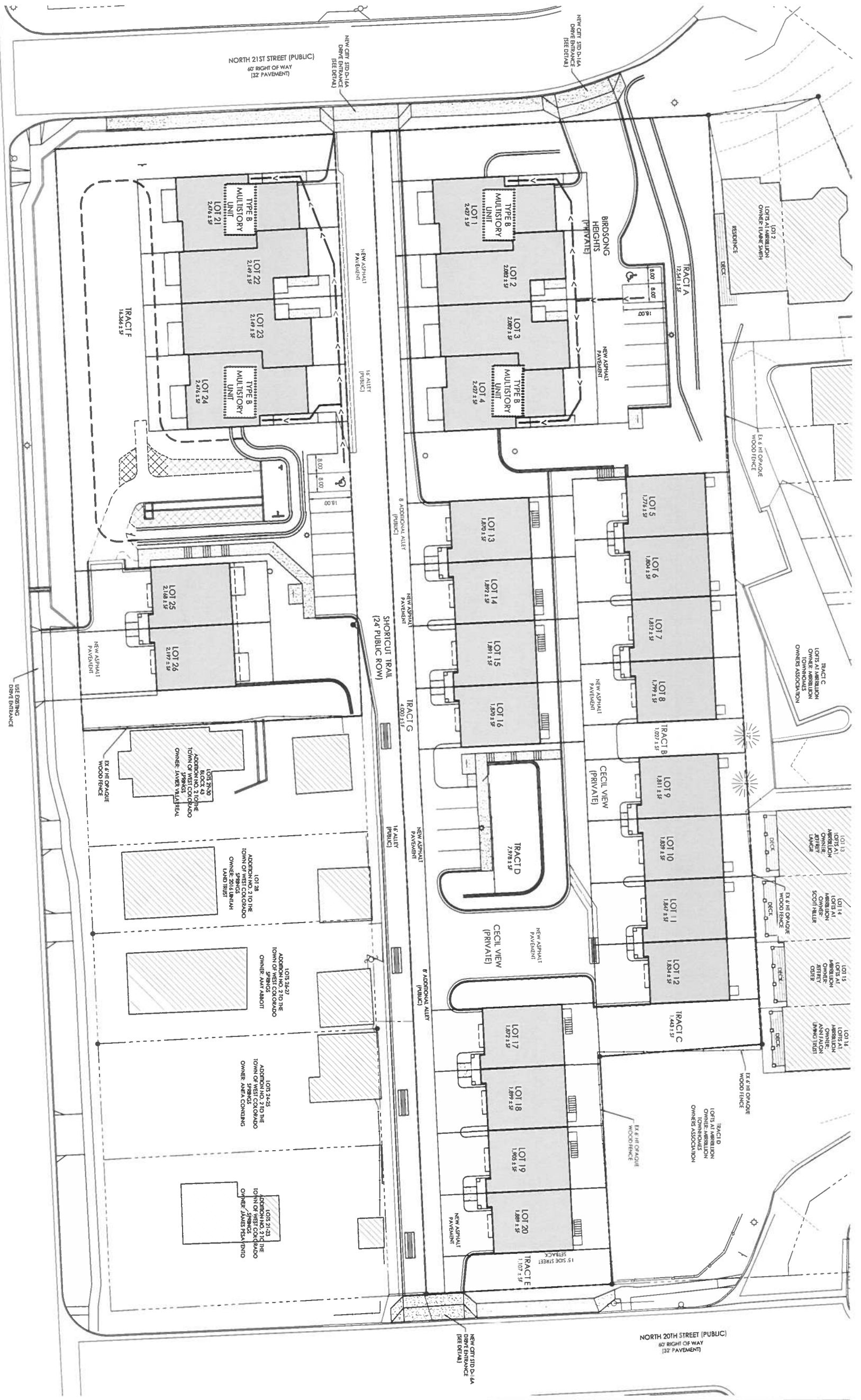
DEVELOPMENT PLAN
SITE PLAN

SUN MOUNTAIN
TOWNHOMES

DESIGNED BY
DRAWN BY
CHECKED BY
AS BUILT BY
CHECKED BY

DP-2 MVE PROJECT 51516
MVE DRAWING DEV-SP

DECEMBER 5, 2024
SHEET 2 OF 18



POINT CALCULATION:

REQUIRED:
 PER C.S. & I.O.S. 12 POINTS ARE NEEDED FOR THIS SITE.
PROVIDED:
 15 - 28 UNITS (TYPE B MULTIFAMILY) = 12 POINTS REQUIRED
 4 TYPE B MULTIFAMILY UNITS = 12 POINTS PROVIDED
 DEFICIT OF UNITS COUNTY WITH R200 / MC 1107.

PARKING DATA

REQUIRED SPACES:
 24 DWELLING SINGLE FAMILY ATTACHED UNITS (2 PER DWELLING UNIT) = 52 SPACES
 GUEST PARKING (10% REQ SPACES) = 5 SPACES
 TOTAL REQUIRED SPACES = 57 + 5 = 62 SPACES
PROVIDED SPACES:
 52 SPACES
 10 SPACES
 3 SPACES
 70 SPACES

ADA NOTE

THE PLANNING RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS FURNISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE PLANNING COMMISSION DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR ORDINANCES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
 ACCESSIBLE PARKING SPACES, ACCESSIBLE, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
 1. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 2. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES.
 3. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 4. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 5. ACCESSIBLE PARKING SPACES SHALL BE NO SMALLER THAN 8'6" INCHES (8'6") BY 13'6" INCHES (13'6") WITH A 5'0" INCHES (5'0") CLEARANCE AT THE REAR OF THE SPACE WITH THE BOTTOM OF THE SIGN BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GRADING SURFACE.

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 THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.



MVE, INC.
 ENGINEERS, SURVEYORS

1903 kelaray street, suite 200 colorado springs co 80909 719.635.5736

DESIGNED BY
 DRAWN BY
 CHECKED BY
 ASSAULTS BY
 CHECKED BY

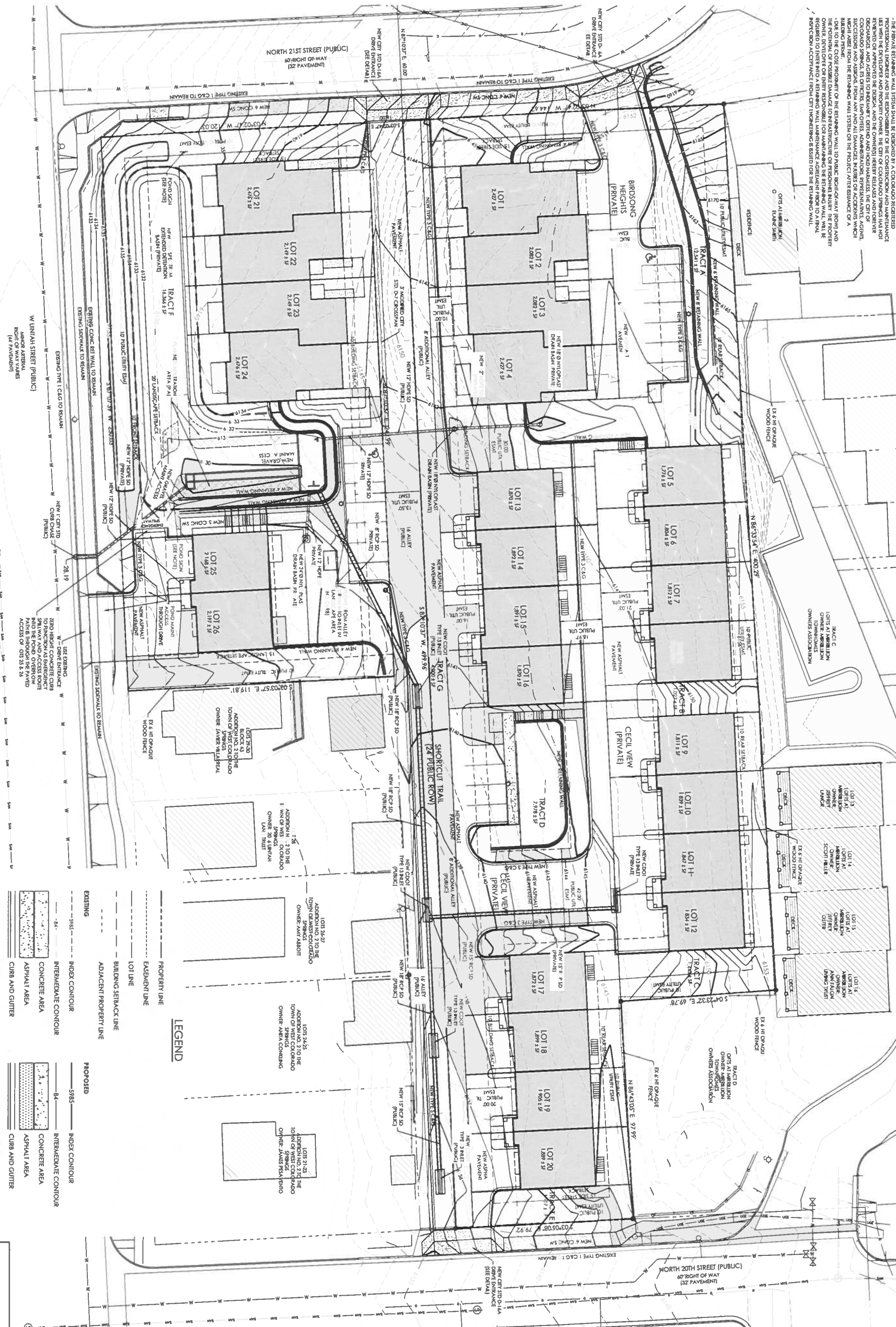
SUN MOUNTAIN
 TOWNHOMES
 DEVELOPMENT PLAN
 ADA ACCESS PLAN

DP-3 MVE PROJECT 51516
 MVE DRAWING DEV-ADA
 DECEMBER 5, 2025
 SHEET 3 OF 18

DEPN-24-0111

RETAINING WALLS:

THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND CONTRACTOR AND SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS SHALL REVIEW AND APPROVE THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF COLORADO SPRINGS AND ITS OFFICIALS, EMPLOYEES AND AGENTS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE CITY OF COLORADO SPRINGS OR ITS OFFICIALS, EMPLOYEES OR AGENTS AS A RESULT OF THE DESIGN OR CONSTRUCTION OF THE RETAINING WALL SYSTEM OR THE FAILURE OF THE RETAINING WALL SYSTEM TO MAINTAIN THE PROPOSED ELEVATION OF THE RETAINING WALL. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR MAINTAINING THE RETAINING WALL. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS FOR THE RETAINING WALL.



LEGEND

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|--|--------------------------------|--|---|
| | INDEX CONTOUR | | PROPOSED INDEX CONTOUR |
| | INTERMEDIATE CONTOUR | | PROPOSED INTERMEDIATE CONTOUR |
| | CONCRETE AREA | | PROPOSED CONCRETE AREA |
| | ASPHALT AREA | | PROPOSED ASPHALT AREA |
| | CURB AND GUTTER | | PROPOSED CURB AND GUTTER |
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BUILDING OVERHANG | | PROPOSED BUILDING/
BUILDING OVERHANG |
| | SIGN | | PROPOSED SIGN |
| | CHAIN LINK FENCE | | PROPOSED CHAIN LINK FENCE |
| | TREE
(EVERGREEN/DECIDUOUS) | | PROPOSED TREE
(EVERGREEN/DECIDUOUS) |
| | SHRUB | | PROPOSED SHRUB |
| | ROCK | | PROPOSED ROCK |
| | PROPERTY LINE | | PROPOSED PROPERTY LINE |
| | EASEMENT LINE | | PROPOSED EASEMENT LINE |
| | LOT LINE | | PROPOSED LOT LINE |
| | BUILDING SETBACK LINE | | PROPOSED BUILDING SETBACK LINE |
| | ADJACENT PROPERTY LINE | | PROPOSED ADJACENT PROPERTY LINE |

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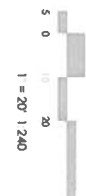
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PRIVATE TO PUBLIC STORM SEWERS:

ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

POND SIGNAGE:

WHITE SIGN W/ RED LETTERS
THE AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING DO NOT PLAY WITH WATER PRESENT



MVE, INC.
ENGINEERS, SURVEYORS



1903 Hobday Street, Suite 300 Colorado Springs, CO 80909 719.635.5736

SUN MOUNTAIN TOWNHOMES
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DP-4
51516
DEV-PG
DECEMBER 5, 2024
SHEET 4 OF 18

**COLORADO SPRINGS UTILITIES
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**

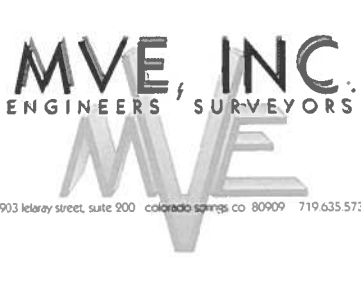
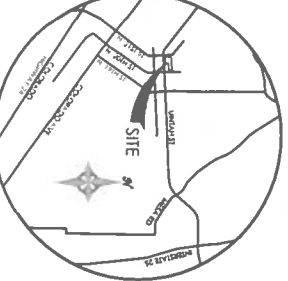
- PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
 - COLORADO SPRINGS UTILITIES (SPRING UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, FIBER, GAS AND FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNERS (PROPERTY OWNERS) ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY (WATER, WASTEWATER, FIBER, GAS AND FACILITIES) TO THE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES.
 - PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE COSTS OF EXTENSION OR UTILITY SYSTEM IMPROVEMENTS (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES) TO AND WITHIN THE PROPERTY. OWNER MAY BE ELIGIBLE FOR A DISCOUNT ON THE COSTS OF EXTENSION OR UTILITY SYSTEM IMPROVEMENTS IF THE PROPERTY IS A SINGLE-FAMILY RESIDENCE. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES.
 - SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY. SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY. SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY.
 - THE RELOCATION OF EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNERS' SOLE COST AND RISK. SPRING UTILITIES DETERMINES THAT OWNERS' RELOCATION OR ALTERATION OF EXISTING UTILITY FACILITIES IS NECESSARY TO ACCOMMODATE THE PROPOSED UTILITY FACILITIES. SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY.
 - OWNER SHALL DECREASE BY 10% AND/OR CONVERT BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS (INCLUDING EASEMENTS AND RIGHTS OF WAY) THAT MAY BE AFFECTED BY THE PROPOSED UTILITY SYSTEM. OWNER SHALL DECREASE BY 10% AND/OR CONVERT BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS (INCLUDING EASEMENTS AND RIGHTS OF WAY) THAT MAY BE AFFECTED BY THE PROPOSED UTILITY SYSTEM. OWNER SHALL DECREASE BY 10% AND/OR CONVERT BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS (INCLUDING EASEMENTS AND RIGHTS OF WAY) THAT MAY BE AFFECTED BY THE PROPOSED UTILITY SYSTEM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRING UTILITIES CRITERIA FOR WATER QUALITY, RESILIENCY AND PRESSURE INCLUDING LOOPING REQUIREMENTS (SEE SPRING UTILITIES THE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRING UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE EXTENSION OF WATER SYSTEM FACILITIES TO MAINTAIN THE QUALITY OF WATER IN THE SPRING UTILITIES WATER SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSION. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRING UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND METER BOXES AND TO SECURE APPROVAL OF GAS/STAKEHOLDER PRESSURES IN EXCESS OF SPRING UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH AT 719.584.5400 FOR MORE INFORMATION.)
 - IF SHALL NOT BE RESPONSIBLE FOR ANY REASON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRING UTILITIES UTILITY FACILITIES. SPRING UTILITIES UTILITY FACILITIES SHALL NOT BE RESPONSIBLE FOR ANY REASON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRING UTILITIES UTILITY FACILITIES. SPRING UTILITIES UTILITY FACILITIES SHALL NOT BE RESPONSIBLE FOR ANY REASON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRING UTILITIES UTILITY FACILITIES.
 - SPRING UTILITIES APPROVAL OF THE PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE PROPERTY OWNER. SPRING UTILITIES APPROVAL OF THE PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE PROPERTY OWNER. SPRING UTILITIES APPROVAL OF THE PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE PROPERTY OWNER.

