

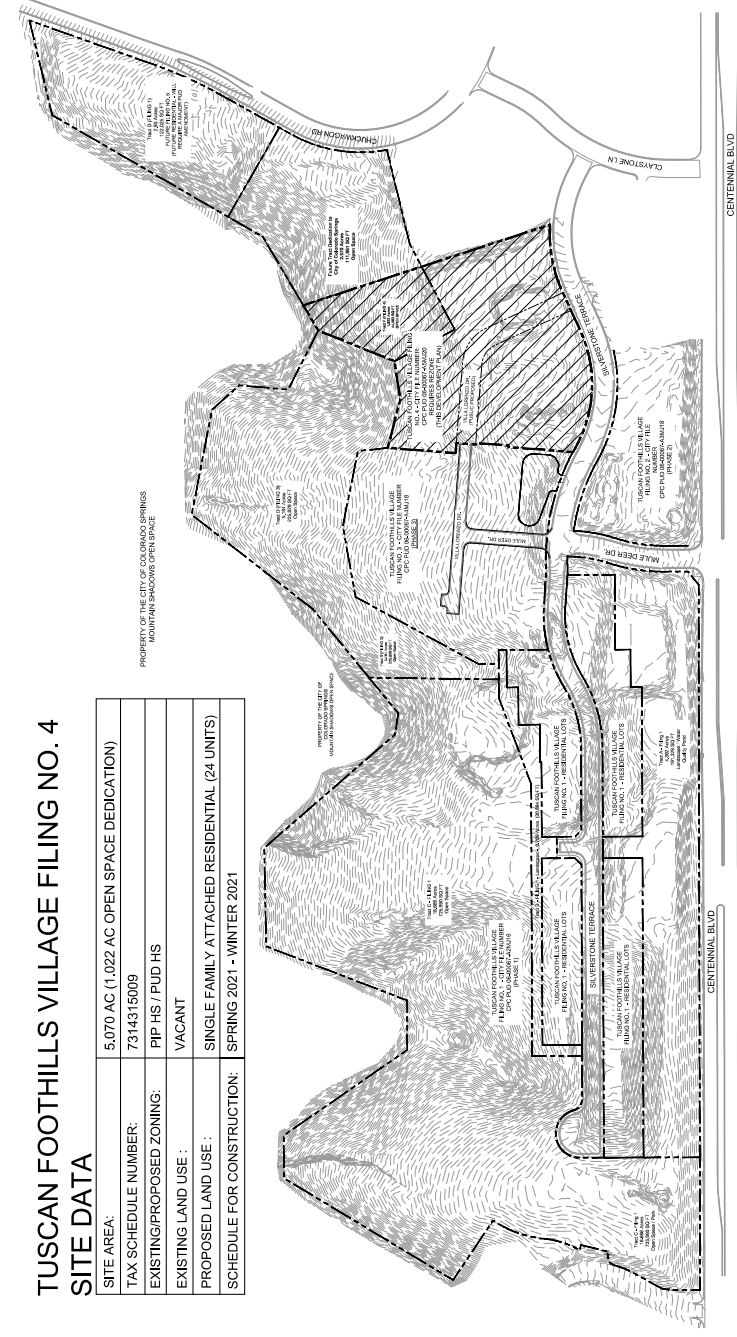
VICINITY MAP

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

TUSCAN FOOTHILLS VILLAGE FILING NO. 4

SITE DATA

SITE AREA:	5,070 AC (1,022 AC OPEN SPACE DEDICATION)
TAX SCHEDULE NUMBER:	7314315009
EXISTING/PROPOSED ZONING:	PIP HS / PUD HS
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	SINGLE FAMILY ATTACHED RESIDENTIAL (24 UNITS)
SCHEDULE FOR CONSTRUCTION:	SPRING 2021 - WINTER 2021



(NTS)

GENERAL NOTES:

