

FLYING HORSE NO. 21 FILING NO. 5 CAPRI AT FLYING HORSE

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

CONDITIONAL USE DEVELOPMENT PLAN

TITLE SHEET
APRIL 2023

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: A PORTION OF THE SOUTHERLY BOUNDARY OF FLYING HORSE NO. 7, RECORDED UNDER RECEPTION NO. 205008630, RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED AT BOTH ENDS BY A NO. 5 REBAR WITH ALUMINUM CAP STAMPED "CCES LLC PLS 30118", ASSUMED TO BEAR N72°52'48"W, A DISTANCE OF 244.28 FEET.

COMMENCING AT THE SOUTHWESTERLY CORNER OF FLYING HORSE NO. 7, RECORDED UNDER RECEPTION NO. 205008630, RECORDS OF EL PASO COUNTY, COLORADO SAID POINT BEING ON THE EASTERLY RIGHT OF WAY LINE OF ROLLER COASTER ROAD AS PLATTED IN FLYING HORSE NO. 9 RECORDED UNDER RECEPTION NO. 204201810, SAID POINT ALSO BEING THE POINT OF BEGINNING.

THENCE ON THE SOUTHERLY BOUNDARY OF SAID FLYING HORSE NO. 7 THE FOLLOWING (2) TWO COURSES:

- N72°52'48"E, A DISTANCE OF 244.28 FEET;
- S74°00'00"E, A DISTANCE OF 401.60 FEET TO THE NORTHWESTERLY CORNER OF FLYING HORSE NO. 21 FILING NO. 3, RECORDED UNDER RECEPTION NO. 217713913;

THENCE S16°00'00"W, ON THE WESTERLY BOUNDARY OF SAID FLYING HORSE NO. 21 FILING NO. 3, A DISTANCE OF 365.46 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF FLYING HORSE NO. 21 FILING NO. 2 RECORDED UNDER RECEPTION NO. 214713453;

THENCE ON THE NORTHERLY BOUNDARY OF SAID FLYING HORSE NO. 21 FILING NO. 2 THE FOLLOWING (4) FOUR COURSES:

- N75°42'00"W, A DISTANCE OF 75.34 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 24°33'37", A RADIUS OF 400.00 FEET AND A DISTANCE OF 171.47 FEET TO A POINT OF TANGENT;
- S79°44'23"W, A DISTANCE OF 95.74 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 03°26'23", A RADIUS OF 200.00 FEET AND A DISTANCE OF 12.01 FEET TO THE NORTHWESTERLY CORNER OF SAID FLYING HORSE NO. 21 FILING NO. 2, SAID POINT ALSO BEING THE NORTHEASTERLY CORNER OF FLYING HORSE NO. 21 FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713452;

THENCE ON THE NORTHERLY BOUNDARY OF SAID FLYING HORSE NO. 21 FILING NO. 1 THE FOLLOWING (2) TWO COURSES:

- CONTINUING ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N06°49'13"W, HAVING A DELTA OF 16°21'33", A RADIUS OF 200.00 FEET AND A DISTANCE OF 57.10 FEET TO A POINT OF TANGENT;
- N80°27'41"W, A DISTANCE OF 117.97 FEET TO A POINT ON SAID EASTERLY RIGHT OF WAY LINE OF ROLLER COASTER ROAD;

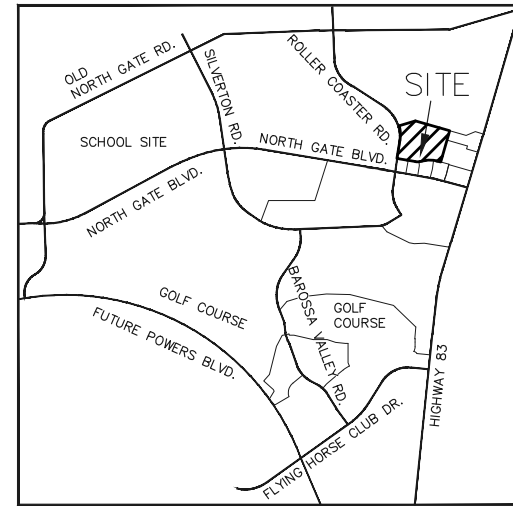
THENCE ON THE EASTERLY RIGHT OF WAY LINE OF SAID ROLLER COASTER ROAD THE FOLLOWING (2) TWO COURSES:

- N09°32'19"E, A DISTANCE OF 119.85 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 26°39'31", A RADIUS OF 533.00 FEET AND A DISTANCE OF 248.00 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 5.154 ACRES.

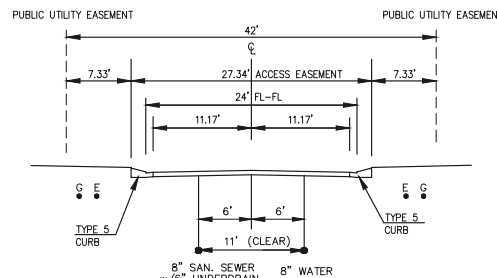
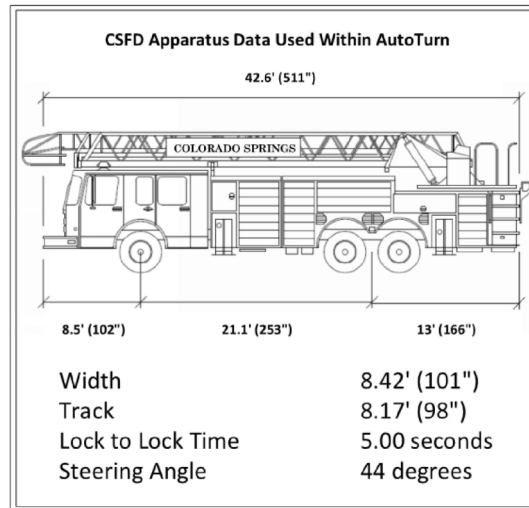
GENERAL NOTES:

- WHEN REQUIRED, ALL PARK LAND DEDICATION ORDINANCE FEES AND SCHOOL FEES WILL BE DUE AT TIME OF BUILDING PERMIT.
- NO DIRECT VEHICULAR ACCESS FROM RESIDENT DRIVEWAYS WILL BE PERMITTED TO ROLLER COASTER ROAD.
- ALL INTERNAL DRIVE AISLES AND PARKING SPACES TO BE ASPHALT OR CONCRETE.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 2, TYPE 5 OR TYPE 1 CURB & GUTTER OR AS SPECIFIED ON PLANS.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENTS OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL PEDESTRIAN RAMPS TO BE CITY STANDARD DETAILS.
- ALL SIDEWALKS TO BE CONCRETE TO BE BUILT TO CITY STANDARD.
- SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND INSTALLED PER CITY STANDARDS. SIDEWALKS WITHIN THE PRIVATE TRACTS NOT IN A PUBLIC IMPROVEMENT EASEMENT SHALL BE INSTALLED 5' OR 6' WIDE. ALL SIDEWALKS SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- DRIVEWAYS SHALL BE MINIMUM 20' LONG AS MEASURED FROM BACK OF CURB TO STRUCTURE.
- ALL TRAFFIC CONTROL MEASURES TO MEET MUTCD STANDARDS.
- NO ON STREET PARKING ALLOWED ON ANY ONSITE STREETS (PUBLIC OR PRIVATE) OTHER THAN IN DESIGNATED PARKING SPACES. NO PARKING SIGNS WILL BE INSTALLED OR CURB WILL BE STRIPED.
- PER CITY CODE SECTION 7.4.102.D (AS AMENDED) ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDS TO REDUCE GLARE AND LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
- FROST BITTEN GROVE, FLURRY HEIGHTS, BLIZZARD VIEW AND POWDER POINT ARE PRIVATE ROADS AND WILL BE OWNED AND MAINTAINED BY OWNER OF RECORD.
- ALL "STOP" SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS AND MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- ACCESS AND LOADING FACILITIES, BUILDINGS OR PORTIONS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS (34,050 KG) WITH A MINIMUM SINGLE AXLE WEIGHT OF 27,000 POUNDS (12,247 KG).
- ALL EXISTING CURB, GUTTER, SIDEWALK AND PEDESTRIAN RAMPS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG ROLLER COASTER ROAD ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- SITE LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF RECORD.
- STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE CITY RIGHT-OF-WAY SHALL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER OF RECORD.
- THE SUBJECT PROPERTY IS INCLUDED IN THE FLYING HORSE METROPOLITAN DISTRICT NO. 3. THE FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 3 IS RECORDED UNDER RECEPTION NO. 204189319 AND RECEPTION NO. 207010877.
- FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 1 ARE RECORDED UNDER RECEPTION NO. 204189317.
- THE ARTICLES OF INCORPORATION FOR THE SHOPPES AT FLYING HORSE PROPERTY OWNERS ASSOCIATION WERE FILED WITH THE COLORADO SECRETARY STATE UNDER IDENTIFICATION NO. 20141062477. ALL ACCESS DRIVEWAYS, DRIVES, AISLE WAYS, MANUEVERING AND PARKING AREAS WITHIN THESE PLATTED LOTS SHALL BE FOR THE COMMON USE OF ALL USERS, PUBLIC AND PRIVATE, AND OWNERS OF THIS PLANNED DEVELOPMENT, IN ACCORDANCE WITH THE DECLARATION OF COVENANTS FOR THE SHOPPES AT FLYING HORSE RECORDED UNDER RECEPTION NO. 214036589 AND AS AMENDED.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE USAF ACADEMY'S AIRMANSHIP PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.**
- THESE PROPERTIES ARE SUBJECT TO A PRIVATE AVIGATION EASEMENT TO THE UNITED STATES AIR FORCE ACADEMY AS RECORDED UNDER RECEPTION NO. IN THE OFFICE 220028097 OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO. SPECIFIC TO THIS PROPERTY.
- THE AREA INCLUDED IN THIS PLAT IS SUBJECT TO THE GOLF-PLAY EASEMENT AGREEMENT RECORDED UNDER RECEPTION NO. 206053073. FUTURE LOT OWNERS SHOULD BECOME FAMILIAR WITH THIS DOCUMENT.
- THE MINERAL ESTATE OWNER NOTIFICATION CERTIFICATION AFFIDAVIT WAS SUBMITTED AND CAN BE FOUND IN FILE CUDP-22-0020 THE APPLICANT HAS ATTESTED THERE ARE NO SEPARATE MINERAL ESTATE OWNERS IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.
- STORMWATER DETENTION FOR THIS SITE IS PROVIDED BY THE FLYING HORSE REGIONAL DETENTION FACILITY NO. 1 OWNED AND MAINTAINED BY CITY OF COLORADO SPRINGS