INFORMATION ITEMS

- FIELD CONTACT UTILITIES (SPRING UTILITIES) AT 719.584.5111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES. FIELD CONTACT UTILITIES (SPRING UTILITIES) AT 719.584.5111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES. FIELD CONTACT UTILITIES (SPRING UTILITIES) AT 719.584.5111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES.
- RECOVER DEVELOPMENT CHARGES FOR WATER AND/OR WASTEWATER CONNECTIONS BASED ON THE EXTENSION OR UTILITY SYSTEM TO BE INSTALLED. RECOVER DEVELOPMENT CHARGES FOR WATER AND/OR WASTEWATER CONNECTIONS BASED ON THE EXTENSION OR UTILITY SYSTEM TO BE INSTALLED. RECOVER DEVELOPMENT CHARGES FOR WATER AND/OR WASTEWATER CONNECTIONS BASED ON THE EXTENSION OR UTILITY SYSTEM TO BE INSTALLED.
- SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY. SPRING UTILITIES UTILITY SERVICES ARE AVAILABLE FOR A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO GUARANTEE IS MADE THAT SPRING UTILITIES WILL BE AVAILABLE TO PROVIDE UTILITY SERVICES TO THE PROPERTY.
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NOTES:

- ALL NEW UTILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION. ALL NEW UTILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION. ALL NEW UTILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE PRELIMINARY ONLY AND NOT FOR CONSTRUCTION.
- THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE SUBJECT TO APPROVAL BY THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES. THE LOCATION OF ALL NEW GAS AND ELECTRIC FACILITIES SHOWN ON THE PRELIMINARY UTILITY PLAN ARE SUBJECT TO APPROVAL BY THE CITY OF COLORADO SPRINGS AND THE COLORADO SPRINGS UTILITIES.
- FINISH SHALL NOT STOP ACCESS TO UTILITY LINES OR CONDUITS WITH UTILITY EQUIPMENT. FINISH SHALL NOT STOP ACCESS TO UTILITY LINES OR CONDUITS WITH UTILITY EQUIPMENT. FINISH SHALL NOT STOP ACCESS TO UTILITY LINES OR CONDUITS WITH UTILITY EQUIPMENT.
- ALL EXISTING UTILITY SERVICES FOR THE PROPERTY SHALL BE REMOVED AND OR ABANDONED PER COLORADO SPRINGS UTILITIES STANDARDS. ALL EXISTING UTILITY SERVICES FOR THE PROPERTY SHALL BE REMOVED AND OR ABANDONED PER COLORADO SPRINGS UTILITIES STANDARDS. ALL EXISTING UTILITY SERVICES FOR THE PROPERTY SHALL BE REMOVED AND OR ABANDONED PER COLORADO SPRINGS UTILITIES STANDARDS.
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATIONS. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATIONS. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATIONS.



DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILT BY _____
 CHECKED BY _____

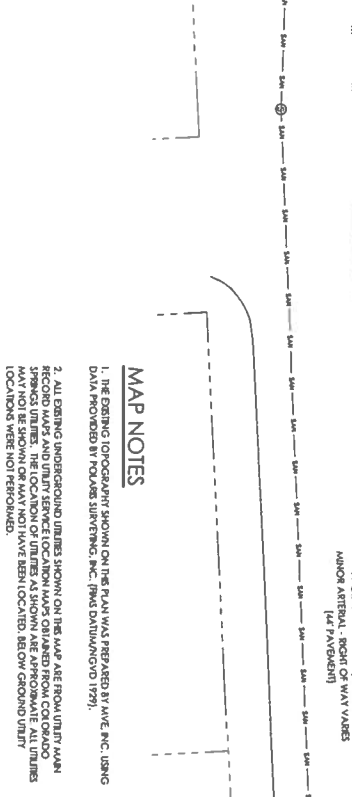
SUN MOUNTAIN TOWNHOMES

DEVELOPMENT PLAN
 PRELIMINARY UTILITIES AND
 PUBLIC FACILITIES PLAN

DP-5 LAY PROJECT 51516
 LAY DRAWING DEV-PU
 DECEMBER 5, 2024
 SHEET 5 OF 18

NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.



MAP NOTES

- THE EXISTING TOPOGRAPHY SHOWN ON THE PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING, INC. (DATE DETERMINED 1999).
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THE MAP ARE FROM UTILITY MAIN RECORDS AND UTILITY SERVICE LOCATIONS MAY VARY FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. ALL UTILITIES LOCATIONS WERE NOT RECORDED.

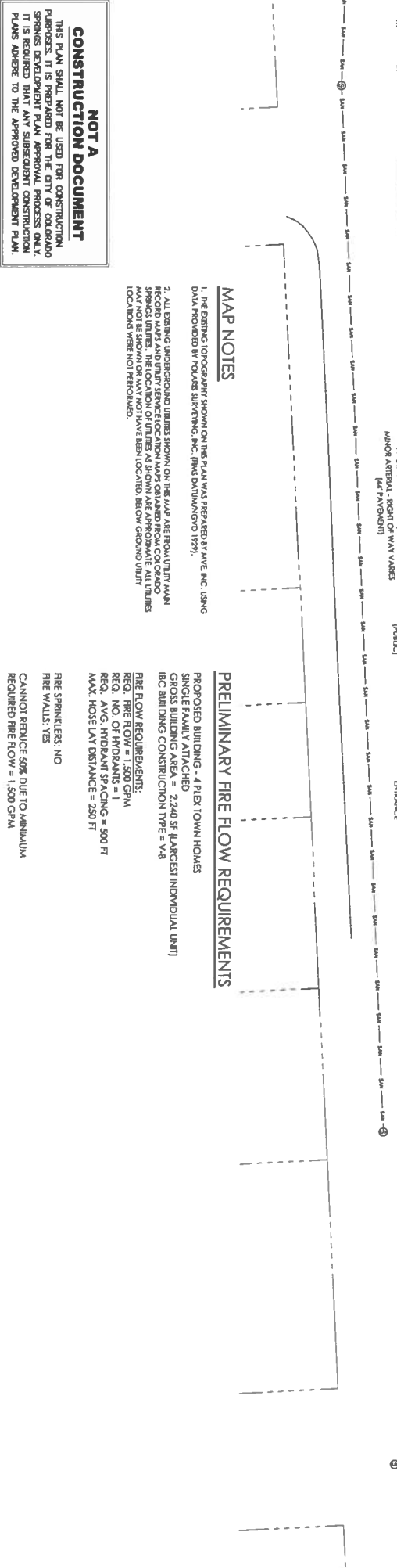
PRELIMINARY FIRE FLOW REQUIREMENTS

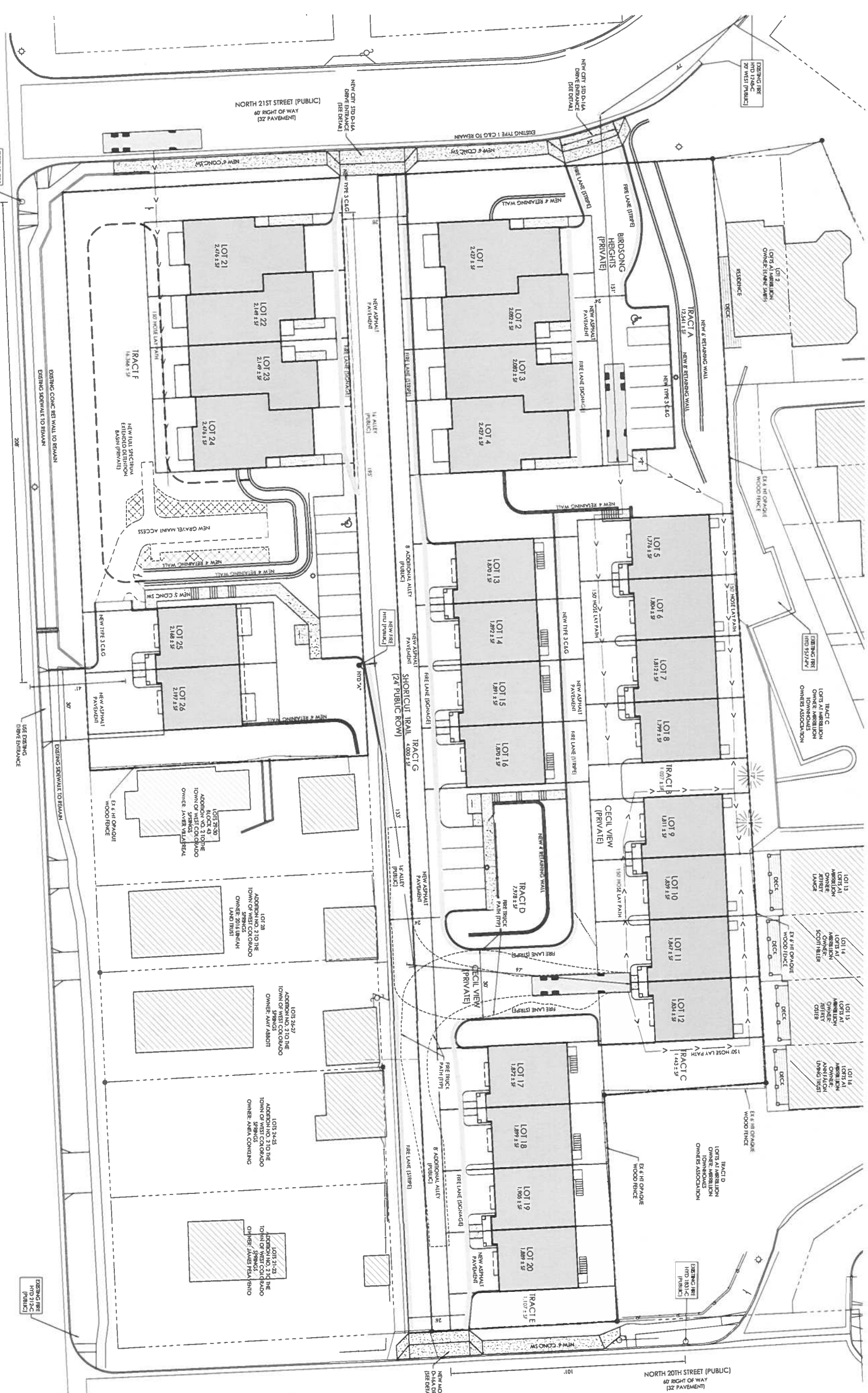
PROPOSED BUILDING - 4-FLEX TOWNHOMES
 SINGLE FAMILY ATTACHED
 GROSS BUILDING AREA = 2,240 SF (LARGEST INDIVIDUAL UNIT)
 IBC BUILDING CONSTRUCTION TYPE = V-8

FIRE FLOW REQUIREMENTS:
 REQ. FIRE FLOW = 1,500 GPM
 REQ. NO. OF HYDRANTS = 1
 REQ. AVG. HYDRANT SPACING = 500 FT
 MAX. HOSE LAY DISTANCE = 250 FT

FIRE SPRINKLERS: NO
 FIRE WALLS: YES

CANNOT REDUCE GPM DUE TO MINIMUM REQUIRED FIRE FLOW = 1,500 GPM





NOT A CONSTRUCTION DOCUMENT
 THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO AND IS REQUIRED FOR ANY SUBSEQUENT CONSTRUCTION PLANS REFER TO THE APPROVED DEVELOPMENT PLAN.

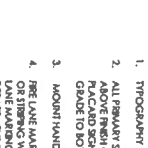
NOTE
 2015 IFC - ACCESS AND LOADING FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT VEHICLES AND EQUIPMENT. ACCESS SHALL BE PROVIDED TO ALL ACCESS ROADS WITH AN ASPHALT CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS WITH A MINIMUM SINGLE AXLE WEIGHT OF 37,000 POUNDS.

PRELIMINARY FIRE FLOW REQUIREMENTS

PROPOSED BUILDING - 4 PLEX TOWNHOMES
 SINGLE FAMILY ATTACHED
 GROSS BUILDING AREA = 2240 SF (LARGEST INDIVIDUAL UNIT)
 IBC BUILDING CONSTRUCTION TYPE = V-8

FIRE FLOW REQUIREMENTS:
 REG. FIRE FLOW = 1,500 GPM
 REG. NO. OF HYDRANTS = 1
 REG. AVG. HYDRANT SPACING = 500 FT
 MAX. HOSE LAY DISTANCE = 250 FT

FIRE SPRINKLERS: NO
 CANNOT REDUCE 50% DUE TO MINIMUM REQUIRED FIRE FLOW = 1,500 GPM



1. TYPED TO BE HEYERICA, MEDIUM
2. ALL PAGES TO BE MOUNTED ON A561A SIGN HOUL; 7'-2" ABOVE FINISH GRADE TO BOTTOM OF SIGN; ADDITIONAL GRADE TO BOTTOM OF SIGN MOUNTED AT LEAST 4'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN
3. MOUNT HORIZONTAL SIGNAGE ON BUILDING
4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN, OTHER SIGNAGE OR MARKING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE DEPARTMENT OWNERS OF THE FIRE HOUSHALLS AS REVISED JULY 2016 WILL BE A POLICE FOR MATERIALS AND INSTALLATION OF MARKINGS

FIRE LANE MARKINGS

SITE SIGNAGE LEGEND

SCALE: 1" = 1'-0"