- PHASES SHALL BE PLATTED INDIVIDUALLY PER PHASING PLAN.
- MAX. BUILDING HEIGHT FOR RESIDENTIAL IS 35'.
- FOR PROPOSED SITE GRADING, SEE GRADING PLAN.
- ALL EXISTING VEGETATION THAT IS NOT DISTURBED BY SITE IMPROVEMENTS SHALL BE PRESERVED AND PROTECTED WITH THE EXCEPTION OF DEAD STANDING BRUSH AND TREES THROUGHOUT THE OPEN SPACE.
- ALL PRIVATE DRIVES, STREETS, FIRE LANES, OPEN SPACE, LANDSCAPE TRACTS AND WATER QUALITY PONDS ARE TO BE OWNED AND MAINTAINED BY THE TUSCAN FOOTHILLS VILLAGE METRO DISTRICT UNLESS OTHERWISE NOTED.
- ALL FRONT LANDSCAPE PLANTINGS AND LANDSCAPE / SCREEN WALLS THAT EXTEND INTO THE R.O.W. WILL BE MAINTAINED AND REPLACED BY TUSCAN FOOTHILLS VILLAGE METRO DISTRICT.
- EASEMENTS SHALL BE GRANTED FOR ENCROACHMENTS INTO SETBACKS UP TO PROPERTY LINES FOR TRELLISES, CANTILEVERS, BALCONIES, FIREPLACES, PATIOS AND PORCH COVERS, AS APPROVED BY THE TUSCAN FOOTHILL VILLAGE HOA. A 10' MAX. ENCROACHMENT INTO COMMON AREA ALLOWED FOR PRIVATE COURTYARDS. NO PRIVATE FENCING IS ALLOWED.
- THE TUSCAN FOOTHILLS VILLAGE METRO DISTRICT THROUGH THE COVENANTS SHALL FORBID LOT-SPECIFIC GROUND DISTURBANCE OR REQUIRE THAT INDIVIDUAL HOMEOWNERS RETAIN A PROFESSIONAL ENGINEER PRIOR TO REGRADING OF THE PROPERTY.
- NO DISTURBANCE, GRADING, BUILDING OR REMOVAL OF SIGNIFICANT NATURAL FEATURES AND VEGETATION WILL OCCUR BEYOND THE LIMITS NOTED AS THE PRESERVATION / NO BUILD AREAS.
- A HILLSIDE SITE AND GRADING PLAN SHALL BE APPROVED BY CITY DEVELOPMENT REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR EACH STRUCTURE.
- THE PROPOSED USES FOR THE PROPERTY ARE DEFINED AS SINGLE FAMILY ATTACHED RESIDENTIAL.
- CONSTRUCTION ACTIVITY AND TRAFFIC WILL BE SCHEDULED DURING THE HOURS BETWEEN 7:00 A.M. TO 7:00 P.M. IN COMPLIANCE WITH THE HILLSIDE DEVELOPMENT PER CODE SECTION 7.3.504.E. ALL HOMES ARE TO MEET CLASS A ROOF REQUIREMENTS.
- THE SITE IS NOT WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA. THE FLOOD PLAN INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY PANEL 080410581G, EFFECTIVE ON DECEMBER 7TH, 2018.
- SOIL ANALYSIS AND AMENDMENTS TO BE PROVIDED WITH THE FINAL LANDSCAPE PLAN.
- ALL STREETS ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF COLORADO SPRINGS. ALL PUBLIC STREETS WILL BE CONSTRUCTED TO CURRENT CITY OF COLORADO SPRINGS REQUIREMENTS.
- STREET IMPROVEMENT PLANS WILL BE SUBMITTED PRIOR TO BUILDING PERMIT APPROVAL.
- RIGHT OF WAY FOR CENTENNIAL BOULEVARD FOR ANY DECELERATION LANE MAY BE GRANTED WITH THE FINAL PLAT.
- THIS PROJECT MAY BE SUBJECT TO A COST RECOVERY AGREEMENT FOR IMPROVEMENTS MADE TO CENTENNIAL BLVD. BETWEEN RENDZOVIOUS TRAILERCKES ROAD TO THE SOUTH AND ALLEGHENY DRIVE TO THE NORTH. THIS DEVELOPMENT IS NOT ADJACENT TO THESE IMPROVEMENTS. IF IT IS DETERMINED THROUGH COMPLETE AND PROPER DOCUMENTATION THAT THIS DEVELOPMENT IS IN FACT SUBJECT TO THE RECOVERY AGREEMENT THEN THE APPROPRIATE RECOVERY FEE SHALL BE PAID PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PUBLIC IMPROVEMENT EASEMENTS WILL BE PROVIDED WITH THE FINAL PLAT WHERE THE SIDEWALK (AND TRAFFIC CONTROL FIXTURES) ARE OUTSIDE THE PUBLIC RIGHT OF WAY.
- AI CURB, GUTTER, CROSS-PANS, DRIVEWAYS, PEDESTRIAN RAMPS AND SIDEWALKS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING REVIEW INSPECTOR AT 385-5977.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AN THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- PER THE PARK LAND DEDICATION ORDINANCE THE TOTAL OBLIGATION FOR FILING NO. 1 IS 1.16 AC. FILING NO. 2 IS 0.66 AC. AND FILING NO. 3 IS 0.56 AC FOR A TOTAL OF 2.38 AC. PER FINAL PLAT (AR FP 18-00709) FILING NO. 1 TRACT C DEDICATION CONSISTS OF 16.67 AC. THE PARKLAND CREDIT CREATED WITH THESE DEDICATIONS ARE AVAILABLE FOR USE RELATED TO RESIDENTIAL UNITS WITHIN TUSCAN FOOTHILLS VILLAGE OR FOR PARCELS THAT ARE CONTIGUOUS TO FILING NO. 1, 2, OR 3.
- CTL THOMPSON, THE GEOTECHNICAL ENGINEER FOR THIS DEVELOPMENT, SHALL REVIEW AND ACCEPT THE GRADING, EROSION CONTROL AND STORM WATER QUALITY PLAN PRIOR TO ISSUANCE OF A GRADING PERMIT FOR THIS SITE.

FULL SPECTRUM DETENTION:

- FULL SPECTRUM DETENTION FOR FILING NO. 4 WILL BE PROVIDED BY THE TUSCAN FOOTHILLS VILLAGE FILING NO. 3 DETENTION POND LOCATED SOUTH OF THE PROPOSED PROJECT. THE MAINTENANCE OF THE TUSCAN FOOTHILLS VILLAGE FILING NO. 3 POND TO BE PROVIDED BY THE HOMEOWNER'S ASSOCIATION.

WILDLAND URBAN INTERFACE DISCLOSURE:

- RESIDING IN OR NEAR WILD LAND INTERFACE OR INTERMIX AREAS INVOLVES INCREASED FIRE RISKS THAT MAY NOT APPLY IN URBAN OR MORE URBANIZED TYPES OF DEVELOPED COMMUNITIES.
- ALL LOTS WITH THIS DEVELOPMENT ARE SUBJECT TO FUELS MANAGEMENT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER TO IMPLEMENT THE FUELS MANAGEMENT PROCEDURES AS DEFINED IN CHAPTER 8 OF THE CITY CODE FOR EACH LOT. APPROVAL INSPECTION MUST BE OBTAINED FROM CITY PLANNING OFFICE PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT AND/OR ALLOWING OCCUPANCY OF THE RESIDENCE. THE INITIAL FUELS MANAGEMENT INSPECTION MUST BE REQUESTED FROM THE CITY PLANNING OFFICE PRIOR TO FRAMING INSPECTION WITH SUBSEQUENT APPROVAL OBTAINED PRIOR TO BUILDING FINAL.