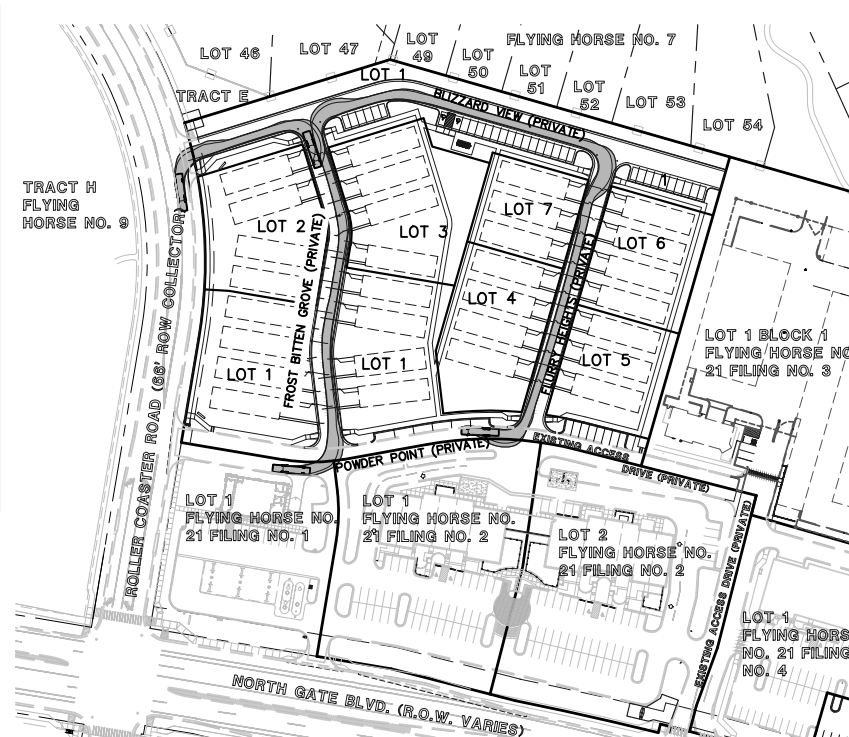


VICINITY MAP

N.T.S.



42' PUBLIC UTILITY EASEMENT RESIDENTIAL PRIVATE STREET-TYPICAL SECTION
FROST BITTEN GROVE
FLURRY HEIGHTS
BLIZZARD VIEW
SCALE: 1" = 10'
NO PARKING ALLOWED



KEY MAP
SCALE: 1" = 100'

PROJECT TEAM:

CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC
619 N. CASCADE AVE, SUITE 200
COLORADO SPRINGS, CO 80903
MR. KYLE CAMPBELL, P.E. (719) 785-0790

LANDSCAPE ARCHITECT

ALL AMERICAN
1925 AEROPAZA DR.
COLORADO SPRINGS, CO 80916
(719) 637-0313

GEOTECHNICAL ENGINEER

ENTECH ENGINEERING INC.
505 ELKTON DR.
COLORADO SPRINGS, CO 80907
MR. JOE GOODE (719) 531-5599

SITE DATA:

DEVELOPER: PULPIT ROCK INVESTMENTS LLC
2138 FLYING HORSE CLUB DRIVE
COLORADO SPRINGS, CO 80921
MR. DREW BALSICK (719) 592-9333

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|--|--|
| TAX SCHEDULE NO.: | 62044-00-005 |
| AREA: | 5.154 ACRES |
| MASTER PLAN: | FLYING HORSE CPC MP 06-00219 AS AMENDED |
| EXISTING ZONING: | PBC CPC ZC 12-00084 AS AMENDED ORD NO 13-28 |
| EXISTING USE: | VACANT |
| PROPOSED USE: | 30 TWO FAMILY DWELLING BUILDINGS/ 60 UNIT COMMUNITY |
| PROPOSED DENSITY: | 11.6 DU/ACRE |
| DEVELOPMENT SCHEDULE: | SPRING 2023 |
| MAXIMUM BUILDING HEIGHT ALLOWED: | 45' |
| PROPOSED BUILDING HEIGHT: | 30'-3" |
| TYPICAL DRIVE AISLE: | 24' UNLESS OTHERWISE NOTED |
| PROPOSED LOT COVERAGE BY BUILDINGS: | 23% |
| PROPOSED LOT COVERAGE BY ASPHALT/CONCRETE: | 33% |
| DRAINAGE BASIN: | MONUMENT BRANCH |
| LANDSCAPE SETBACKS: | |
| ALONG ROLLER COASTER ROAD: | 15' MINIMUM FROM R.O.W. |
| ALONG INTERNAL PRIVATE STREETS: | 20' MINIMUM FROM BACK OF CURB |
| BUILDING SETBACKS: | |
| ALONG ROLLER COASTER ROAD: | 25' MINIMUM FROM R.O.W. |
| ALONG INTERNAL PRIVATE STREETS: | 20' MINIMUM FROM BACK OF CURB |
| PARKING REQUIREMENTS: | |
| 30 2 BEDROOM/FIRST FLOOR X 1.7 | = 51 SPACES |
| 30 3 BEDROOM/SECOND FLOOR X 2.0 | = 60 SPACES |
| TOTAL BEDROOMS: 150 (60 UNITS) | 111 SPACES REQUIRED |
| PER COLORADO SPRINGS 7.4.204 | |
| 5% REDUCTION PER 7.4.204 ALTERNATIVE PARKING OPTIONS: | |
| SECTION C.1.B - "THE SUBJECT PROPERTY IS LOCATED WITHIN 400' BY DIRECT PEDESTRIAN ACCESS OF A DESIGNATED BIKE ROUTE OR CITY TRAIL" PROXIMITY TO BIKE ROUTE NORTH GATE BOULEVARD. | |
| 111 x 0.05 = 105 REQUIRED PARKING SPACES | |

| | |
|--|---------------------|
| PARKING PROVIDED: | |
| TOTAL PARKING SPACES PROVIDED: | 60 SPACES |
| DRIVEWAY | 45 SPACES |
| PARKING SPACES (FULL TIME) | 105 SPACES PROVIDED |
| ADA PARKING: | |
| TOTAL STRIPED PARKING STALLS PROVIDED: | 45 SPACES |
| ADA STALLS: | 2 (VAN) |

FLOODPLAIN STATEMENT:
NO PORTION OF THE PROPOSED SITE IS WITHIN A 100-YEAR FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 08041C 0295G EFFECTIVE DATE, DEC. 7, 2018.