DEPN-24-0111



VICINITY MAP
 NOT TO SCALE



MVE, INC.
 ENGINEERS, SURVEYORS

1903 kelley street, suite 200 colorado springs co 80909 719.635.5736

REVISIONS

DESIGNED BY
 DRAWN BY
 CHECKED BY
 AS-BUILT BY
 CHECKED BY

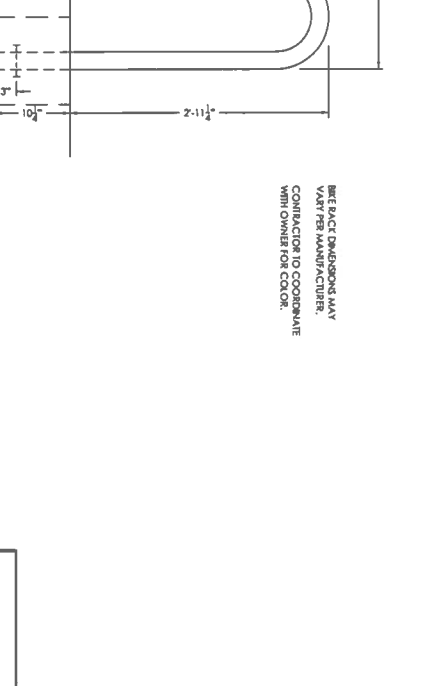
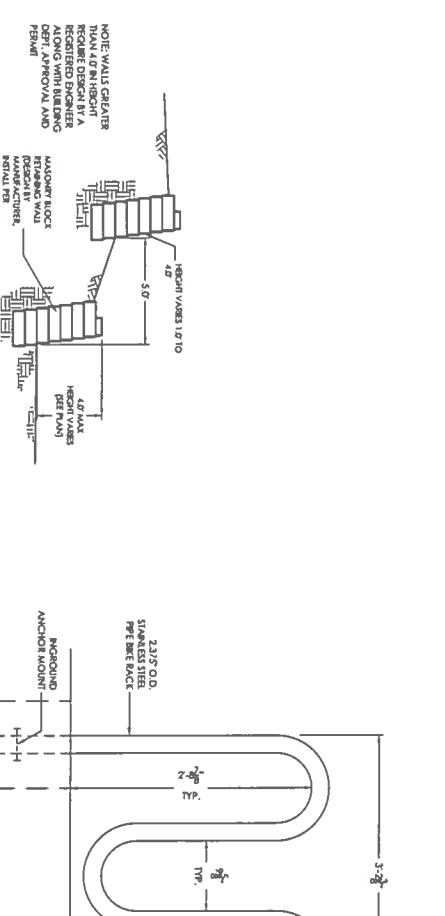
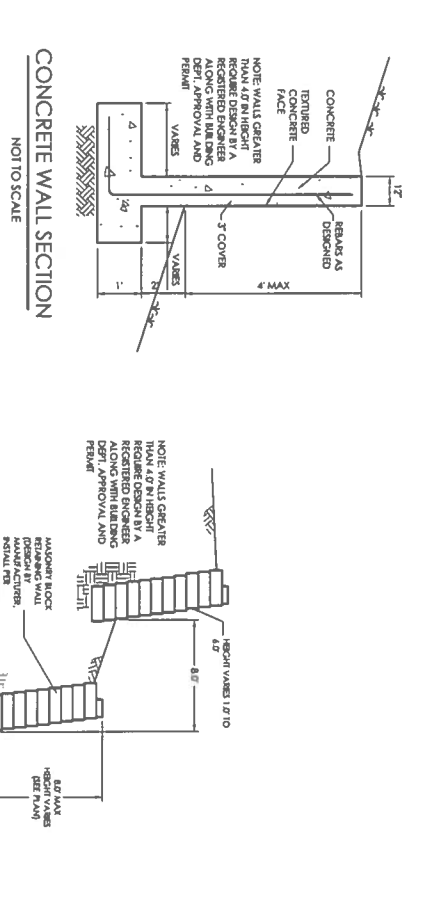
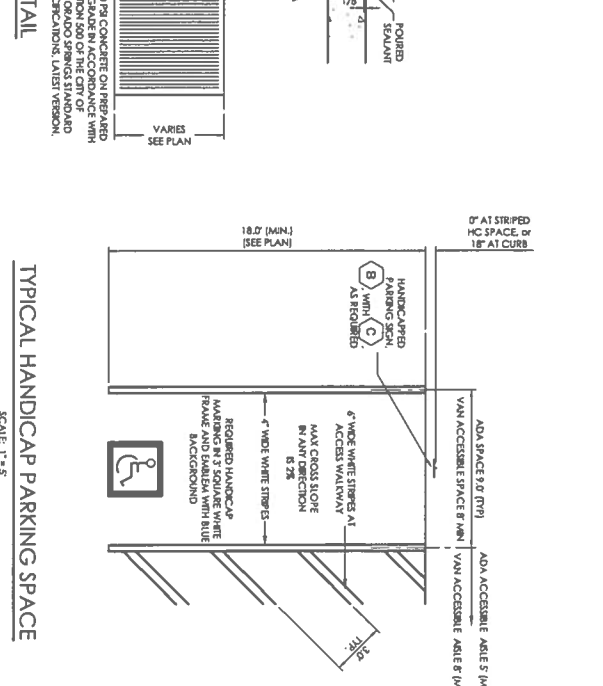
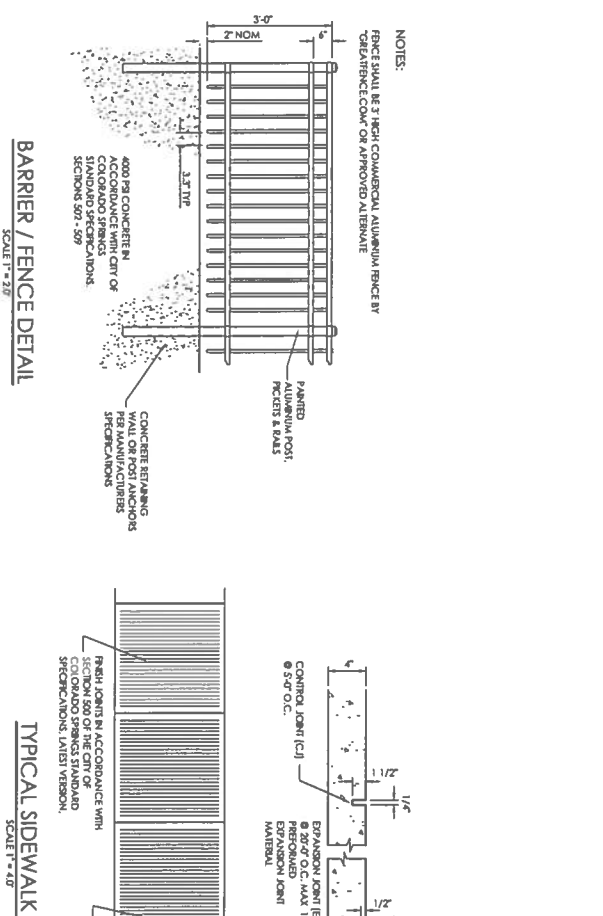
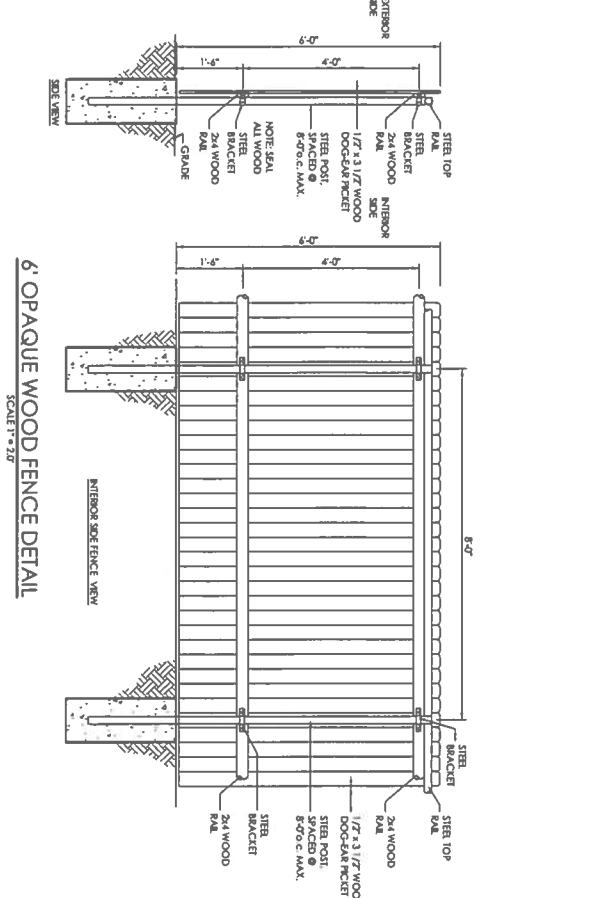
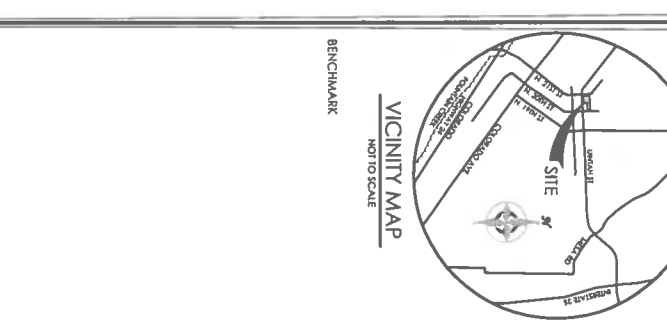
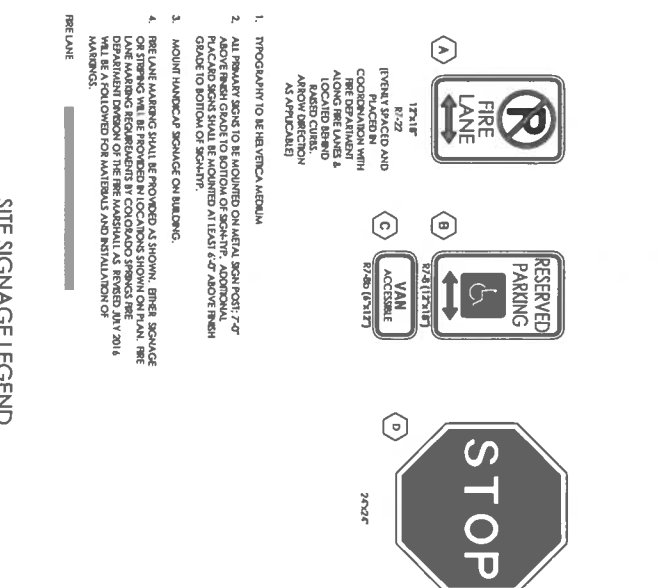
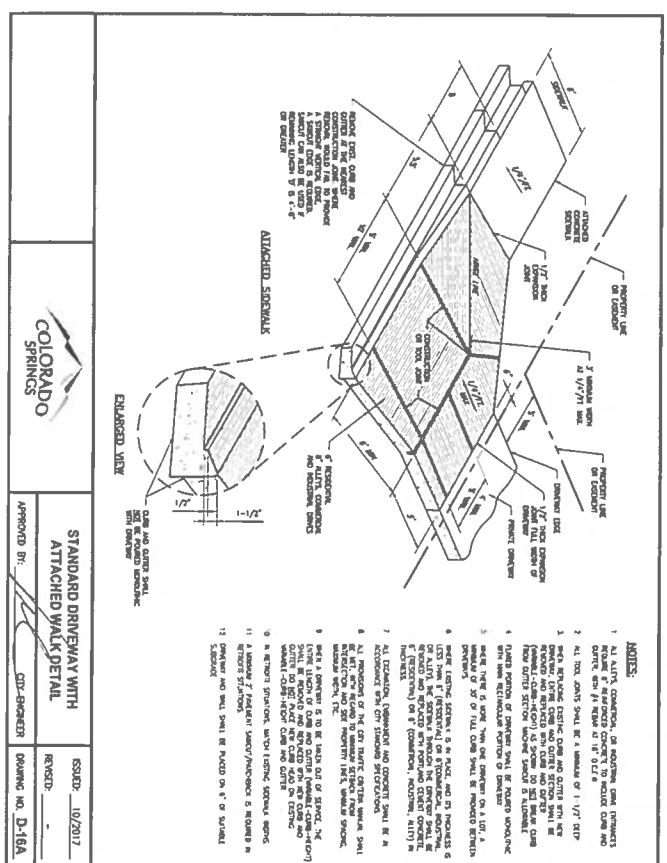
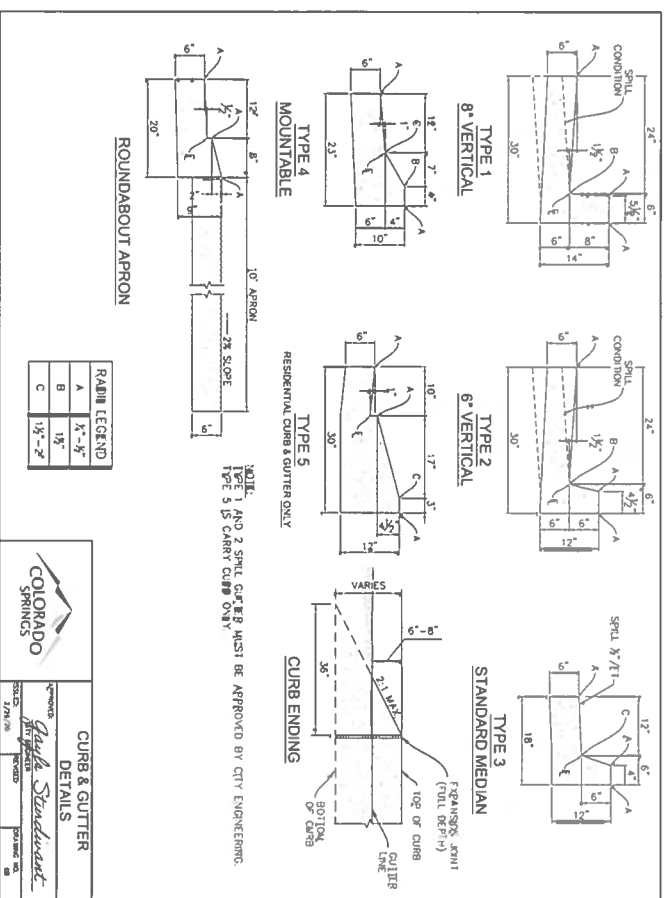
SUN MOUNTAIN TOWNHOMES