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2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

OVERALL TUSCAN FOOTHILLS VILLAGE PUD SITE DATA

TOTAL ACREAGE OF SITE (OVERALL TFV PUD)	49.384
LAND USE:	MIXED-USE RESIDENTIAL
EXISTING MASTER PLAN	MOUNTAIN SHADOWS
EXISTING ZONING	PUD HS & PIP HS
PROPOSED ZONING	PUD HS
TAX SCHEDULE NUMBER(S)	7314300028, 7314300032, 7314300035, 7314300037, 7314315009, 7323200067, 7323210068, 7323210069
AREA OF RESIDENTIAL - FILING NO.1	4.89 AC.
AREA OF MULTIFAMILY - FILING NO.2	2.33 AC.
AREA OF RESIDENTIAL - FILING NO.3	1.35 AC.
AREA OF RESIDENTIAL - FILING NO.4	1.35 AC.
MAX BUILDING HEIGHT - RESIDENTIAL	35'
SETBACKS	PER PLAN
GROSS RESIDENTIAL DENSITY (138 DU / 49.38 AC)	2.79 DU / AC.
CUMULATIVE OPEN SPACE DEDICATION (FIL. 1 + FIL. 3 + FIL. 4)	22.87 AC.
DEVELOPMENT TIMELINE	2020-2021

GEOLOGIC HAZARD NOTES

- THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL THOMPSON, INC. DATED APRIL 23, 2020, WHICH IDENTIFIED THE FOLLOWING GEOLOGIC HAZARD ON THE PROPERTY: EXPANSIVE BEDROCK AND SOILS AND GROUNDWATER. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE # [REDACTED] OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 105, COLORADO SPRINGS, CO. IF YOU WOULD LIKE TO REVIEW SAID REPORT.
- THE DEVELOPER, CONSTRUCTION CONTRACTOR, AND BUILDERS SHOULD BE FAMILIAR WITH THE FINDINGS OF THE CTL THOMPSON GEOLOGIC HAZARD REPORT FOR THIS DEVELOPMENT.
- CTL THOMPSON, THE GEOTECHNICAL ENGINEER FOR THIS DEVELOPMENT, SHALL REVIEW AND ACCEPT THE GRADING, EROSION CONTROL AND EROSION CONTROL AND STORM WATER QUALITY PLAN PRIOR TO ISSUANCE OF A GRADING PERMIT FOR THIS SITE.
- GROUND MODIFICATIONS INCLUDING RETAINING WALLS AND SLOPES SHALL BE APPROVED AND COMPLETED AS PART OF MASS GRADING OPERATIONS BY THE DEVELOPER BEFORE OCCUPANCY OF INDIVIDUAL HOMEOWNERS. THE METROPOLITAN DISTRICT SHALL OWN AND MAINTAIN ANY RETAINING WALLS AND COMMON AREAS.
- LANDSCAPING AND SITE IMPROVEMENTS APPROVED AND COMPLETED AS PART OF THE DEVELOPMENT CANNOT BE ALTERED WITHOUT PROFESSIONAL ENGINEERING.
- EXCAVATIONS COMPLETED AS PART OF MASS GRADING OPERATIONS AND ALL CUT SLOPES SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER OF RECORD. AN INSPECTION REPORT COVERING EXCAVATIONS AND CUT SLOPES SHALL BE PREPARED THAT IDENTIFIES THE GEOLOGIC CONDITIONS OBSERVED INCLUDING BUT NOT LIMITED TO BEDROCK MATERIALS, BEDDING ORIENTATION, LANDSLIDES, GROUNDWATER AND EROSION. THE REPORT SHALL BE SUBMITTED TO THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM FOR REVIEW AND APPROVAL.
- ANALYSIS PERFORMED AND IDENTIFY ANY CHANGES OR REMEDIATION REQUIRED TO ACHIEVE A SUITABLE FACTOR OF SAFETY.
- SUBSEQUENT TO GRADING OPERATIONS AND PRIOR TO FINAL PLAT APPROVAL, THE GEOTECHNICAL ENGINEER OF RECORD SHALL SUBMIT A SUPPLEMENTAL GEOLOGIC HAZARD REPORT ADDRESSING GEOLOGIC CONDITIONS OBSERVED DURING GRADING AND MITIGATION, IF PERFORMED. THE ENGINEER OF RECORD SHALL REVIEW AND ACCEPT (SIGN) THE GRADING, EROSION CONTROL, AND STORMWATER QUALITY PLAN(S) FOR THE DEVELOPMENT.
- A HILLSIDE SITE GRADING PLAN IS REQUIRED FOR EACH TWO-JOINT OR THREE-JOINT HOME CONSTRUCTED. THE CTL THOMPSON GEO-HAZARD REPORT SATISFIES THE GEOLOGIC HAZARD REQUIREMENT FOR THOSE LOTS SHOWN ON THIS DEVELOPMENT PLAN.

TUSCAN FOOTHILLS VILLAGE UNITS (DU/FILING)

	FIL. NO. 1	FIL. NO. 2	FIL. NO. 3	FIL. NO. 4
DUPLICATE UNITS	50 UNITS	6 UNITS	12 UNITS	68 UNITS
TRIPLEX UNITS		18 UNITS	12 UNITS	30 UNITS
APARTMENT UNITS		40 UNITS		40 UNITS
TOTAL TUSCAN FOOTHILLS VILLAGE OVERALL PUD UNITS				138 UNITS
ALL FILINGS				

PUD PLAN AMENDMENT HISTORY:

CITY FILE NUMBER	DATE APPROVED	AMENDMENT DESCRIPTION
CPC PUD 06-067	JANUARY 10, 2007	ORIGINAL APPROVAL
CPC PUD 06-067-ATM1/3	SEPTEMBER 11, 2013	RENEWING OF EXPIRED DEVELOPMENT PLAN
CPC PUD 06-00667-ATM1/6	MAY 22, 2018	REVISED LAYOUT AND DENSITY ILLUSTRATING 50 TOWNHOMES UNITS FOR ANTICIPATED FUTURE PLAN AMENDMENTS. THE COMMERCIAL AREA REMAINS AS ORIGINALLY APPROVED.
CPC PUD 06-00667-ATM1/8	NOVEMBER 13, 2018	THE COMMERCIAL AREA REZONED TO MULTI-FAMILY RESIDENTIAL
CPC PUD 06-0067-AMM1/8	MAY 14, 2020	ADDITION OF A NEW ROAD, 24 RESIDENTIAL UNITS, AND STORMWATER FACILITY.
CPC PUD 06-0067-ASAM20	CURRENT APPLICATION	ADDITION OF A NEW ROAD AND 24 RESIDENTIAL UNITS

CONTACTS:

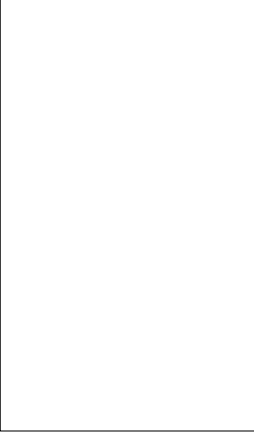
DEVELOPER:
RAY O'SULLIVAN
TFV, LLC
17 S. WAHSATCH AVENUE
COLORADO SPRINGS, CO 80903

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7272
CONTACT: JOHN HEIBERGER, P.E.