SHEET INDEX

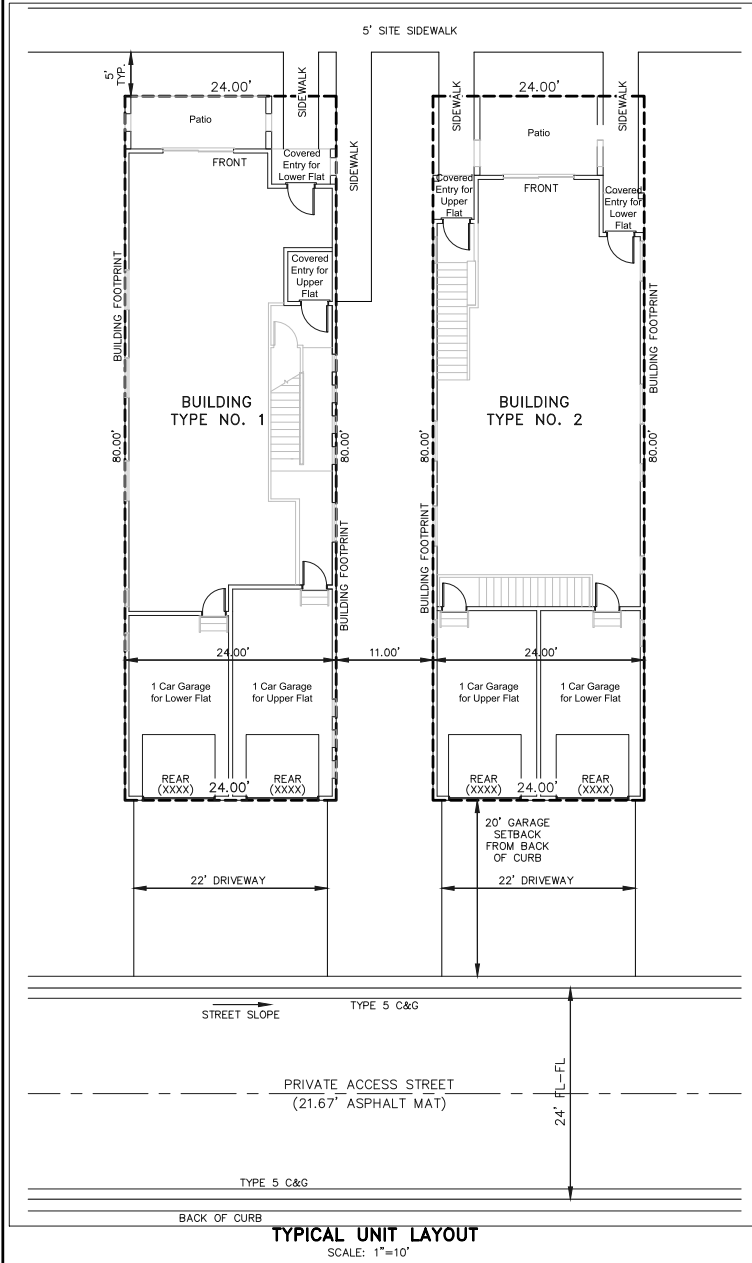
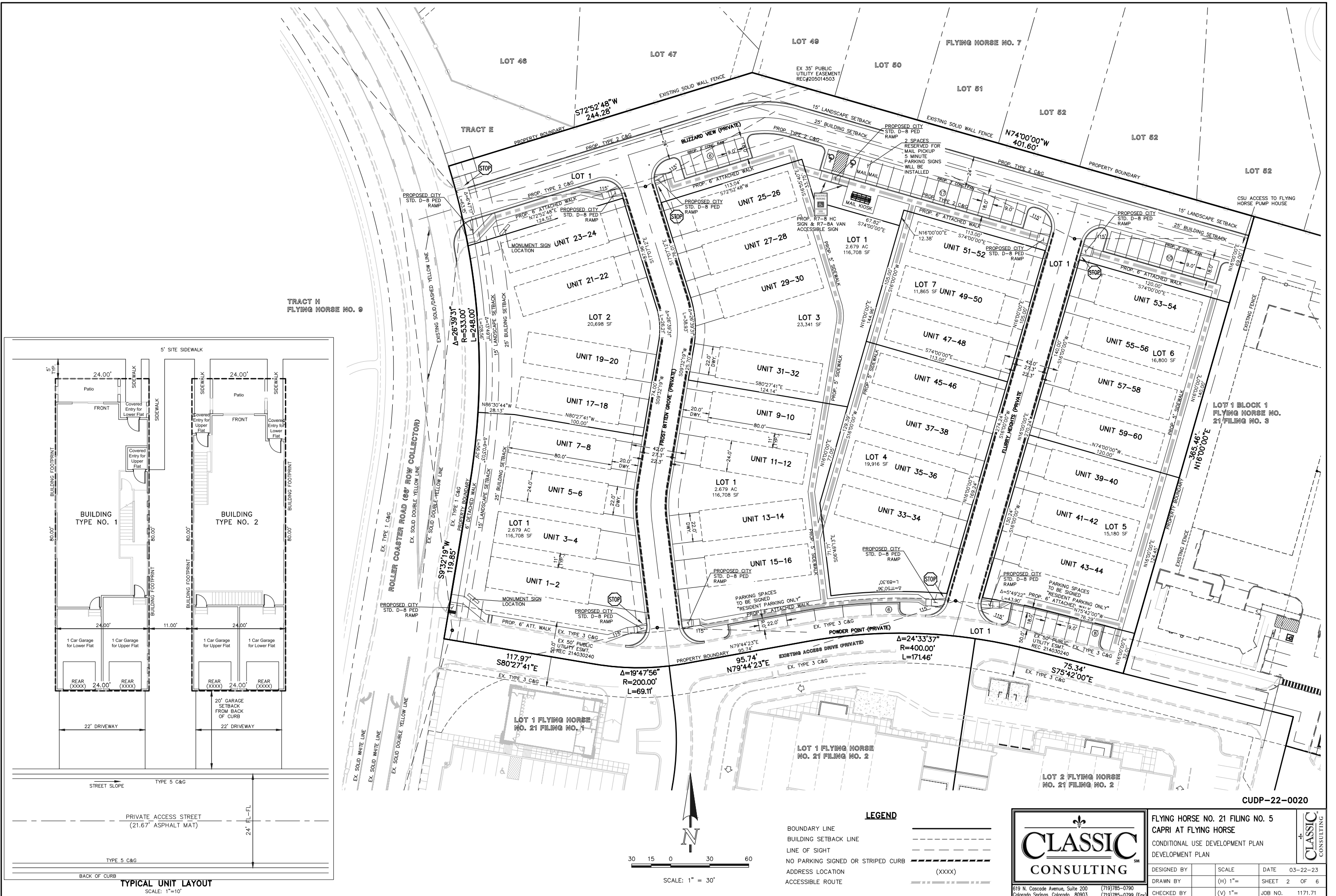
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|--|--------------|
| TITLE SHEET | SHEET 1 OF 6 |
| DEVELOPMENT PLAN - SITE PLAN | SHEET 2 OF 6 |
| PRELIMINARY GRADING PLAN | SHEET 3 OF 6 |
| PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN | SHEET 4 OF 6 |
| DETAIL SHEET | SHEET 5 OF 6 |
| BUILDING ELEVATIONS | SHEET 6 OF 6 |