**DEVELOPMENT PLAN
 FIRE ACCESS &
 HYDRANT PLAN**

DP-6 IVE PROJECT: **51516**

AVE DRAWING: **DEV-FIRE**

DECEMBER 5, 2024
SHEET 6 OF 18



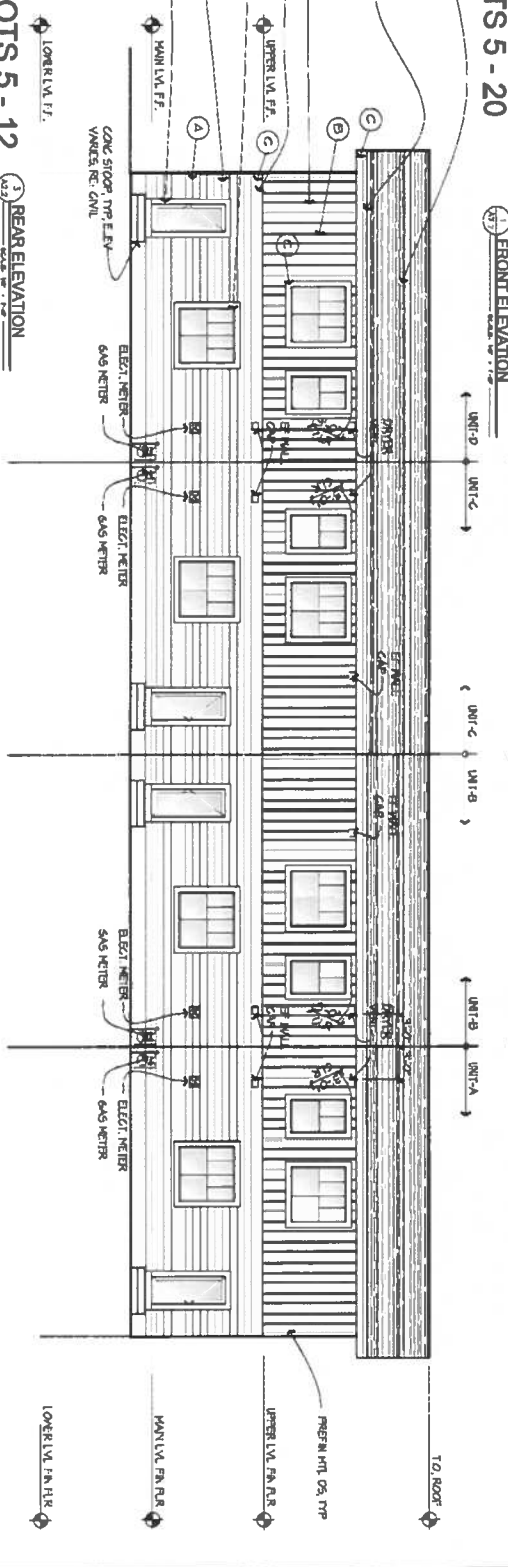
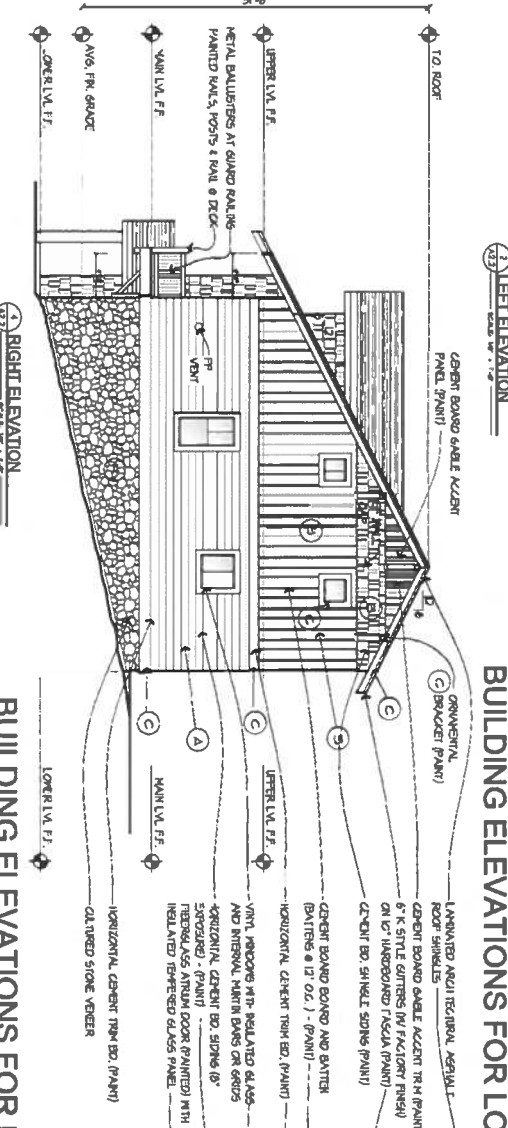
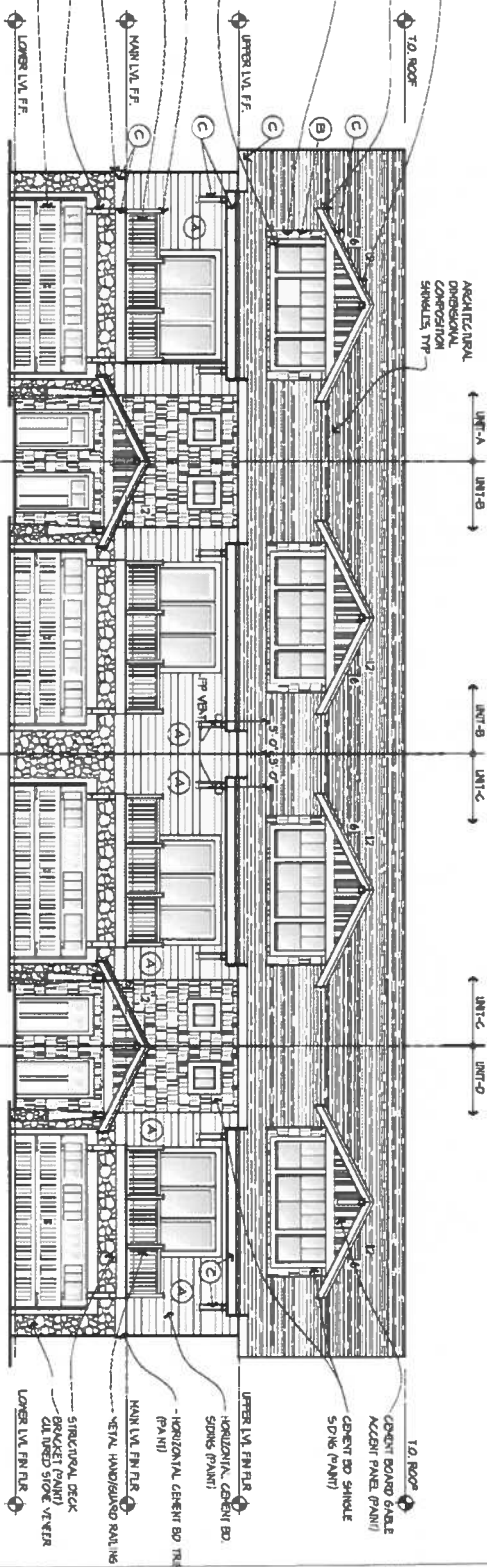
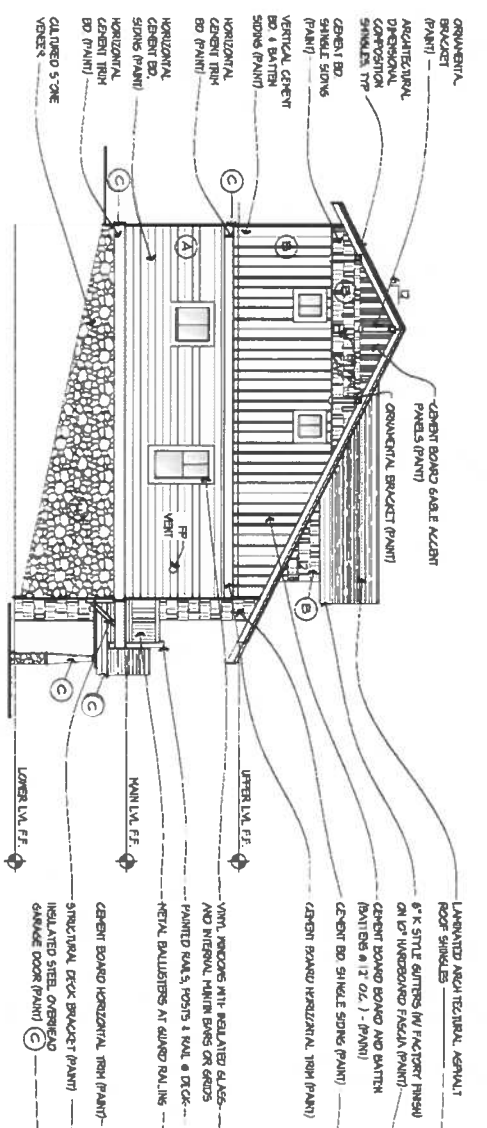
NOT A CONSTRUCTION DOCUMENT
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BLOCK WALL SECTION (@ NORTHWEST)
NOT TO SCALE

BLOCK WALL SECTION (@ POND)
NOT TO SCALE

BIKE RACK DETAIL
SCALE: 1" = 1/2"

DEPN-24-0111



COLOR SCHEDULE

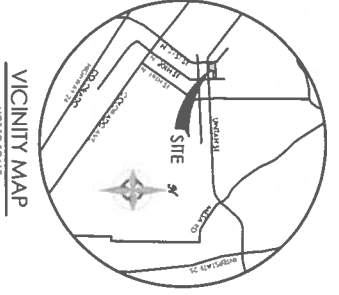
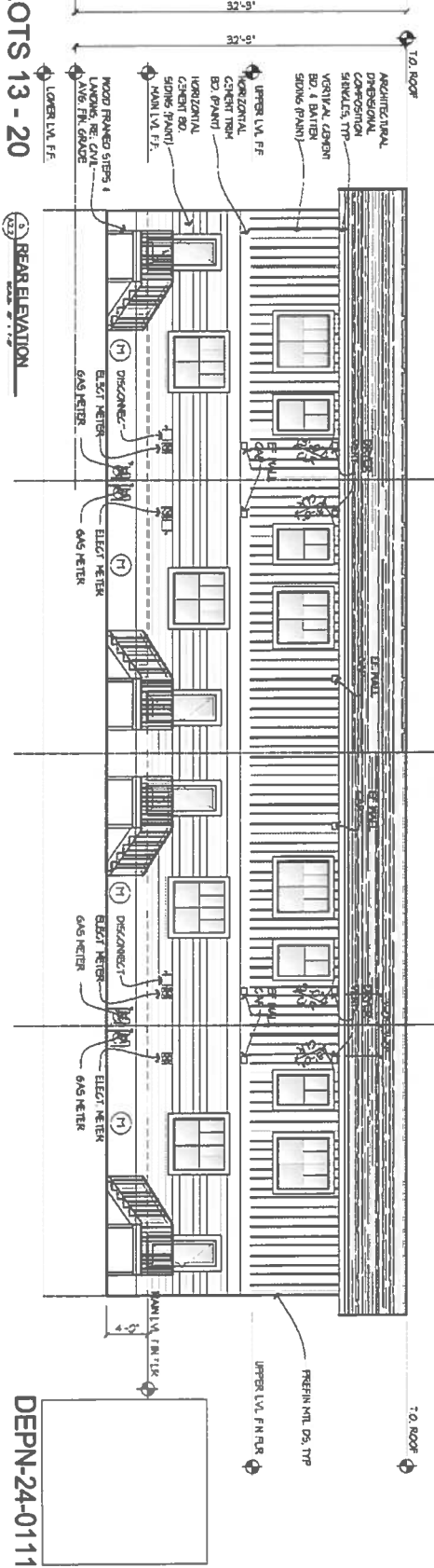
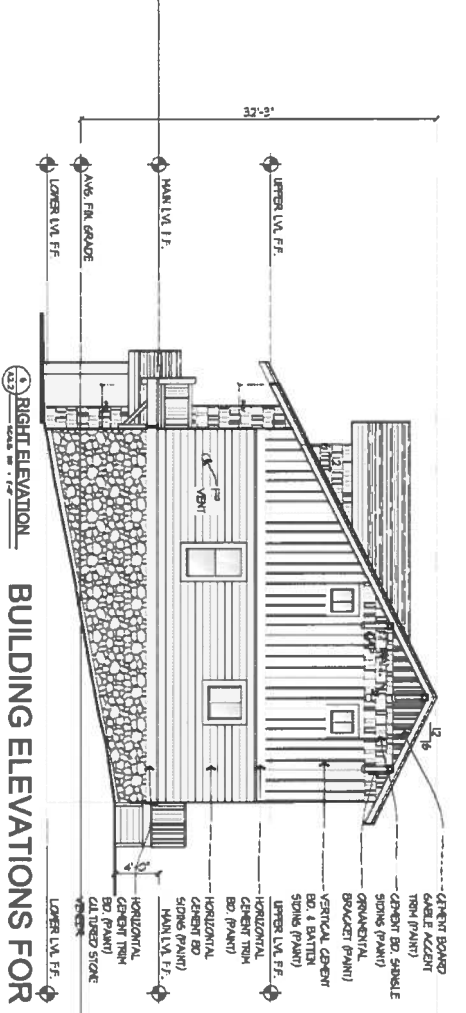
○	SHERWIN WILLIAMS - RENAISSANCE OLIVE SW 2035
○	SHERWIN WILLIAMS - RENAISSANCE GOLDEN OAK SW2024
○	SHERWIN WILLIAMS - DOWNING SAND SW 2012
○	SHERWIN WILLIAMS - ROYALCREST COPPER RED SW 2039
○	SHERWIN WILLIAMS (LEFT OPEN)
○	SHERWIN WILLIAMS (LEFT OPEN)
○	GAP THERMAL INSULATION - LAMINATED ARCHITECTURAL ROOF SHINGLE
○	ELDORADO STONE - COLORADO RIVER ROCK
○	METAL RAILINGS - TORTRESE® FINE ANTIQUE BRONZE TRADITIONAL STEEL RAILINGS
○	VINTL UNICOUS - INTEGRAL 'ALPINO' COLOR
○	GUTTERS AND DOWNPOUTS 'TASTIC' 6" K STITLE 'WICKER' FACTORY FIN BH COLOR
○	EXPOSED CONCRETE (RAMPS, STEPS, SIDEWALKS, FOUNDATIONS)

BUILDING HEIGHT CALCULATIONS (7.6.204)

THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING TO THE HIGHEST POINT OF A GABLE, FLIPPED OR GABLED ROOF, IF A FLAT ROOF, HEIGHT WOULD BE RELEVANT TO THE HIGHEST POINT OF THE BUILDING, EXCLUDING THE PARAPET, THE AVERAGE ELEVATION OF THE HIGHEST GRADE ADJOINING THE BUILDING SHALL BE THE AVERAGE OF THE HIGHEST GRADE ADJOINING THE BUILDING AND THE HIGHEST GRADE ADJOINING THE BUILDING. THE AVERAGE ELEVATION OF THE HIGHEST GRADE ADJOINING THE BUILDING SHALL BE THE AVERAGE OF THE HIGHEST GRADE ADJOINING THE BUILDING AND THE HIGHEST GRADE ADJOINING THE BUILDING.

BUILDING #	AVG. FIN GRADE AT CORNERS	FIN. FLR. EL.	CALCULATED BLDG. HEIGHT
-018 1 - 4	49.6'	55.6'	34'-3 1/4"
-018 5 - 8	51.6'	56.6'	31'-6"
-018 9 - 12	49.6'	56.6'	31'-6"
-018 13 - 16	44.3'	52.6'	37'-3"
-018 17 - 20	42.9'	50.6'	37'-3"
-018 21 - 24	39.6'	45.6'	34'-3 1/4"
-018 25 - 28	38.6'	45.6'	32'-5 1/4"

ULTIMATE NOTE:
GAS METERS MUST BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING IN WALLS

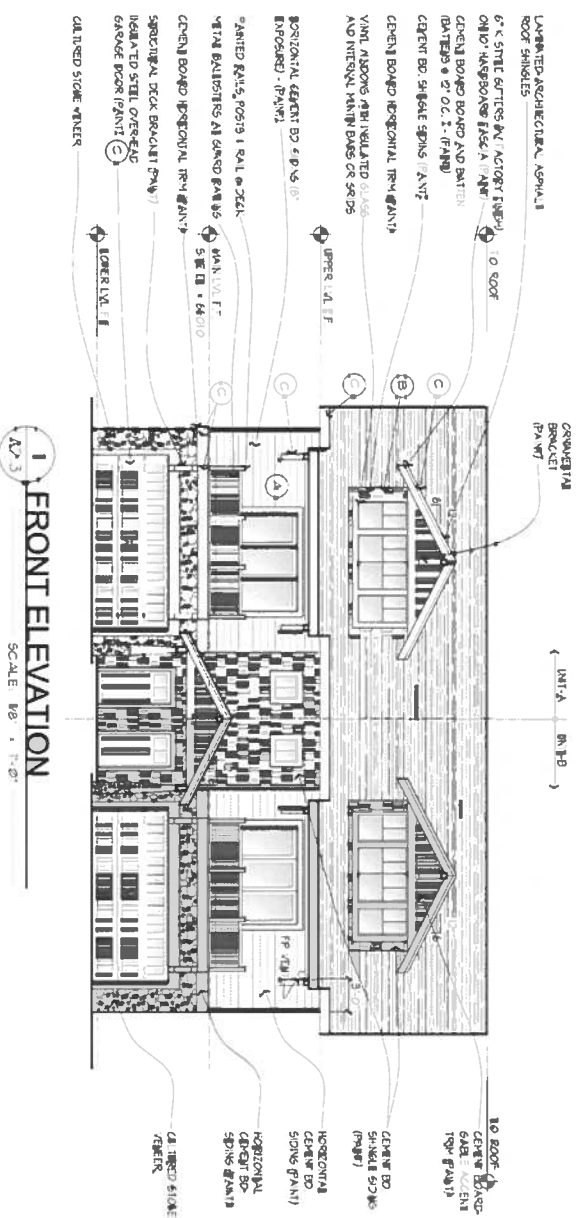


RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
 8315 CERRILLO CT.
 COLO SPRINGS, CO 80919
 PHONE (719) 280-0028
 email: charl@runge-architect.com