OWNER:
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TFV, LLC
17 S. WAHSATCH AVENUE
COLORADO SPRINGS, CO 80903

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
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COLORADO SPRINGS, CO 80903
TEL: (719) 284-7830
CONTACT: JIM HOUK, PLA

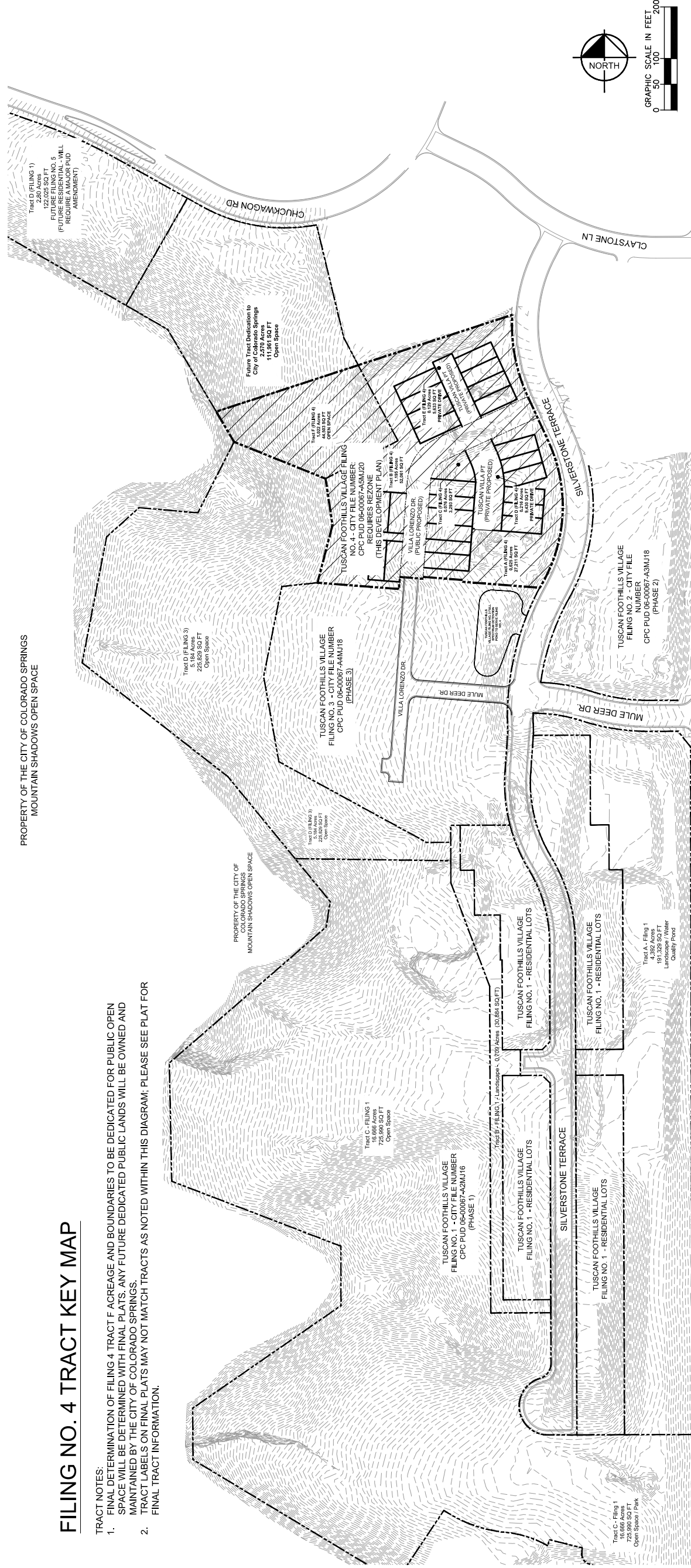
CITY APPROVAL:



TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

FILING NO. 4 TRACT KEY MAP

- TRACT NOTES:
1. FINAL DETERMINATION OF FILING 4 TRACT F ACREAGE AND BOUNDARIES TO BE DEDICATED FOR PUBLIC OPEN SPACE WILL BE DETERMINED WITH FINAL PLATS. ANY FUTURE DEDICATED PUBLIC LANDS WILL BE OWNED AND MAINTAINED BY THE CITY OF COLORADO SPRINGS.
 2. TRACT LABELS ON FINAL PLATS MAY NOT MATCH TRACTS AS NOTED WITHIN THIS DIAGRAM; PLEASE SEE PLAT FOR FINAL TRACT INFORMATION.