CUDP-22-0020

FLYING HORSE NO. 21 FILING NO. 5
CAPRI AT FLYING HORSE
CONDITIONAL USE DEVELOPMENT PLAN
DEVELOPMENT PLAN

| | | | | |
|--------------|---------|----------|---------|----------|
| DESIGNED BY: | DLG | SCALE: | DATE: | 03-22-23 |
| DRAWN BY: | DLG | (H) 1"= | SHEET: | 1 OF 6 |
| CHECKED BY: | (V) 1"= | JOB NO.: | 1171.71 | |

CLASSIC CONSULTING ENGINEERS & SURVEYORS



LEGEND

| | |
|-----------------------------------|--------|
| BOUNDARY LINE | --- |
| BUILDING SETBACK LINE | ---- |
| LINE OF SIGHT | --- |
| NO PARKING SIGNED OR STRIPED CURB | --- |
| ADDRESS LOCATION | --- |
| ACCESSIBLE ROUTE | --- |
| | (XXXX) |



FLYING HORSE NO. 21 FILING NO. 5
CAPRI AT FLYING HORSE
CONDITIONAL USE DEVELOPMENT PLAN
DEVELOPMENT PLAN

| | | | |
|-------------|----------|---------|----------|
| DESIGNED BY | SCALE | DATE | 03-22-23 |
| DRAWN BY | (H) 1" = | SHEET | 2 OF 6 |
| CHECKED BY | (V) 1" = | JOB NO. | 1171.71 |

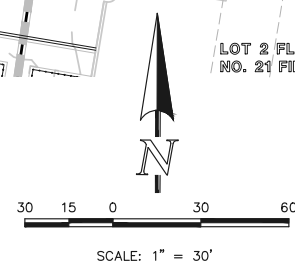
CUDP-22-0020

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

TRACT H
FLYING HORSE NO. 9

LEGEND

- (6770) ——— EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- > EXISTING FLOW DIRECTION
- > PROPOSED FLOW
- EXISTING VEGETATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PROPOSED RETAINING WALL
- TW = XX.XX
- BW = XX.XX



CUDP-22-0020



| | | |
|----------------------------------|---------|-----------------|
| FLYING HORSE NO. 21 FILING NO. 5 | | |
| CAPRI AT FLYING HORSE | | |
| CONDITIONAL USE DEVELOPMENT PLAN | | |
| PRELIMINARY GRADING PLAN | | |
| DESIGNED BY | SCALE | DATE 03-22-23 |
| DRAWN BY | (H) 1"= | SHEET 3 OF 6 |
| CHECKED BY | (V) 1"= | JOB NO. 1171.71 |

619 N. Cascade Avenue, Suite 200 (719)785-0790
 Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

MAXIMUM ALLOWABLE GROSS SQUARE FOOTAGE FOR HOMES PER THE COLORADO SPRINGS FIRE DEPARTMENT

HOMES WITH NO MORE THAN 3,600 GROSS SQUARE FOOTAGE WILL BE BUILT IN FLYING HORSE NO. 21 FILING NO. 5 CAPRI AT FLYING HORSE