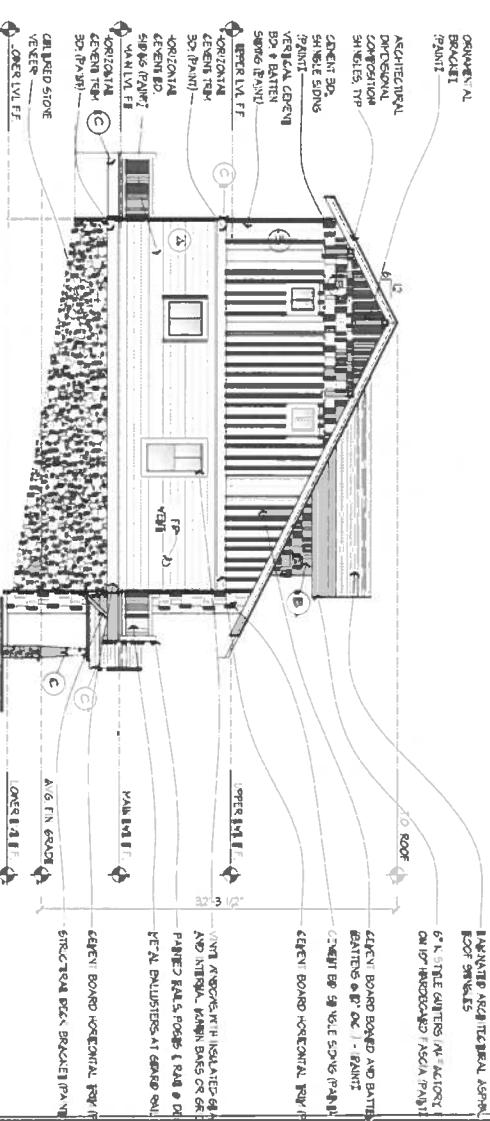
MVE, INC.
 ENGINEERS, SURVEYORS

1903 lelay street, suite 200 colorado springs, co 80909 719.635.5736



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

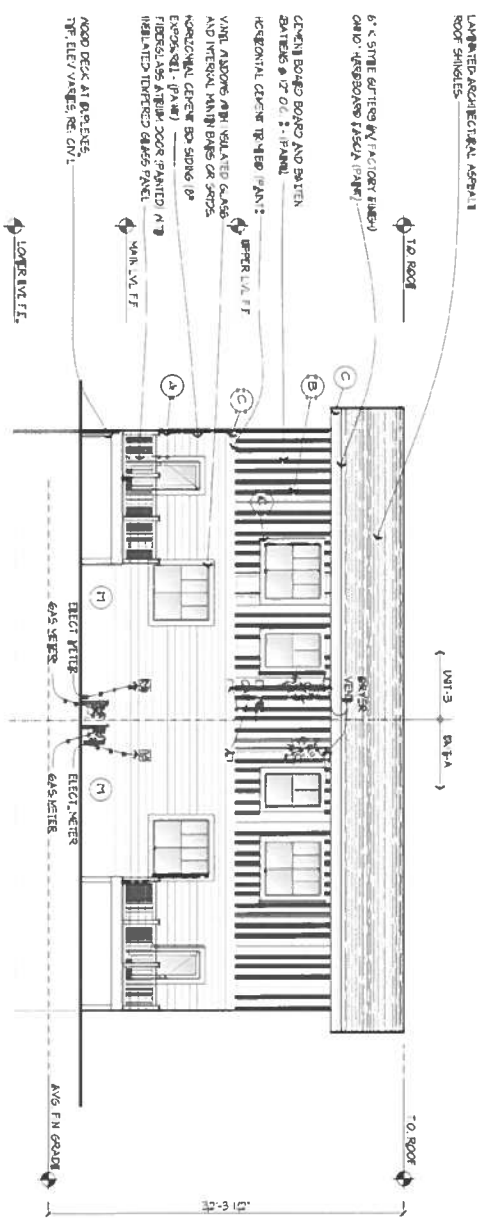
COLOR SCHEDULE	
○	SHERMAN UT...TANS - BENNICK OLIVE SW 2025
○	SHERMAN UT...TANS - GOLDEN OAK SW2024
○	SHERMAN UT...TANS - DOBAIN SAND SW 2027
○	SHERMAN UT...TANS - ROYAL COPPER SW 2025
○	SHERMAN UT...TANS (LEFT CREAM)
○	SHERMAN UT...TANS (LEFT CREAM)
○	SHERMAN UT...TANS (LEFT CREAM)
○	GAR TYPICAL ARCHITECTURAL ASPHALT ROOF SHINGLE
○	ELDORADO STONE COLORADO RIVER ROCK
○	METAL SAILING - FORRESTAL AT 10 BROWN TRADITIONAL STEEL SAILING
○	VINYL WINDOWS - INTEGRAL ALUMINUM COLOR
○	GUTTERS AND DOWNSPOUTS CLASSIC 6" x 6" 1/2" UCCER FASCIA FINISH COLOR
○	EXPOSED CONCRETE RAFTERS, STEPS, SIDEWALKS, FOUNDATIONS



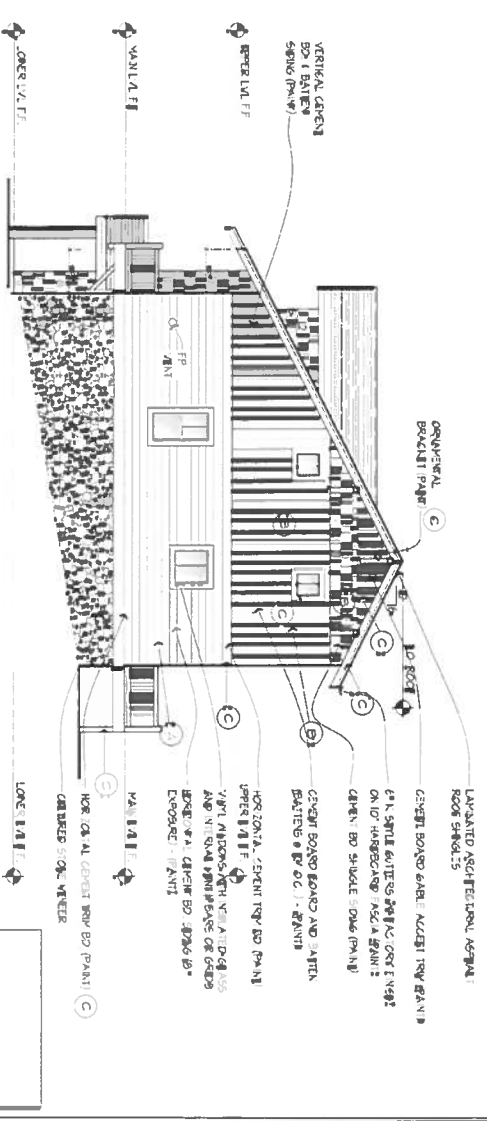
2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING HEIGHT CALCULATIONS (7.6.204)		
THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE ADJOINING THE BUILDING TO THE HIGHEST POINT OF A GABLE, HIPPED OR GAMBREL ROOF IF A FLAT ROOF HEIGHT WOULD BE REQUIRED, TO THE HIGHEST POINT OF THE BUILDING EXCLUDING THE PARAPET, THE AVERAGE HEIGHT OF THE ROOF SHALL BE MEASURED FROM THE FINISHED GRADE TO THE HIGHEST POINT OF THE EXPOSED EXTERIOR ELEVATION OF ALL PARAPETS OR THE HIGHEST POINT OF THE ROOF OF THE STEEPEST OR TERRACED BUILDING IS THE AVERAGE OF THE HIGHEST AND LOWEST HEIGHT OF ANY SEGMENT OF THE BUILDING.		
PLUMBING & PIPING	FIN. FLR. EL.	CALCULATED BLDG. HEIGHT
LOTS 1 - 4	48.0'	34'-3 1/2"
LOT 5 - 6	56.0'	31'-6"
LOT 9 - 12	42.8'	31'-6"
LOT 13 - 16	44.3'	32'-3 1/2"
LOT 17 - 24	36.0'	34'-3 1/2"
LOT 25 - 24	45.0'	45'-0"
LOT 25 - 26	39.0'	32'-3 1/2"

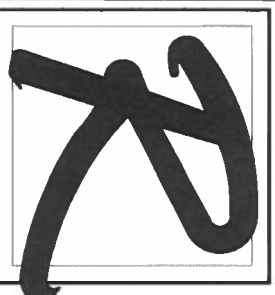
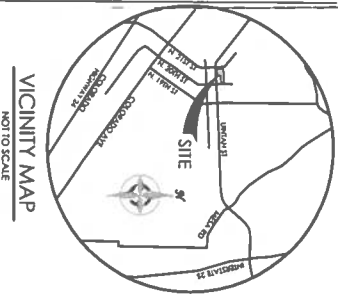
UNITS NOTE:
GAS METERS MUST BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING IN WALLS.



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



RUNGE ARCHITECTURE
CHARLES W. RUNGE, JR., ARCHITECT
5315 CERRILANE CT.
COLORADO SPRINGS, CO 80919
PHONE: (719) 290-0039
email: char@runge.com

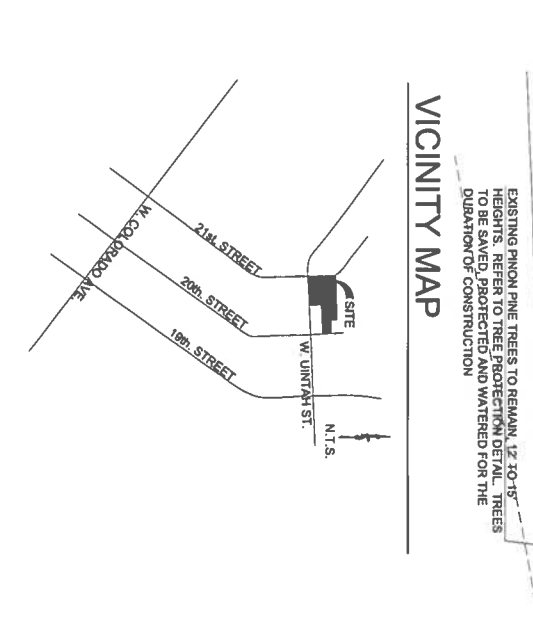
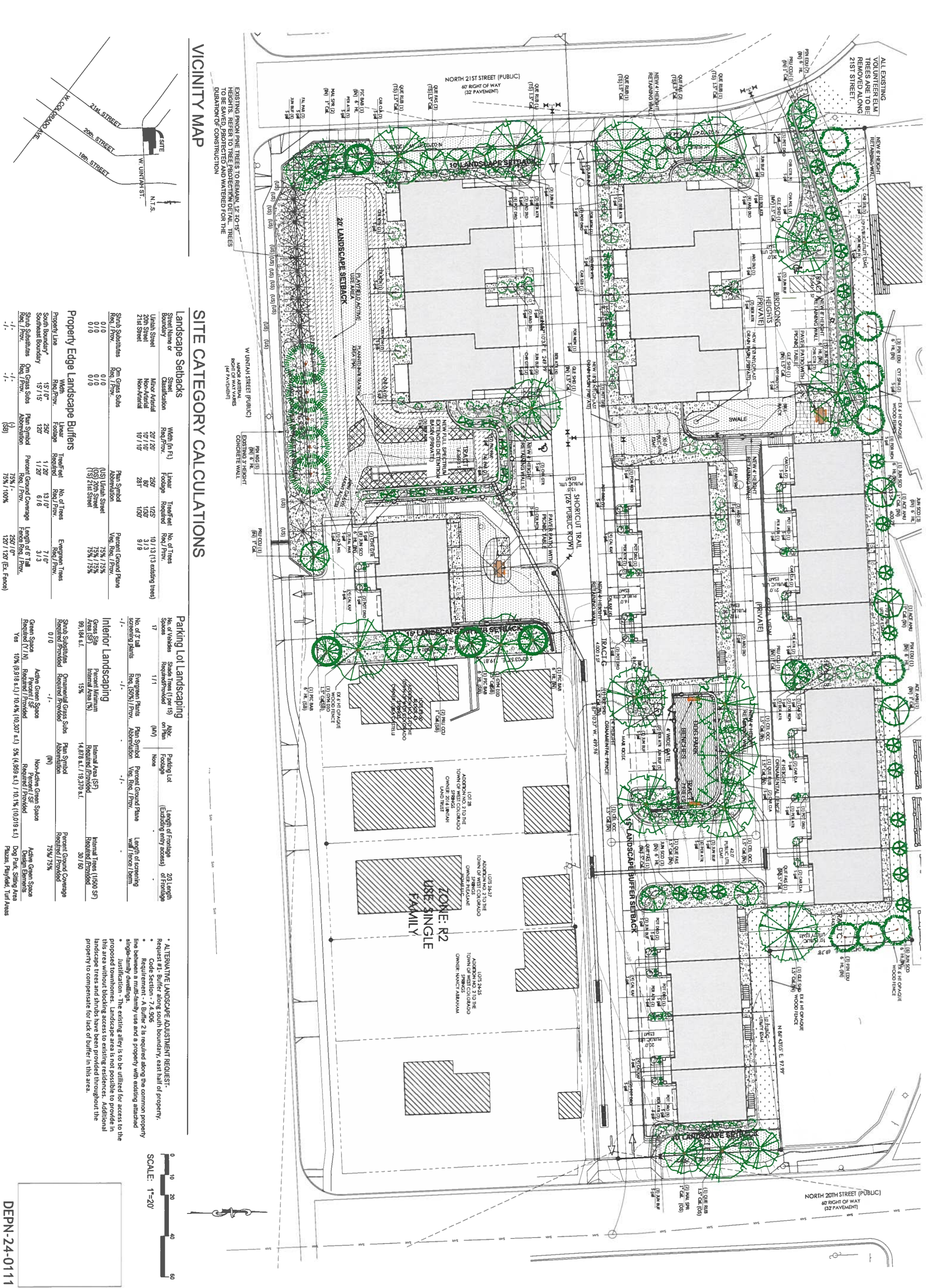
MVE, INC.
ENGINEERS, SURVEYORS
1903 kelley street, suite 200 colorado springs co 80909 719.635.5736

DESIGNED BY
CHECKED BY
ASSISTED BY
SUN MOUNTAIN TOWNHOMES
DEVELOPMENT PLAN BUILDING ELEVATIONS

DP-10 MVE PROJECT 51516
MVE DRAWING DEV-EL1
NOVEMBER 1, 2024
SHEET 10 OF 18

BUILDING ELEVATIONS FOR LOTS 25 - 26

DEPN-24-0111



SITE CATEGORY CALCULATIONS

Street Name or Boundary	Street Classification	Width (In Ft)	Linear Footage Req./Prov.	Tree/Foliage Req./Prov.	No. of Trees Req./Prov.	Percent Ground Plane Req./Prov.
21st Street	Major Arterial (44' Pavement)	20' / 20'	257	87	125	75% / 75%
20th Street	Minor Arterial	10' / 10'	87	125	10 / 13 (13 existing trees)	75% / 75%
21st Street	Non-Arterial	10' / 10'	281	125	9 / 9	75% / 75%
Subst Substitutes	Req./Prov.	Plan Symbol	Abbreviation	Percent Ground Plane Req./Prov.	Req./Prov.	Req./Prov.
0/0	0/0	(U) Uintah Street	(U) Uintah Street	75% / 75%	75% / 75%	75% / 75%
0/0	0/0	(S) 20th Street	(S) 20th Street	75% / 75%	75% / 75%	75% / 75%
0/0	0/0	(S) 21st Street	(S) 21st Street	75% / 75%	75% / 75%	75% / 75%