TRACTS BY SUBDIVISION FILINGS

FILING NO. 1		FILING NO. 2		FILING NO. 3		FILING NO. 4	
TRACT	SQUARE FEET	USE DESCRIPTION	OWNERSHIP/ MAINTENANCE	TRACT	SQUARE FEET	USE DESCRIPTION	OWNERSHIP/ MAINTENANCE
A	191,329 SF	OPEN SPACE, LANDSCAPE, WATER QUALITY POND	TFV METRO DISTRICT	A	26,884 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
B	30,884 SF	PRIVATE OPEN SPACE, DRAINAGE, LANDSCAPE	TFV METRO DISTRICT	B	51,830 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
C	725,990 SF	OPEN SPACE (INCL. FUTURE PUBLIC DEDICATION AREA)	CITY OF COLORADO SPRINGS	C	3,297 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
D	122,025 SF	FUTURE DEVELOPMENT (Future PUD Major Amendment for Residential Use with land suitability and geo-hazard report at time of submittal)	TFV METRO DISTRICT	D	9,422 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PRIVATE ROAD, PUBLIC IMPROVEMENTS, PARKING	TFV METRO DISTRICT
FILING NO. 3		CITY PLANNING NUMBER: CPC PUD 06-00067-A4MJ18		E	5,630 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PRIVATE ROAD, PUBLIC IMPROVEMENTS, PARKING	TFV METRO DISTRICT
TRACT	SQUARE FEET	USE DESCRIPTION	OWNERSHIP/ MAINTENANCE	F	44,452 SF	OPEN SPACE DEDICATION & ANY OTHER PUBLIC USES THE CITY OF COLORADO SPRINGS DEEMS APPROPRIATE	CITY OF COLORADO SPRINGS
A	90,063 SF	OPEN SPACE, LANDSCAPE, DRAINAGE	TFV METRO DISTRICT				
B	24,061 SF	OPEN SPACE, LANDSCAPE, WATER QUALITY POND	TFV METRO DISTRICT				
C	3,841 SF	OPEN SPACE, LANDSCAPE, PRIVATE IRRIGATION CONNECTION	TFV METRO DISTRICT				
D	225,829 SF	OPEN SPACE DEDICATION & ANY OTHER PUBLIC USES THE CITY OF COLORADO SPRINGS DEEMS APPROPRIATE	CITY OF COLORADO SPRINGS				

CITY APPROVAL:

FILING NO. 4		CITY PLANNING NUMBER: TBD	
TRACT	SQUARE FEET	USE DESCRIPTION	OWNERSHIP/ MAINTENANCE
A	26,884 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
B	51,830 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
C	3,297 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PUBLIC IMPROVEMENTS	TFV METRO DISTRICT
D	9,422 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PRIVATE ROAD, PUBLIC IMPROVEMENTS, PARKING	TFV METRO DISTRICT
E	5,630 SF	OPEN SPACE, LANDSCAPE, DRAINAGE, PRIVATE ROAD, PUBLIC IMPROVEMENTS, PARKING	TFV METRO DISTRICT
F	44,452 SF	OPEN SPACE DEDICATION & ANY OTHER PUBLIC USES THE CITY OF COLORADO SPRINGS DEEMS APPROPRIATE	CITY OF COLORADO SPRINGS

Filing No. 1 LEGAL DESCRIPTION - TUSCAN FOOTHILLS VILLAGE FILING NO. 1 (SINGLE-FAMILY ATTACHED RESIDENTIAL):

A TRACT OF LAND BEING PORTIONS OF THE SOUTHWEST QUARTER OF SECTION 14, THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 15, AND THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 13 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE PLAT OF MOUNTAIN SHADOWS COMMERCIAL FILING NO. 1, RECORDED IN PLAT BOOK G-5 AT PAGE 149, RECORDS OF EL PASO COUNTY, COLORADO.

COMMENCING AT THE NORTHEASTERLY CORNER OF A TRACT OF LAND DESCRIBED IN LAND SURVEY PLAT AT PAGE 7230, UNDER DEPOSIT NO. 94901117, RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CHUCKWAGON ROAD, AS PLATTED IN MOUNTAIN SHADOWS COMMERCIAL FILING NO. 1, RECORDED IN PLAT BOOK G-5 AT PAGE 149, SAID POINT BEING THE POINT OF BEGINNING; THENCE S70°26'25"E, ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID CHUCKWAGON ROAD, A DISTANCE OF 312.88 FEET TO THE SOUTHEASTERLY CORNER OF CHUCKWAGON ROAD AS PLATTED IN MOUNTAIN SHADOWS FILING NO. 40, AS RECORDED UNDER RECEPTION NO. 99096656; THENCE ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID CHUCKWAGON ROAD THE FOLLOWING THREE (3) COURSES:

- ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 09°41'00", A RADIUS OF 970.00 FEET, A DISTANCE OF 163.94 FEET TO A POINT OF TANGENT;
- S89°45'25"E, A DISTANCE OF 189.71 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 40°02'58", A RADIUS OF 330.00 FEET, A DISTANCE OF 230.67 FEET TO THE WESTERLY BOUNDARY LINE OF NICHOLS OFFICE PARK FILING NO. 3 AS RECORDED UNDER RECEPTION NO. 201032897.

THENCE ON SAID WESTERLY BOUNDARY LINE THE FOLLOWING TWO (2) COURSES:

- S13°24'32"E, A DISTANCE OF 224.81 FEET;
- S27°40'17"E, A DISTANCE OF 60.81 FEET TO THE NORTHWESTERLY CORNER OF THE PLAT OF NICHOLS OFFICE PARK FILING NO. 2, AS RECORDED UNDER RECEPTION NO. 200152783;

THENCE S27°40'17"E ON THE WESTERLY BOUNDARY LINE OF SAID NICHOLS OFFICE PARK FILING NO. 2, A DISTANCE OF 238.68 FEET;

THENCE S27°40'17"E, A DISTANCE OF 150.00 FEET;

THENCE N77°42'27"E, A DISTANCE OF 220.20 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF THE PLAT OF NICHOLS OFFICE PARK FILING NO. 2, AS RECORDED UNDER RECEPTION NO. 2002072034;

THENCE ON SAID BOUNDARY LINE THE FOLLOWING TEN (10) COURSES:

- ON THE ARC OF A CURVE TO THE RIGHT, WHOSE CENTER BEARS N85°35'41"W, HAVING A DELTA OF 24°59'09", A RADIUS OF 300.00 FEET, A DISTANCE OF 130.83 FEET TO A POINT OF REVERSE CURVE;
- THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 32°28'30", A RADIUS OF 530.00 FEET, A DISTANCE OF 300.40 FEET TO A POINT OF TANGENT;
- S03°05'00"E, A DISTANCE OF 27.10 FEET;
- N85°55'00"E, A DISTANCE OF 60.00 FEET;
- ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 3°53'30", A RADIUS OF 470.00 FEET, A DISTANCE OF 31.92 FEET;
- S85°31'55"E, A DISTANCE OF 19.04 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 13°36'36", A RADIUS OF 270.00 FEET, A DISTANCE OF 64.14 FEET TO A POINT OF REVERSE CURVE;
- ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 18°07'11", A RADIUS OF 430.00 FEET, A DISTANCE OF 135.89 TO A POINT OF TANGENT;
- N89°02'30"E, A DISTANCE OF 58.70 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY ACQUISITION LINE OF CENTENNIAL BOULEVARD AS RECORDED UNDER RECEPTION NO. 97108661;