TYPE V-B CONSTRUCTION
1500 GPM REQUIRED FIRE FLOW
1 HYDRANT MINIMUM,
500' AVERAGE SPACING,
250' MAX HOSE LAY

SEE SHEET 5 FOR TYPICAL UTILITY SERVICE DETAIL

TRACT H
FLYING HORSE NO. 9

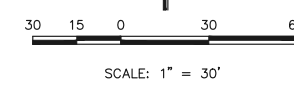
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS (REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY"), SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PICES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. CONTACT FIELD ENGINEERING NORTH 688-4995 OR SOUTH 668-5564.
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY. GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

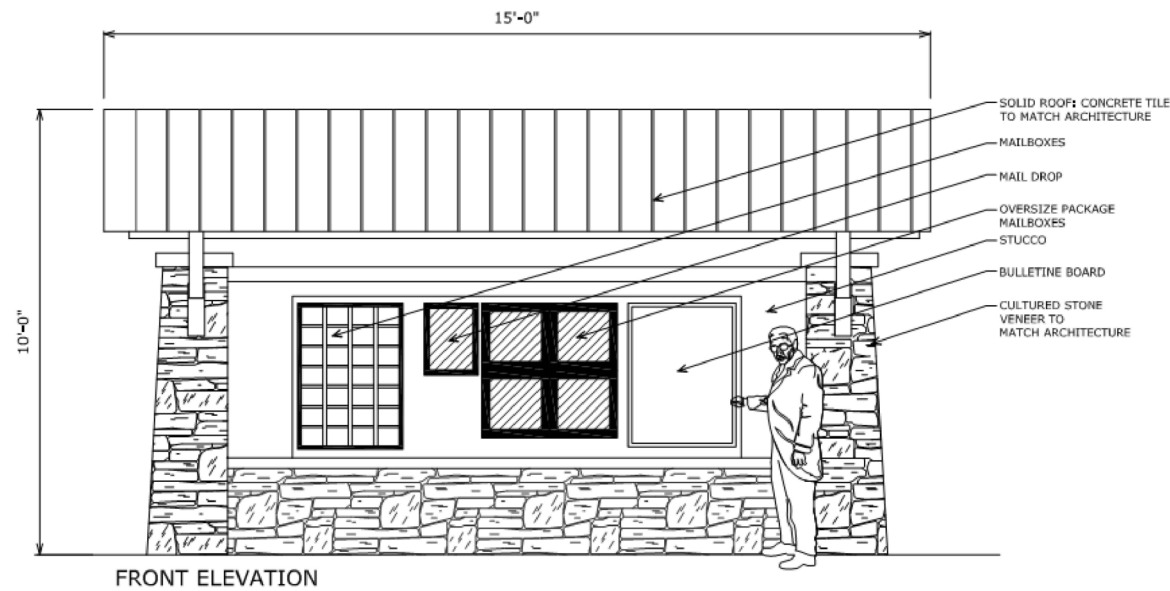
| DESCRIPTION | SYMBOL |
|---|--------|
| PROPOSED STORM SEWER | |
| PROPOSED STORM INLET | |
| EXISTING STORM SEWER | |
| EXISTING STORM INLET | |
| EXISTING FIRE HYDRANT | |
| EXISTING WATER MAIN | |
| EXISTING SANITARY SEWER MAIN W/ MANHOLE | |
| PROPOSED SANITARY | |
| PROPOSED WATER | |
| BOUNDARY LINE | |

NOTE:
A WATER QUALITY PLAN MAY BE REQUIRED WITH CONSTRUCTION DRAWING APPROVAL AND WILL BE DETERMINED BY COLORADO SPRINGS UTILITIES LABORATORY SERVICES SECTION (LSS)

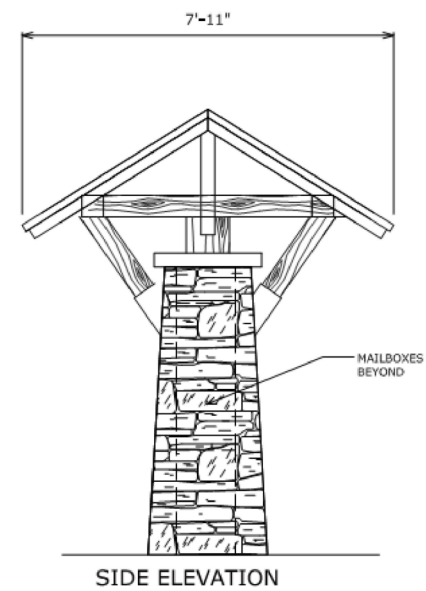


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|---|----------|-----------------|
| FLYING HORSE NO. 21 FILING NO. 5 CAPRI AT FLYING HORSE PRELIMINARY UTILITY & PUBLIC PLAN PLAN | | |
| DESIGNED BY | SCALE | DATE 03-22-23 |
| DRAWN BY | (H) 1" = | SHEET 4 OF 6 |
| CHECKED BY | (V) 1" = | JOB NO. 1171.71 |

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)