Property Line	Width	Linear Footage Req./Prov.	Tree/Foliage Req./Prov.	No. of Trees Req./Prov.	Emergent Trees Req./Prov.
South Boundary	15' / 0'	257	11 / 20'	13 / 0'	7 / 0'
South Boundary	15' / 15'	120	11 / 20'	6 / 6	3 / 3
Subst Substitutes	Req./Prov.	Plan Symbol	Abbreviation	Length of 6' Tall Fences Req./Prov.	Length of 6' Tall Fences Req./Prov.
0/0	0/0	(A)	(A)	257 / 0'	120 / 120' (Ex. Fence)
0/0	0/0	(B)	(B)	75% / 100%	120 / 120' (Ex. Fence)

Parking Lot Landscaping

No. of Vehicle Spaces	Shade Trees (1 per 15) Required/Provided	Abbr.	Parking Lot Footage	Length of Frontage (Excluding entry access)	2/3 Length of Frontage
17	1 / 1	None	None	None	None

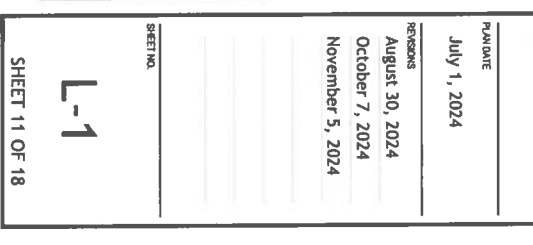
Interior Landscaping

No. of 3' tall screening plants	Emergent Plants Req. (50%) / Prov.	Plan Symbol	Abbreviation	Percent Ground Plane Req./Prov.	Length of screening wall (1/2" x 1/2" beam)
0/0	0/0	(N)	None	75% / 75%	30 / 80

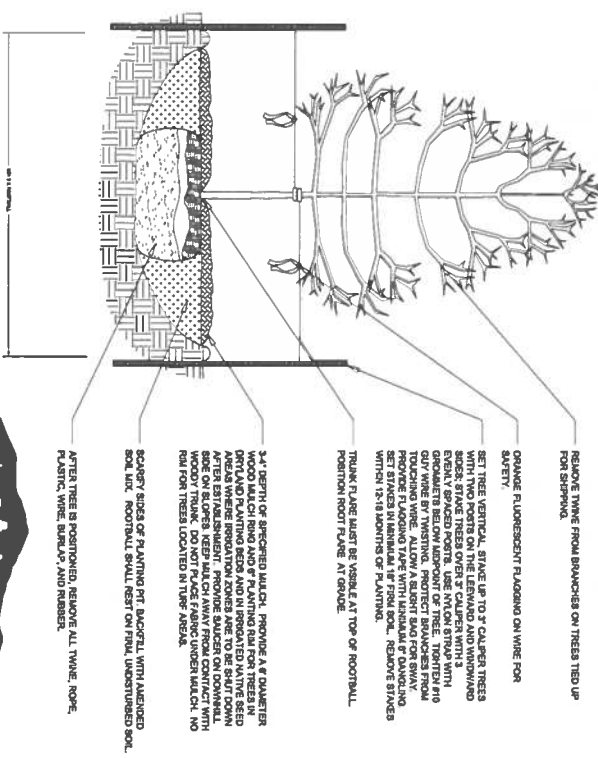
ALTERNATIVE LANDSCAPE ADJUSTMENT REQUEST:

- Request 1: Buffer along south boundary east half of property.
- Request 2: Buffer along south boundary east half of property.
- Request 3: Buffer along south boundary east half of property.
- Request 4: Buffer 2 ft required along the common property line between a multi-family use and a property with existing attached single-family dwellings.

Justification: The existing alley is to be utilized for access to the proposed townhomes. Landscape area is not possible to provide in this area without blocking access to existing residences. Additional landscape trees and shrubs have been provided throughout the property to compensate for lack of buffer in this area.

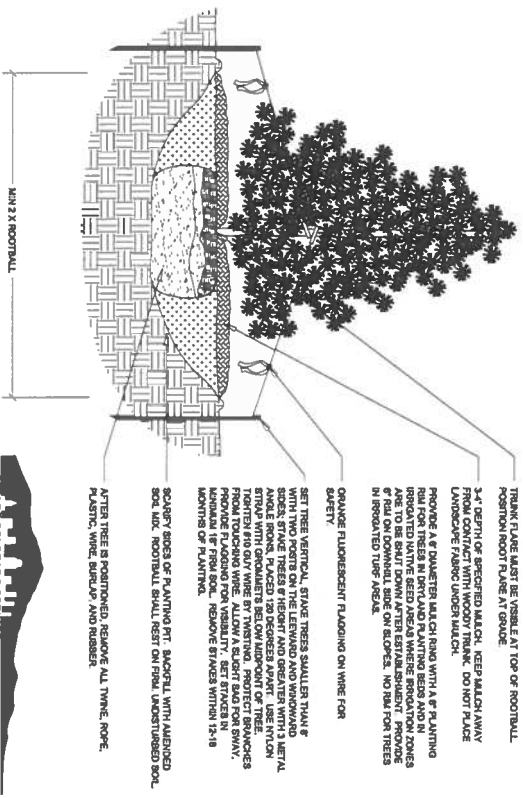


- NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR THIGHS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. IN WINTER WAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK WITH ELECTRICAL OR DUCT TAPE, NOT TWINE.
 7. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 9. ALL TREES LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 3/8 INCH DIAMETER WOOD MULCH RING.



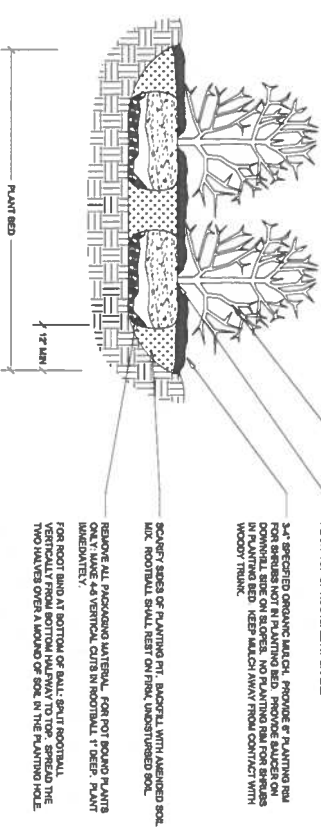
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR THIGHS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING, COORDINATE WITH CITY FORESTRY.
 8. ALL TREES LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 3/8 INCH DIAMETER WOOD MULCH RING.



2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

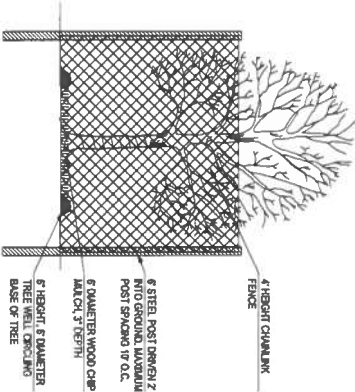
- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 7. ALL SHRUBS LOCATED IN ROCK/CORRIBLE BEDS SHALL HAVE A 1/8 INCH DIAMETER WOOD MULCH RING.



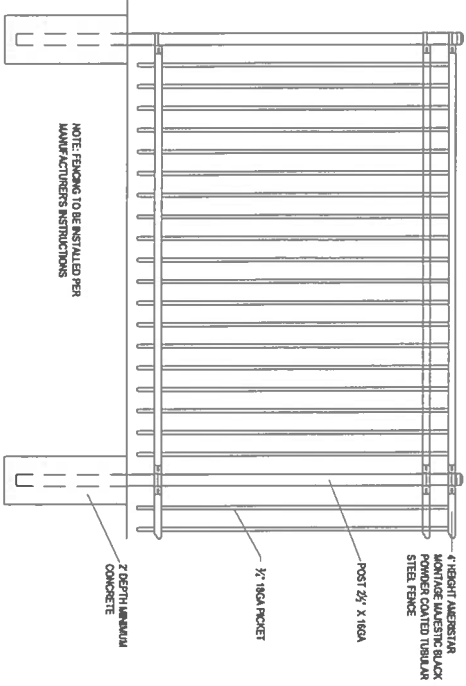
3 SHRUB PLANTING DETAIL
NOT TO SCALE

Existing Tree Protection Notes

1. EXISTING TREES TO REMAIN TO BE PROTECTED WITH 4\"/>
2. PROTECTION OF EXISTING TREES: WITHIN 4\"/>
3. EXISTING TREES TO REMAIN ARE TO HAVE 3\"/>
4. ALL THE EXISTING TREES WHICH ARE BEING USED TO MEET REQUIRED SITE LANDSCAPE REQUIREMENTS WILL NEED TO BE REPLACED IF NOT IN A HEALTHY CONDITION.



4 Tree Protection Detail
NOT TO SCALE



5 Dog Park Fence Detail
NOT TO SCALE

EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH FORM	% OF MIX	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	20%	10.8	5.4	2.7
GREEN NEEDLEGRASS	Hesperis matronalis	COOL, BUNCH	5%	3.2	1.6	0.8
WESTERN WHEATGRASS	Panicum sp.	COOL, BUNCH	20%	12	6	3
SAND DROPS-EED	Sporobolus vaginatus	WARM, BUNCH	1%	0.8	0.4	0.2
				42	21	10.3

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH FORM	% OF MIX	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
WESTERN WHEATGRASS	Panicum sp.	COOL, BUNCH	10%	2	1	0.5
SIDEGRASS	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
PRUNING SANDREED	Calamagrostis canadensis	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIVANGRASS	Sorghastrum nutans	WARM, BUNCH	10%	2	1	0.5
				19.3	9.7	4.8

Native Seed Establishment

INITIAL PLANTING
STOOPED PLANTING SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BEDS TO BE WEED FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6\"/>

OVER SEEDING
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPEAT ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAINING INTO TOP 1/2\"/>

JWILA
Jon Walsh, LLC
LANDSCAPE ARCHITECT

P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwalsh@jwila.com
www.jwalshlandscape.com

SUN MOUNTAIN TOWNHOMES
Colorado Springs, CO

PROJECT NAME

SHEET NO.

L-3

SHEET 13 OF 18

DATE

July 1, 2024

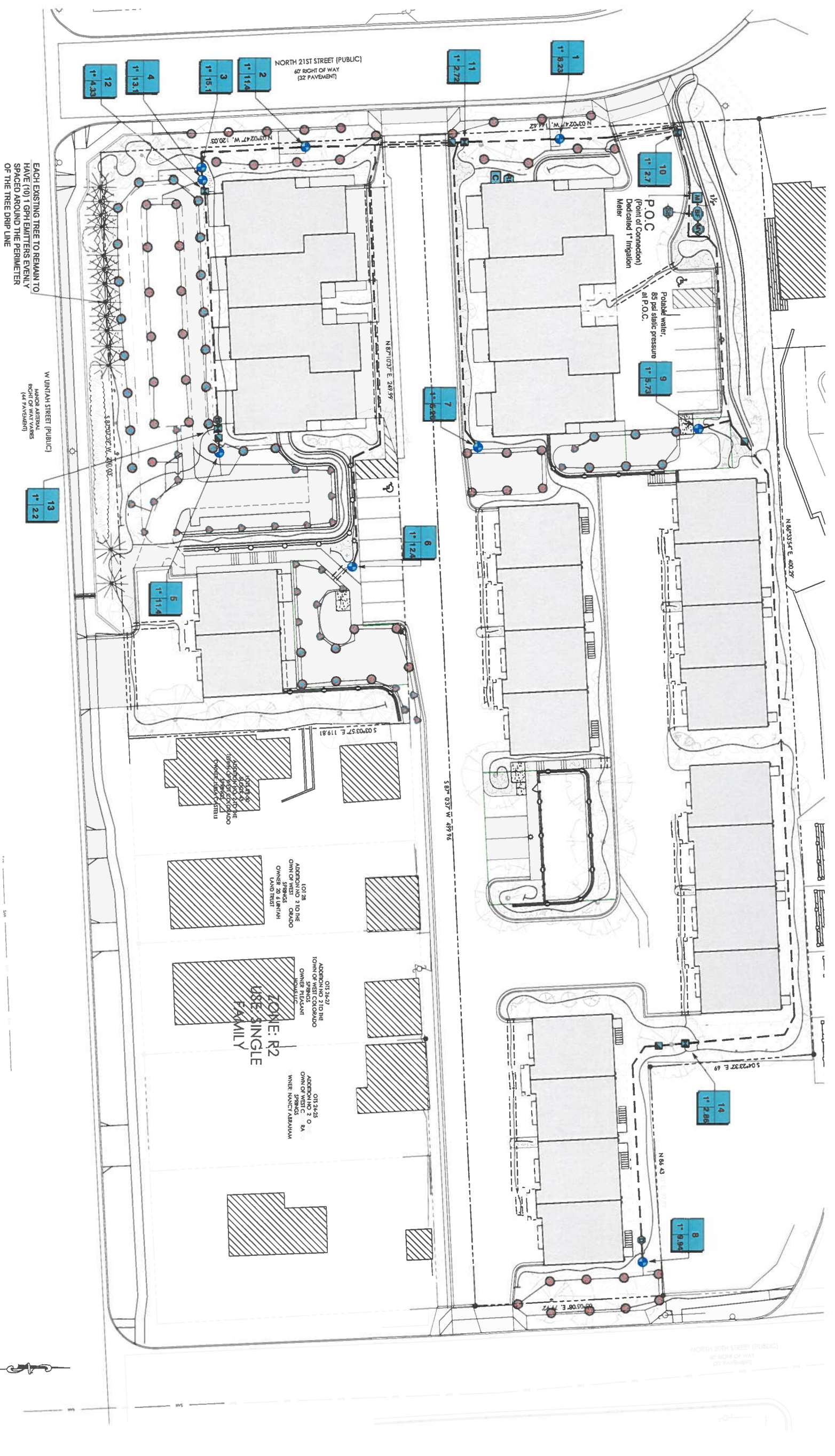
FINAL LANDSCAPE PLAN

DATE

August 30, 2024

October 7, 2024

November 5, 2024



EACH EXISTING TREE TO REMAIN TO HAVE (10) 1 GPH EMITTERS EVENLY SPACED AROUND THE PERIMETER OF THE TREE DRIP LINE

W UINTAH STREET (PUBLIC) MAJOR ARTERIAL RIGHT OF WAY Varies (44' PAVEMENT)

ADDITION NO. 1 TO THE OWN OF WEST COLORADO LAND TRUST

ADDITION NO. 2 TO THE OWN OF WEST COLORADO STRINGS OWNER: NANCY ABAYAWA

ADDITION NO. 3 TO THE OWN OF WEST COLORADO STRINGS OWNER: FILLIKANT

ADDITION NO. 2 O.A. STRINGS OWNER: NANCY ABAYAWA

ADDITION NO. 1 TO THE OWN OF WEST COLORADO STRINGS OWNER: FILLIKANT

ADDITION NO. 2 O.A. STRINGS OWNER: NANCY ABAYAWA

ADDITION NO. 3 TO THE OWN OF WEST COLORADO STRINGS OWNER: FILLIKANT

ADDITION NO. 2 O.A. STRINGS OWNER: NANCY ABAYAWA

ADDITION NO. 1 TO THE OWN OF WEST COLORADO STRINGS OWNER: FILLIKANT

ADDITION NO. 2 O.A. STRINGS OWNER: NANCY ABAYAWA



SCALE: 1"=20'