THENCE ON SAID WESTERLY RIGHT-OF-WAY ACQUISITION LINE THE FOLLOWING THREE (3) COURSES:

- S38°24'36"E, A DISTANCE OF 39.47 FEET;
- S00°02'30"E, A DISTANCE OF 227.66 FEET;
- S00°05'23"E, A DISTANCE OF 194.03 FEET TO A POINT ON THE RIGHT-OF-WAY LINE OF PARCEL "A", DESCRIBED IN BOOK 5633 AT PAGE 1064;

THENCE ON THE RIGHT-OF-WAY LINE OF SAID PARCEL "A", THE FOLLOWING TWO (2) COURSES:

- S48°33'45"W, A DISTANCE OF 32.07 FEET;
- S02°57'07"E, A DISTANCE OF 31.76 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY ACQUISITION LINE OF CENTENNIAL BOULEVARD;

THENCE ON SAID WESTERLY RIGHT-OF-WAY ACQUISITION LINE, THE FOLLOWING FIVE (5) COURSES:

- S44°54'37"W, A DISTANCE OF 2.18 FEET;
- S00°05'23"E, A DISTANCE OF 66.00 FEET;
- S36°58'28"E, A DISTANCE OF 40.00 FEET;
- S00°05'23"E, A DISTANCE OF 442.26 FEET;
- S87°57'21"E, A DISTANCE OF 0.93 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID CENTENNIAL BOULEVARD;

THENCE S00°05'15"E, ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID CENTENNIAL BOULEVARD, A DISTANCE OF 655.98 FEET;

THENCE S89°54'37"W, A DISTANCE OF 44.89 FEET TO A POINT OF CURVE;

THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 39°16'00", A RADIUS OF 330.00 FEET, A DISTANCE OF 226.16 FEET TO A POINT OF REVERSE CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 01°50'08", A RADIUS OF 270.00 FEET, A DISTANCE OF 8.65 FEET TO A POINT OF COMPOUND CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 01°01'06", A RADIUS OF 200.00 FEET, A DISTANCE OF 3.55 FEET TO A POINT ON CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT, HAVING A DELTA OF 242.76 FEET TO A POINT ON THE EASTERLY LINE;

THENCE S74°14'11"W, A DISTANCE OF 242.76 FEET TO A POINT ON THE EASTERLY LINE;

THENCE ON THE EASTERLY LINE OF SAID TRACT OF LAND DESCRIBED IN LAND SURVEY PLAT AT PAGE 73230, UNDER DEPOSIT NO. 94901117, THE FOLLOWING SEVENTEEN (17) COURSES:

- N58°58'40"W, A DISTANCE OF 458.55 FEET;
- N00°03'53"W, A DISTANCE OF 100.00 FEET;
- N59°18'55"E, A DISTANCE OF 350.00 FEET;
- N00°03'53"W, A DISTANCE OF 135.00 FEET;
- N01°00'00"W, A DISTANCE OF 228.55 FEET;
- N49°05'21"E, A DISTANCE OF 402.82 FEET;
- N09°01'30"E, A DISTANCE OF 50.00 FEET;
- N39°16'54"W, A DISTANCE OF 314.42 FEET;
- N11°01'30"E, A DISTANCE OF 360.00 FEET;
- N48°01'30"E, A DISTANCE OF 65.00 FEET;
- S95°30'00"E, A DISTANCE OF 155.00 FEET;
- N27°30'00"E, A DISTANCE OF 155.00 FEET;
- N50°58'30"W, A DISTANCE OF 250.00 FEET;
- N59°58'30"W, A DISTANCE OF 666.92 FEET;
- N13°28'30"W, A DISTANCE OF 226.81 FEET TO THE POINT OF BEGINNING;

CONTAINING A CALCULATED AREA OF 47,050 ACRES.

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

Filing No. 3 LEGAL DESCRIPTION - TUSCAN FOOTHILLS VILLAGE FILING NO. 2 (MULTIFAMILY RESIDENTIAL/APARTMENT DEVELOPMENT):

A portion of the Southwest Quarter of Section 14, Township 13 South, Range 67 West of the 6th P.M., being a portion of that parcel of land as described in Deed of Trust recorded November 9, 2016 as Reception No. 216193267 in the Official Public Records of El Paso County, Colorado, being more particularly described as follows:

Commencing at a found No. 5 rebar, being a point on the Southeastery line of Parcel "C" of said Special Warranty Deed recorded under Reception No. 216101528; thence S12°15'12"E, (Bearings are based on a line monumented at the North end with a found No. 5 rebar, being a point on the Southeastery line of Parcel "C" of said Special Warranty Deed recorded under Reception No. 216101528, and on the South end with a found No. 5 rebar with a 1-1/2" aluminum cap, JR Engineering Ltd, PLS 17502, flush with grade, being the Northerly most point of Lot 1, of Mountain Shadows, Filing No. 42, measured to bear S00°51'22"E at a distance of 1366.92 feet), a distance of 142.72 feet to a point on the South line of Section 14, more or less, said point also being on the North line of Tuscan Foothills Filing No. 1, Reception No. 218714286, and the POINT OF BEGINNING; thence continuing along said North line, N88°13'13"W, a distance of 302.15 feet, to the East line of Mountain Shadows Open Space, Reception No. 24083966; thence leaving said North line, along said East line, the following six (6) courses:

- N89°20'38"W, a distance of 205.87 feet;
- S88°37'22"E, a distance of 161.23 feet;
- N10°59'46"E, a distance of 248.05 feet;
- N48°02'27"E, a distance of 84.74 feet;
- S84°58'47"E, a distance of 114.45 feet;
- N27°04'21"E, a distance of 154.55 feet;

thence leaving said East line the following ten (10) courses:

- S68°03'02"E, a distance of 61.23 feet;
- S88°37'22"E, a distance of 177.64 feet;
- S14°31'02"W, a distance of 115.59 feet;
- S85°36'45"E, a distance of 158.51 feet;
- N04°24'58"E, a distance of 23.48 feet;
- S85°35'02"E, a distance of 45.00 feet;
- N04°24'58"E, a distance of 3.68 feet;
- S85°35'02"E, a distance of 76.20 feet;
- S04°24'58"W, a distance of 3.50 feet;
- N85°32'50"E, a distance of 130.78 feet;

to a point on the West right-of-way line of Silverstone Terrace, Reception No. 99098858; thence along said West right-of-way line, along a non-tangent curve to the left, with an arc length of 269.11 feet, a radius of 534.80 feet, a delta angle of 26°41'19", a radial bearing of S62°00'16"E, to a point on the North line of Tuscan Foothills Village, Filing No. 1; thence along said North line the following five (5) courses:

- along a curve to the left, with an arc length of 39.77 feet, a radius of 530.08 feet, a delta angle of 04°17'53", a radial bearing of S88°49'27"E;
- S03°59'27"W, a distance of 77.64 feet;
- S88°50'27"W, a distance of 103.38 feet, a radius of 325.00 feet, a delta angle of 18°34'42";
- S87°50'27"W, a distance of 115.05 feet;
- S00°09'33"E, a distance of 66.80 feet;

to the POINT OF BEGINNING.

Containing a calculated area of 432,207 Sq. Ft. or 9.922 acres, more or less.

Filing No. 4 LEGAL DESCRIPTION - TUSCAN FOOTHILLS VILLAGE FILING NO. 4 (MULTIFAMILY RESIDENTIAL DEVELOPMENT):

PARCEL A:

ALL OF LOT 1, NICHOLS OFFICE PARK FILING NO. 2, RECORDED DECEMBER 20, 2000 UNDER RECEPTION NO. 200152783

TOGETHER WITH

A PORTION OF PARCEL C, DESCRIBED IN THAT DEED OF TRUST RECORDED UNDER RECEPTION NO. 216193267, NOVEMBER 9, 2016 IN THE OFFICIAL RECORDS OF EL PASO COUNTY, COLORADO.

PARCEL B:

THE PARCEL DESCRIBED IN THAT WARRANTY DEED RECORDED UNDER RECEPTION NO. 218139689, DECEMBER 4, 2018 IN THE OFFICIAL RECORDS OF EL PASO COUNTY, COLORADO.

ALL BEING A PORTION OF THE SW1/4 OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, BEING FURTHER SURVEYED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1, NICHOLS OFFICE PARK FILING NO. 2, RECORDED DECEMBER 20, 2000 UNDER RECEPTION NO. 200152783; THENCE N71°51'24"E, ALONG THE NORTH LINE OF SAID LOT 1, (BEARINGS ARE RELATIVE TO THE NORTHWEST LINE OF THE LOT 1, NICHOLS OFFICE PARK FILING NO. 2, RECORDED DECEMBER 20, 2000 UNDER RECEPTION NO. 200152783, BEING MONUMENTED AT THE SOUTHWEST END BY A FOUND 1 1/2" ALUMINUM CAP, STAMPED 17502, FLUSH WITH GRADE, AND AT THE NORTHEAST END BY SET NO. 5 REBAR WITH A 1 1/4" GREEN PLASTIC CAP, STAMPED "PLS 38245", FLUSH WITH GRADE HAVING A CALCULATED BEARING AND DISTANCE OF N71°51'24"E, 313.95 FEET), A DISTANCE OF 313.95 FEET TO THE NORTHEAST CORNER OF SAID LOT, ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF SILVERSTONE TERRACE; THENCE ALONG SAID RIGHT-OF-WAY LINE, THE FOLLOWING FOUR (4) COURSES:

- ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, WHOSE CENTER BEARS S86°37'12"E, HAVING A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 28°07'42", A DISTANCE OF 162.01 FEET;
- S24°44'54"E, A DISTANCE OF 98.23 FEET;
- ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, WHOSE CENTER BEARS S65°17'49"W, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 54°03'45", A DISTANCE OF 283.07 FEET;
- ALONG A REVERSE CURVE TO THE LEFT, WHOSE CENTER BEARS S60°48'09"E, HAVING A RADIUS OF 534.81 FEET, A CENTRAL ANGLE OF 01°12'07". A DISTANCE OF 11.22 FEET;

THENCE LEAVING SAID RIGHT-OF-WAY LINE, ALONG THE FOLLOWING TEN (10) COURSES:

- N85°32'48"W, A DISTANCE OF 150.78 FEET;
- N04°24'58"E, A DISTANCE OF 3.68 FEET;
- N85°35'02"W, A DISTANCE OF 76.20 FEET;
- S04°24'58"W, A DISTANCE OF 3.68 FEET;
- N85°35'02"W, A DISTANCE OF 45.00 FEET;
- S04°24'58"W, A DISTANCE OF 23.48 FEET;
- N85°36'45"W, A DISTANCE OF 158.51 FEET;
- N14°31'02"E, A DISTANCE OF 115.59 FEET;
- N08°27'42"W, A DISTANCE OF 90.34 FEET;
- N68°03'32"W, A DISTANCE OF 191.23 FEET, TO A POINT ON THE EAST LINE OF MOUNTAIN SHADOWS OPEN SPACE, RECEPTION NO. 2488366;

THENCE N30°35'05"W, ALONG SAID EAST LINE, A DISTANCE OF 67.87 FEET; THENCE N71°51'24"E, LEAVING SAID EAST LINE, A DISTANCE OF 288.96 FEET, TO THE POINT OF BEGINNING.