FRONT ELEVATION
COMMUNITY MAIL BOX KIOSK

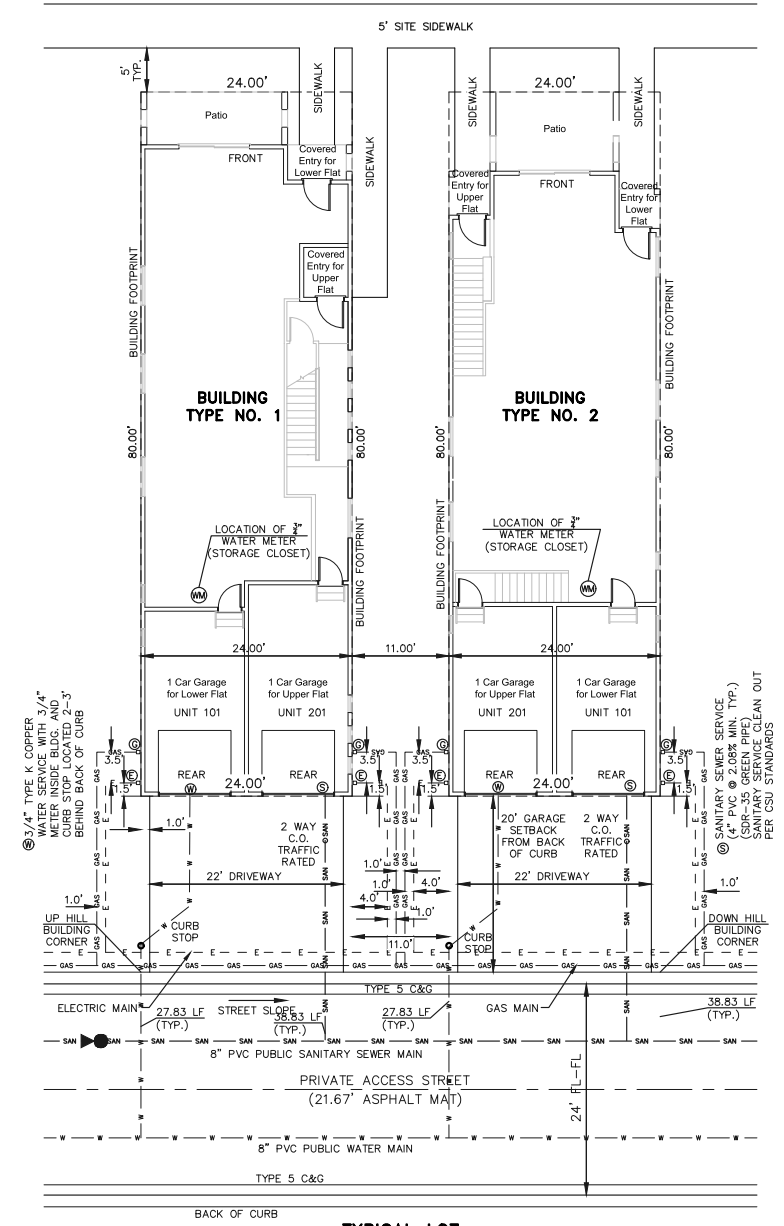


SIDE ELEVATION

SCALE: NOT TO SCALE

10

MAIL CANOPY
NTS



CUDP-22-0020

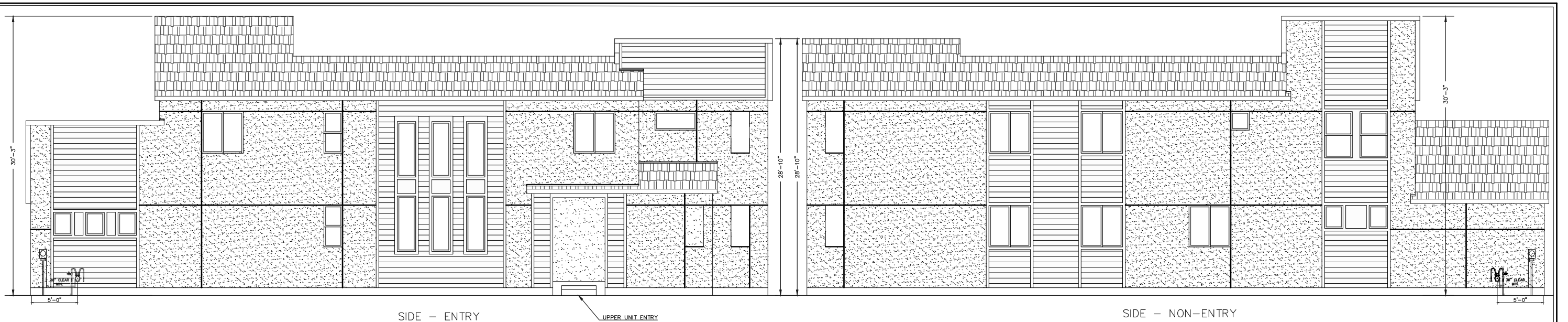


| | | | |
|----------------------------------|---------|---------|----------|
| FLYING HORSE NO. 21 FILING NO. 5 | | | |
| CAPRI AT FLYING HORSE | | | |
| CONDITIONAL USE DEVELOPMENT PLAN | | | |
| DETAILS | | | |
| DESIGNED BY | SCALE | DATE | 03-22-23 |
| DRAWN BY | (H) 1"= | SHEET | 5 OF 6 |
| CHECKED BY | (V) 1"= | JOB NO. | 1171.71 |