DEPN-24-0111

<p>JWLA Jon WALSH LANDSCAPE ARCHITECT LLC</p> <p>P.O. Box 334 Palmer Lake, CO 80133 (719) 640-9428 jwalsh@jwla.com www.jwalshlandscape.com</p>	<p>PROJECT NAME</p> <p>SUN MOUNTAIN TOWNHOMES</p> <p>Colorado Springs, CO</p>
	<p>PLANT TITLE</p> <p>IRRIGATION PLAN</p>
<p>DATE</p> <p>July 1, 2024</p>	<p>REVISIONS</p> <p>August 30, 2024</p> <p>October 7, 2024</p> <p>November 5, 2024</p>
<p>SHEET NO.</p> <p>L-4</p>	<p>SHEET 14 OF 18</p>

SYSTEM DESCRIPTION

IRRIGATION FOR TURF, PLANTINGS AND NATIVE SEED TO BE PROVIDED FROM AN AUTOMATED SPRINKLER SYSTEM CONNECTING TO A PROPOSED WATER SERVICE LINE LOCATED IN THE NORTHWEST CORNER OF THE SITE. A NEW 1" WATER METER AND VALVE TO BE PROVIDED AND INSTALLED PER CITY OF COLORADO SPRINGS REGULATIONS. THE BACKFLOW PREVENTER TO BE INSTALLED INSIDE A METAL STRONG BOX NEAR WATER METER. CONTROLLER TO BE INSTALLED ON WEST BUILDING WALL SOUTH OF THE METER AS SHOWN AND RAIN SENSOR TO BE INSTALLED ON TOP OF BUILDING. THE SYSTEM IS DESIGNED FOR A MINIMUM 35 PSI IN THE MAIN LINE, AND A MINIMUM FLOW OF 18 GPM. COORDINATE INSTALLATION OF ALL IRRIGATION COMPONENTS WITH OWNER'S REPRESENTATIVE AND OTHER TRADES. BALL VALVES ARE PROVIDED BEFORE EACH ZONE VALVE FOR MAINTENANCE OF SYSTEM. PORTABLE WATER TO BE USED FOR ALL IRRIGATION.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS TO RUN OFF A 1-1/2" COPPER WATER SERVICE LINE AND PROPOSED 1" WATER METER. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO VERIFY LOCATION OF CONTROLLER, RAIN SENSOR, AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE INSTALLED PER REGIONAL BUILDING DEPARTMENT CODES. A MINIMUM STATIC WATER PRESSURE OF 70 PSI IS REQUIRED (SYSTEM IS DESIGNED FOR OPERATING PRESSURE OF 35 PSI FOR ROTARY HEADS AND 40 PSI AFTER PRESSURE REGULATORS FOR DRIP ZONES). VERIFY PRESSURE AND DISCHARGE RATE ON SITE PRIOR TO CONSTRUCTION OF IRRIGATION SYSTEM BEYOND THE BACKFLOW DEVICE.
- COORDINATE LOCATION OF CONTROLLER AND RAIN SENSOR WITH OWNER'S REPRESENTATIVE. CONNECT CONTROLLER TO POWER SUPPLY (COORDINATE WITH OWNER). ZONE VALVE WIRES, RAIN SENSOR, AND GROUNDING. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO INSTALL A MANUAL DRAIN VALVE AT END OF MAINLINE.
- CONTRACTOR IS TO INSTALL #14 UF IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. INSTALL TWO EXTRA WIRES ALONG MAIN LINE IN EACH DIRECTION FOR TROUBLESHOOTING OR FUTURE ADDITIONS TO SYSTEM.
- CONTRACTOR IS TO VERIFY THAT MAINLINE AND LATERALS ARE FULLY OPERATIONAL AND OPERATING WITHOUT ANY LEAKS. AFTER INSTALLATION OF NEW IRRIGATION CONTRACTOR IS TO TEST ALL ZONES CHECKING AND BRING ANY LEAKS AND VERIFYING FULL OPERATION OF EACH ZONE.
- AFTER CONSTRUCTION, CONTRACTOR IS TO SET CONTROLLER TO RUN ZONES PER IRRIGATION SCHEDULE AFTER ESTABLISHMENT OF SEED, SOIL, AND PLANTINGS. CONTROLLER WATERRING DAYS AND TIMES ARE TO BE REDUCED IN SPRING AND FALL AND AFTER INITIAL ESTABLISHMENT. CONTRACTOR IS TO MONITOR PLANT HEALTH AND ADJUST CONTROLLER AS NECESSARY THROUGHOUT WARRANTY PERIOD.
- ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND CLEARLY MARKED PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEPING, SLEEPING FOR MAINLINE IS TO BE 18" UNDERGROUND, SLEEPING FOR DRIP AND SPRAY LATERAL LINES IS TO BE 12" UNDERGROUND. ALL SLEEPING IS TO EXTEND 6" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEPING ARE TO BE SECURELY COVERED AFTER INSTALLATION, AND SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED WITH PAINTED STRAKES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVE LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEPERS, IF NECESSARY.
- IRRIGATION PLAN IS DIAGRAMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPE DEPTH IS TO BE 15" TO 18". LATERAL LINE DEPTH IS TO BE 10" TO 12". 1" POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE IN ROCK OR MULCH BEDS, UNLESS OTHERWISE NOTED AND BURIED A MINIMUM 3" DEEP IN NATIVE SEED AREAS.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION OF ANY PROPOSED IRRIGATION.
- JON WALSH, LANDSCAPE ARCHITECT, LLC (JMA) PREPARED THIS PLAN BASED ON SITE LAYOUT AND SITE GRADING PLANS PROVIDED BY OTHERS. JMA ASSUMES NO LIABILITY FOR ANY WATER DAMAGE ON THIS SITE.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR IRRIGATION SYSTEM TO COMMENCE UPON COMPLETION OF LANDSCAPE AND IRRIGATION CONSTRUCTION. WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP RELATED TO IRRIGATION SYSTEM.

ZONE	PLANT MATERIAL	IRRIGATION TYPE	OPERATING PRESSURE	APPLICATION RATE	FLOW RATE	RUN TIME	NUMBER OF CYCLES	NUMBER OF IRRIGATION DAYS PER WEEK	ESTIMATE WATER USE
1	TURF GRASS	ROTARY	35 PSIG	5.9 BU/HR	4.23 GPM	30 MIN.	1	3	740 GAL/WK
2	TURF GRASS	ROTARY	35 PSIG	6.0 BU/HR	11.37 GPM	30 MIN.	1	2	1,023 GAL/WK
3	NATIVE GRASS	ROTARY	35 PSIG	3.6 BU/HR	15.15 GPM	30 MIN.	1	2	969 GAL/WK
4	TURF GRASS	ROTARY	35 PSIG	6.0 BU/HR	13.09 GPM	30 MIN.	1	2	1,178 GAL/WK
5	NATIVE GRASS	ROTARY	35 PSIG	3.7 BU/HR	11.40 GPM	30 MIN.	1	2	610 GAL/WK
6	TURF GRASS	ROTARY	35 PSIG	5.0 BU/HR	12.40 GPM	30 MIN.	1	3	1,116 GAL/WK
7	TURF GRASS	ROTARY	35 PSIG	6.5 BU/HR	5.26 GPM	30 MIN.	1	3	473 GAL/WK
8	TURF GRASS	ROTARY	35 PSIG	5.7 BU/HR	6.84 GPM	30 MIN.	1	3	610 GAL/WK
9	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	2.70 GPM	40 MIN.	1	3	324 GAL/WK
10	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	2.72 GPM	40 MIN.	1	3	326 GAL/WK
11	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	4.33 GPM	40 MIN.	1	3	520 GAL/WK
12	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	2.20 GPM	40 MIN.	1	3	264 GAL/WK
13	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	2.88 GPM	40 MIN.	1	3	343 GAL/WK
14	TREES/ SHRUBS	DRIP	40 PSIG	1.0 BU/HR	2.88 GPM	40 MIN.	1	3	343 GAL/WK

IRRIGATION TIMES AND CYCLES LISTED ABOVE ARE BASED ON ESTABLISHED GRASS, TREES, AND SHRUBS. ADJUST ACCORDINGLY DURING ESTABLISHMENT PERIOD.

LANDSCAPE AREAS	AREA (SQT.)	WATER USE (GAL/DAYS)
TURF GRASS	4345	156,910
NATIVE GRASS	11,011	38,494
SHRUB BEDS	20,434	44,202

TOTAL: 242,606

STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES

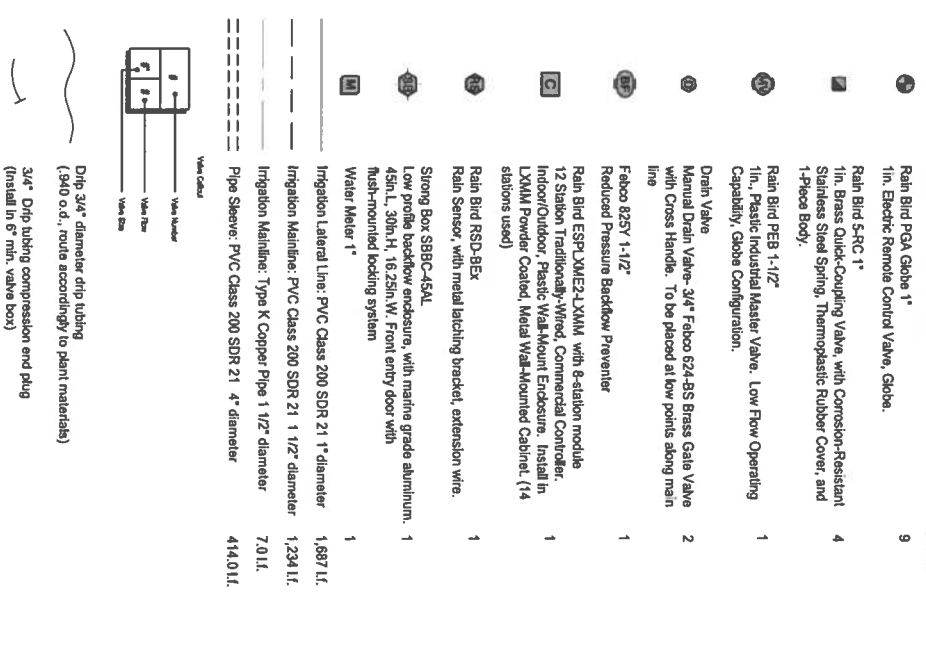
THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2023, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM. FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 8 P.M. WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME). ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED IRRIGATION PLANS AND WATER ALLOCATION PLANS. WATER ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES. FOR ALL DESIGN IRRIGATION SYSTEMS, IF MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTATOR STATION/VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM COLORADO SPRINGS UTILITIES. CITY AFFIDAVIT NOTE - THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION INSPECTION AFFIDAVIT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE PERFORMED TO ACCURATELY COMPLETE THE AFFIDAVIT. FINAL CO OR FINANCIAL ASSURANCES RELIEF SHALL NOT BE PROCESSED UNTIL AN EXECUTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVIT, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-585-5869) AND AS NECESSARY OUR DNE OFFICE (719-585-5862).

CRITICAL ANALYSIS

Generated:	2024-10-07 14:27
P.O.C. NUMBER:	01
Water Source Information:	
FLOW AVAILABLE	
Water Meters Size:	1"
Flow Available:	28.49 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	95 PSI
Elevation Change:	3.00 ft
Service Line Size:	1 1/4"
Length of Service Line:	30 ft
Pressure Available:	82 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	15.15 GPM
Flow Available at POC:	28.49 GPM
Residual Flow Available:	13.35 GPM
Critical Station:	
Design Pressure:	35 PSI
Friction Loss:	1.2 PSI
Fittings Loss:	0.12 PSI
Elevation Loss:	0.12 PSI
Loss through Valve:	5.35 PSI
Pressure Req. at Critical Station:	42.3 PSI
Loss for Fittings:	0.14 PSI
Loss for Main Line:	1.43 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	12.3 PSI
Loss for Master Valve:	3.9 PSI
Loss for Water Meter:	1.23 PSI
Critical Station Pressure at POC:	61.3 PSI
Pressure Available:	82 PSI
Residual Pressure Available:	20.7 PSI

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURE/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird R-VAN14 1806-SM4-PI5 Turf Rotary, 80-140, 45-270 degrees and 360 degrees.	28	35
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.	31	35
	Rain Bird R-VAN18 1806-SM4-PI5 Turf Rotary, 130L-180L, 45-270 degrees and 360 degrees.	49	35
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.	35	
	Rain Bird R-VAN24 1806-SM4-PI5 Turf Rotary, 170L-240L, 45-270 degrees and 360 degrees.		
	Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6in. pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2in. NPT Female Threaded Inlet.		
SYMBOL	MANUFACTURE/MODEL/DESCRIPTION	QTY	
	Rain Bird XC2-1004-C-1" Water Flow Drip Control Kit, for Light Commercial Uses. 1in. PEB Valve, with 1in. Pressure Regulating 40psi Basket Filter. 0.3-2.0 GPM.	5	
	Area to Receive Drip Emitters	23,336 sq.ft.	
	Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.3 GPH-1.0in., 1.0 GPH-1.5in., and 2.0 GPH-2in. Comes with a self-perching barb inlet & barb outlet.	9	
SYMBOL	MANUFACTURE/MODEL/DESCRIPTION	QTY	
	Rain Bird PGA Globe 1"	1	
	1in. Electric Remote Control Valve, Globe.	4	
	Rain Bird RSD-1" 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 1-Piece Body.	1	
	Rain Bird PEB 1-1/2" 1in. Plastic Inducted Master Valve. Low Flow Operating Capability. Globe Configuration.	2	
	Drain Valve Manual Drain Valve-3/4" Feibon 6244S Brass Gate Valve with Cross Handle. To be placed at low points along main line.	1	
	Reduced Pressure Backflow Preventer	1	
	Rain Bird ESP-LXM-E2-LXMM with 8-station module 12 Station Traditionally-Wired, Commercial Controller. Indoor/Outdoor, Plastic Walk-Mount Enclosure. Install in LXMM Powder Coated Metal Walk-Mounted Cabinet. (14 stations used)	1	
	Rain Bird RSD-BE Rain Sensor, with metal latching bracket, extension wire.	1	
	Strong Box SBBC-4SAL Low profile backhoe enclosure, with mainline grade aluminum. 45in. L, 30in. H, 16.25in. W. Front entry door with fish-mounted locking system	1	
	Water Meter 1"	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1" diameter	1,587 ft.	
	Irrigation Mainline: PVC Class 200 SDR 21 1 1/2" diameter	1,234 ft.	
	Irrigation Mainline: Type K Copper Pipe 1 1/2" diameter	70 ft.	
	Pipe Sleeve: PVC Class 200 SDR 21 4" diameter	414.0 ft.	



3/4" Drip tubing compression end and plug (3/40 o.d., route accordingly to plant materials)

Drip 3/4" diameter drip tubing (3/40 o.d., route accordingly to plant materials)

3/4" Drip tubing compression end and plug (install in 6" min. valve box)



P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwalsh@jwalsh.com
www.jwalshlandscape.com

PROJECT NAME

SUN MOUNTAIN TOWNHOMES

Colorado Springs, CO

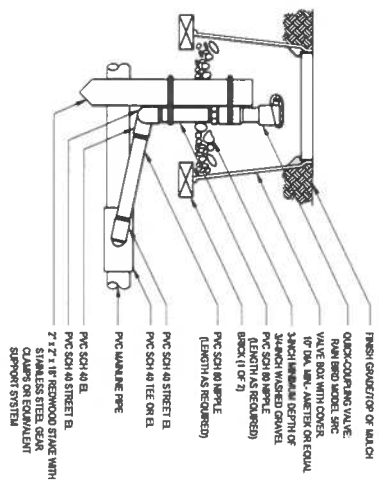
IRRIGATION PLAN

DATE: July 1, 2024
ISSUES:
August 30, 2024
October 7, 2024
November 5, 2024

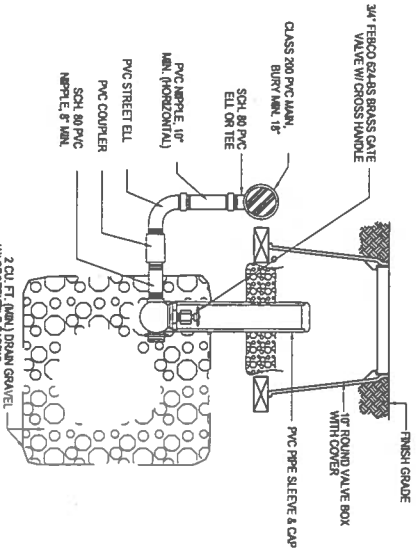
L-5

DEPN-24-0111

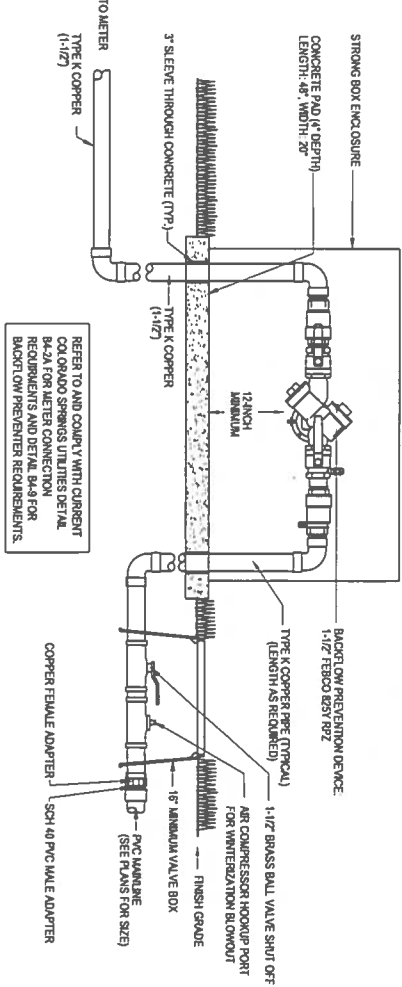
SHEET 15 OF 18



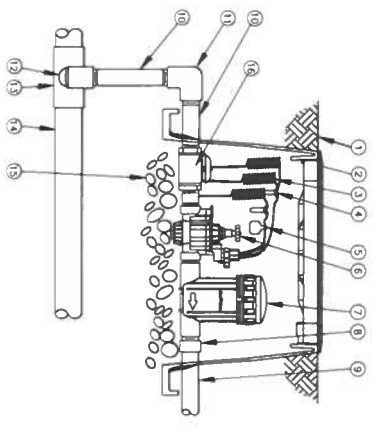
3 QUICK COUPLER VALVE



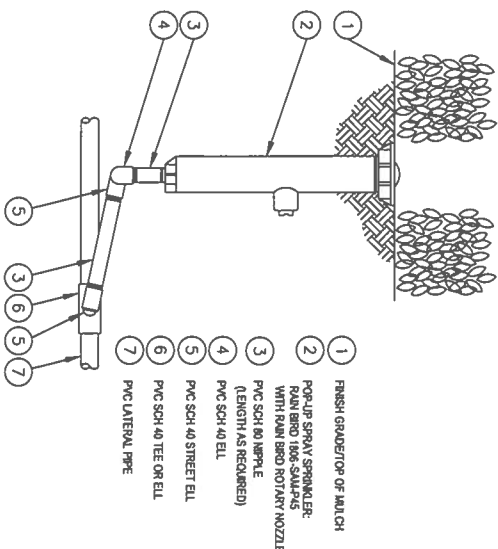
2 MANUAL DRAIN VALVE



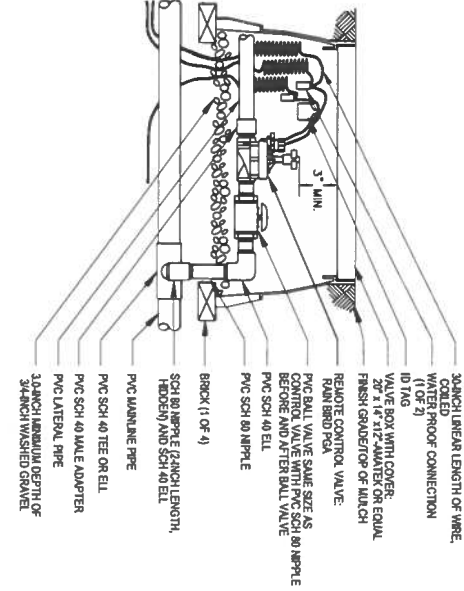
1 BACKFLOW PREVENTION DEVICE



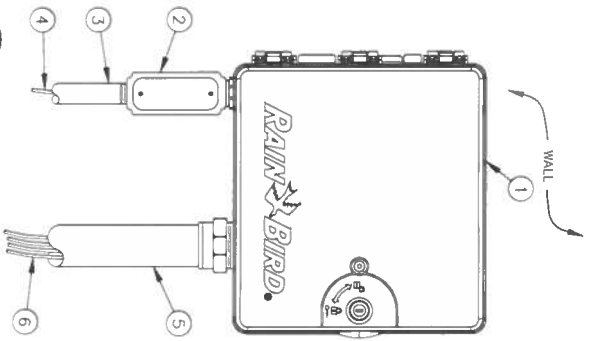
6 DRIP IRRIGATION ZONE CONTROL VALVE



5 1806 ROTARY POP-UP SPRINKLER



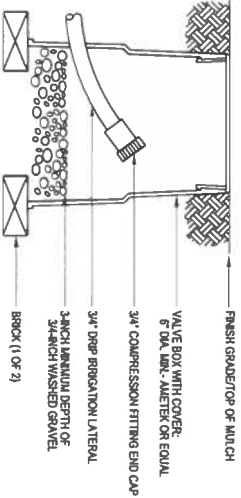
4 ELECTRIC ZONE CONTROL VALVE



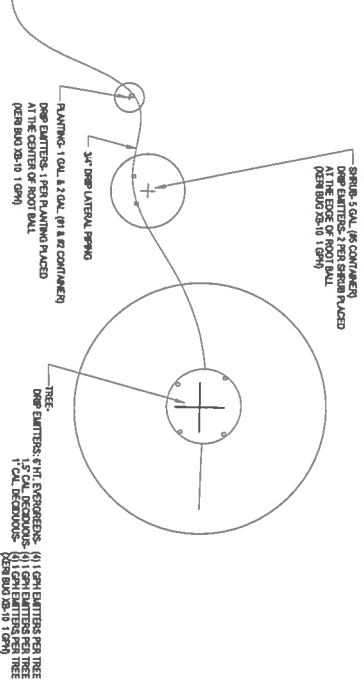
9 CONTROLLER

- 1 IRRIGATION CONTROLLER: RAIN BIRD ESP-LXUE CONTROLLER IN METAL CABINET WITH WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURERS RECOMMENDATIONS.
- 2 JUNCTION BOX
- 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY.
- 4 POWER SUPPLY WIRE
- 5 3/4-INCH CONDUIT AND FITTINGS FOR STATION WIRES
- 6 WIRES TO REMOTE CONTROL VALVES

NOTES:
 1. ESP-LXUE CONTROLLER IS AVAILABLE IN 8- OR 12-STATION BASE MODELS. ADDITIONAL MODULES IN 4-, 6- AND 12-STATION VERSIONS MAY BE ADDED TO BRING THE CONTROLLER UP TO 48 STATIONS MAXIMUM.
 2. FOR USE OF INSTALLATION PRO-A CONTROLLER WITH MORE THAN 48 STATIONS, CONTACT RAIN BIRD FOR A LARGE FORMAT CONTROLLER AND TRANSMISSION LARGER VALVE AND CONDUIT WIRES FROM FIELD TO 18 AWG MULTI-CONDUCTOR WIRE TO BE USED IN CONTROLLER.
 3. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PNC CONDUIT FOR BELOW GRADE CONNECTIONS.
 4. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



8 DRIP FLUSH CAP



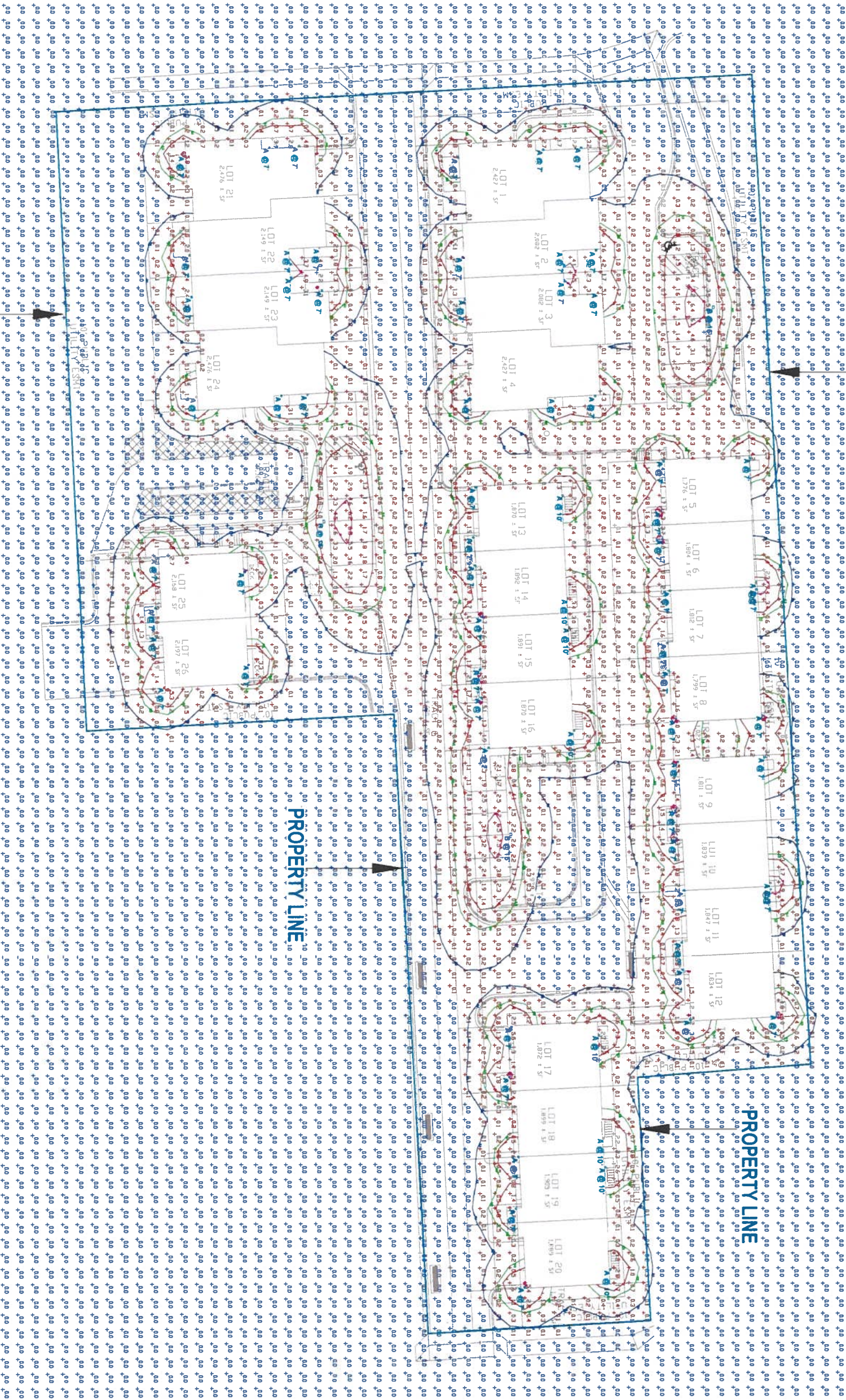
7 DRIP EMITTER PLACEMENT

EMISSION POINTS ARE TO BE EQUALLY SPACED AROUND THE PLANT. FOR SLOPE APPLICATIONS, EMITTERS SHALL BE PLACED ON UPVAL SIDE OF PLANT. USE UP WIND-DRIVEN AS REFERRED TO BE 3\"/>

7

PROPERTY LINE

PROPERTY LINE



PROPERTY LINE

PROPERTY LINE

NORTH

PHOTO METRIC PLAN

SCALE: 1" = 20'

DEPN-24-0111 SHIT 17 OF 18



B&H ENGINEERS
CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS

3540 HARTSOCK LAKE
COLORADO SPRINGS, COLORADO 80917
(719) 332-2006

REVISION/DATE
FILE NAME: PhotoMetric-Sun-Mountain-Town-Homes-DR-20-24.dwg

DRAWN BY: B&H
CHECKED BY: B&H

SUN MOUNTAIN TOWN HOMES
COLORADO SPRINGS, COLORADO 80904

B&H ENGINEERS

PHOTO METRIC PLAN

PM1

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC, 2019 NSR, 11/1, 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC.
- ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC, 2019 NSR, 11/1, 2021 IBC, 2021 IRC, 2021 IFC, 2018 IFB, 2009 IBC, 2009 IRC, 2009 IFC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE COLORADO DEPARTMENT OF REVENUE AND TAXATION.
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Symbol	Label	Tags	QTY	Manufacturer	Code	Description	Number	Length	LF	Unit Price	Total Price
○	A			Lithonia Lighting	20380LEDING-BL	20380 LED 18 30K 70CRI	1	39.45	39.45	1.64	64.79
□	B			Lithonia Lighting	20380LEDING-BL	20380 LED 18 30K 70CRI	1	7.76	7.76	1.64	12.64

Statistics	Quantity	Area	Max	Min	Max/Min	Avg/Min
Color	1	0.1	0.1	0.1	0.1	0.1

20380LEDING-BL

PRODUCT INFORMATION


Model: 20380
 Color: Warm White
 Beam Spread: 120°
 Mounting: Flush Mount

PRODUCT FEATURES

- Facilitates "Canopy" Mounting
- Compact Design
- Energy Efficient

TECHNICAL SPECIFICATIONS

Dimensions: 1.8" Dia. x 2.1" H
 Weight: 0.15 lbs
 Power: 1.64W
 Voltage: 120V



INSTALLATION

1. Mounting: Flush Mount

2. Wiring: Connect to 120V AC power source.

3. Clearance: Maintain 1/8" clearance from ceiling.

D-Series Size 0 LED Area Luminaire

Specifications

Model: D-Series Size 0
 Power: 1.64W
 Voltage: 120V
 Beam Spread: 120°

Introduction

The D-Series Size 0 LED Area Luminaire is a compact, energy-efficient lighting fixture designed for use in residential and commercial applications. It features a modern, minimalist design and is available in a variety of finishes and colors.

Dimensions

1.8" Dia. x 2.1" H

Weight

0.15 lbs

Power

1.64W

Voltage

120V

Beam Spread

120°

American LitePole

SNS SQUARE MON IAPPERED STEEL

Specifications

Model: SNS
 Material: Square Mon IAPPERED STEEL
 Height: 15.00 ft
 Diameter: 4.00 in

Dimensions

15.00 ft H x 4.00 in Dia

Weight

150 lbs

Power

1.64W

Voltage

120V

Beam Spread

120°

ADDITIONAL NOTES

1. All lighting fixtures shall be installed in accordance with the manufacturer's instructions.

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Colorado Springs and the Colorado Department of Revenue and Taxation.

3. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Colorado Springs and the Colorado Department of Revenue and Taxation.

PHOTO METRIC PLAN

1. The photo metric plan shows the location of the lighting fixtures on the site.

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Colorado Springs and the Colorado Department of Revenue and Taxation.

PHOTO METRIC PLAN

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