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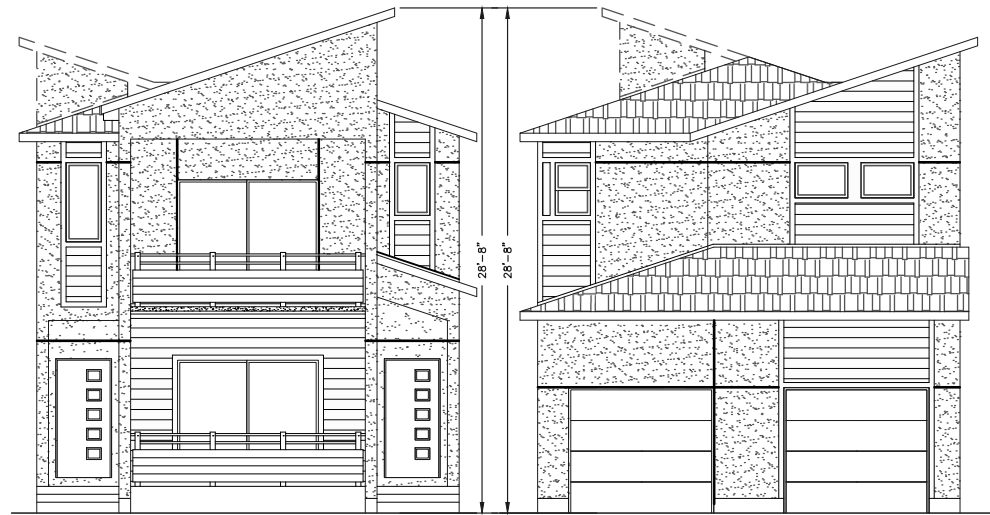




SIDE - ENTRY

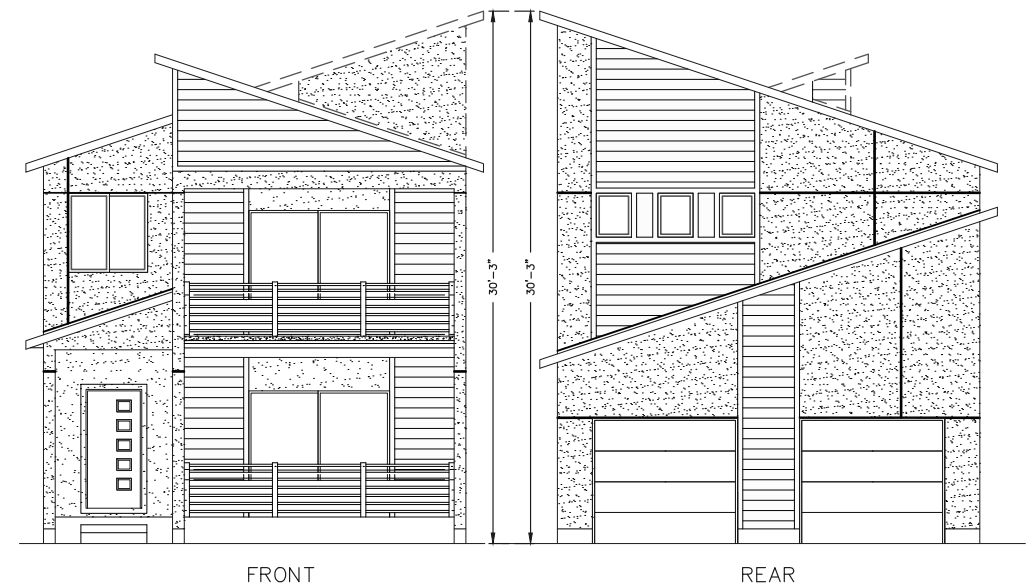
UPPER UNIT ENTRY

SIDE - NON-ENTRY



FRONT

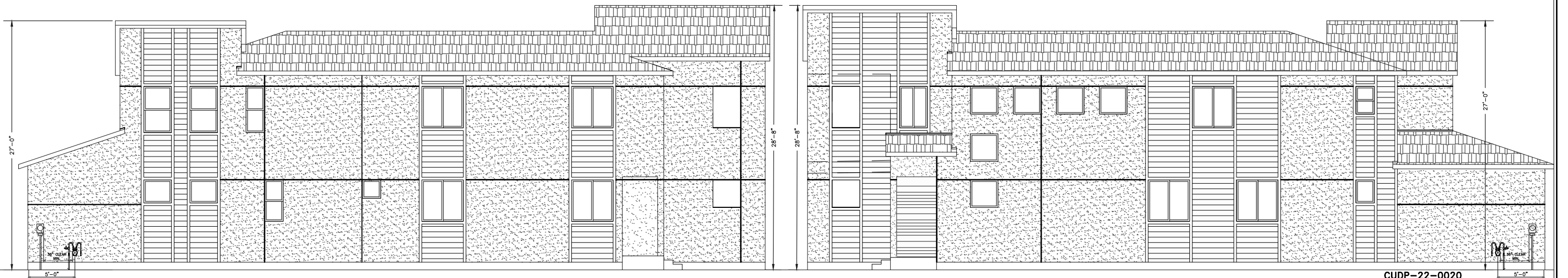
REAR



FRONT

REAR

BUILDING 1 ELEVATIONS
1"=5'



SIDE - GARAGE LEFT

SIDE - GARAGE RIGHT

CUDP-22-0020

BUILDING 2 ELEVATIONS
1"=5'

BUILDING SELECTION AND OPTIONS TO BE DETERMINED AT TIME OF BUILDING PERMIT. BOTH BUILDINGS WITH AND WITHOUT OPTIONS FIT WITHIN THE 24'X80' BUILDING FOOTPRINT.



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FLYING HORSE NO 21 FILING NO. 5
CAPRI AT FLYING HORSE
CONDITIONAL USE DEVELOPMENT PLAN
BUILDING ELEVATIONS

| | | | |
|-------------|---------|---------|----------|
| DESIGNED BY | SCALE | DATE | 03-22-23 |
| DRAWN BY | (H) 1"= | SHEET | 6 OF 6 |
| CHECKED BY | (Y) 1"= | JOB NO. | 1171.71 |