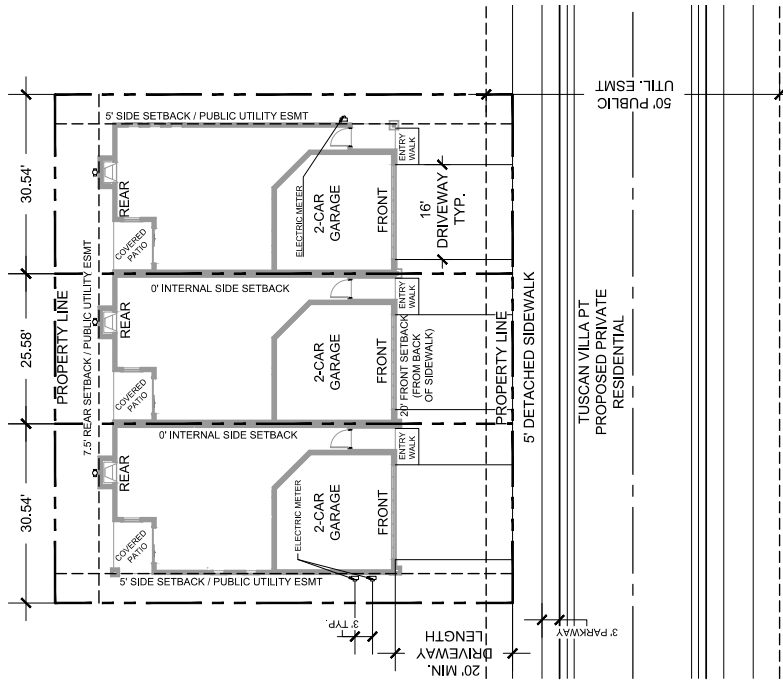
CONTAINING A CALCULATED AREA OF 220,892 SQ. FT. OR 5.070 ACRES, MORE OR LESS.



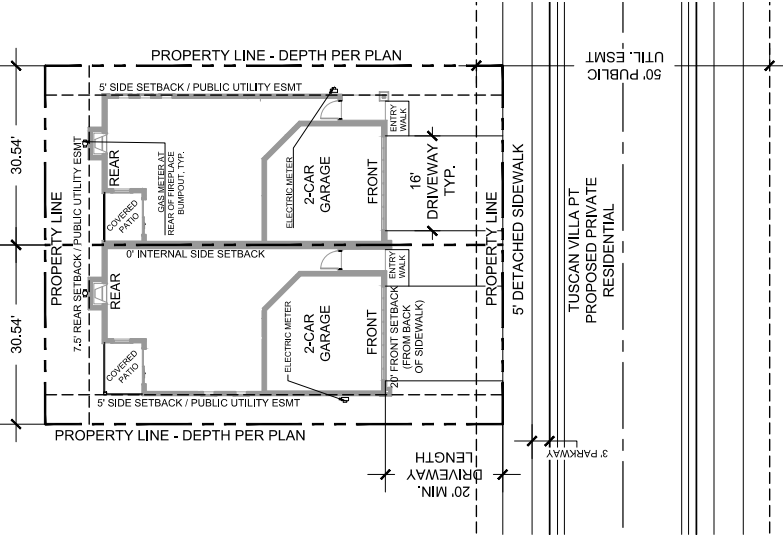
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

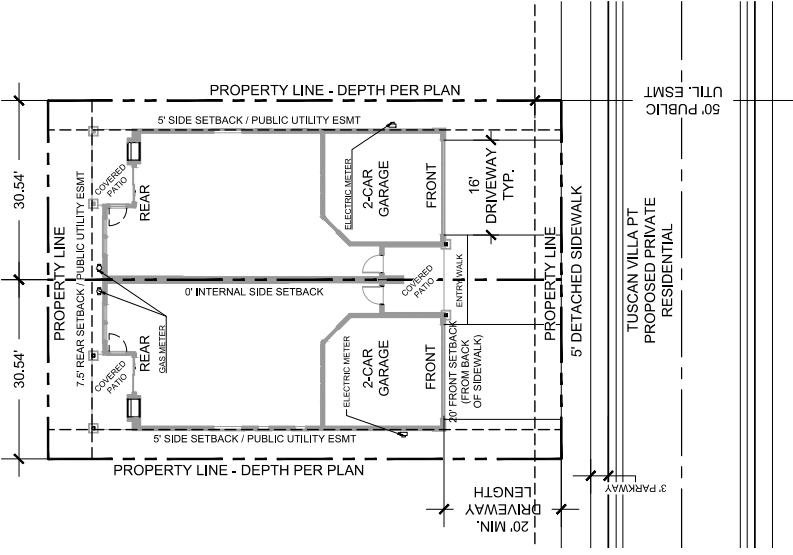
LOT TYPICAL DIAGRAM FOR LOTS 1-6
N.T.S.



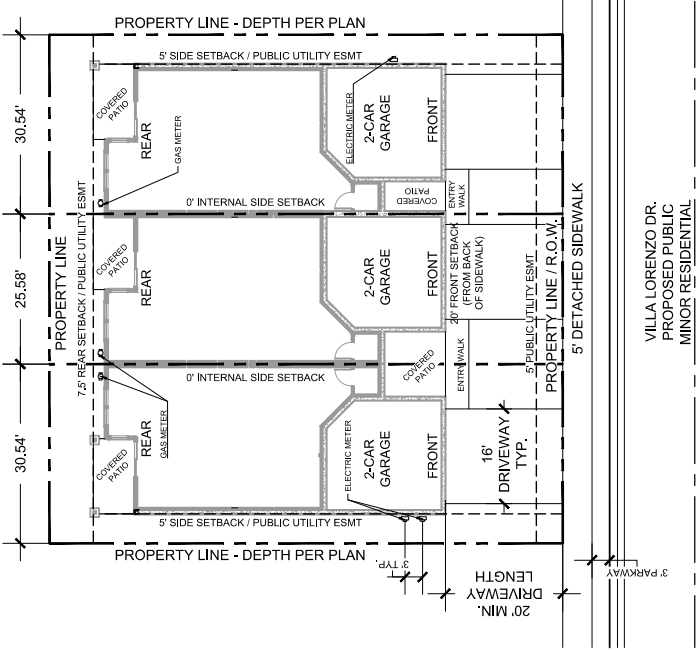
LOT TYPICAL DIAGRAM FOR LOTS 7-10
N.T.S.



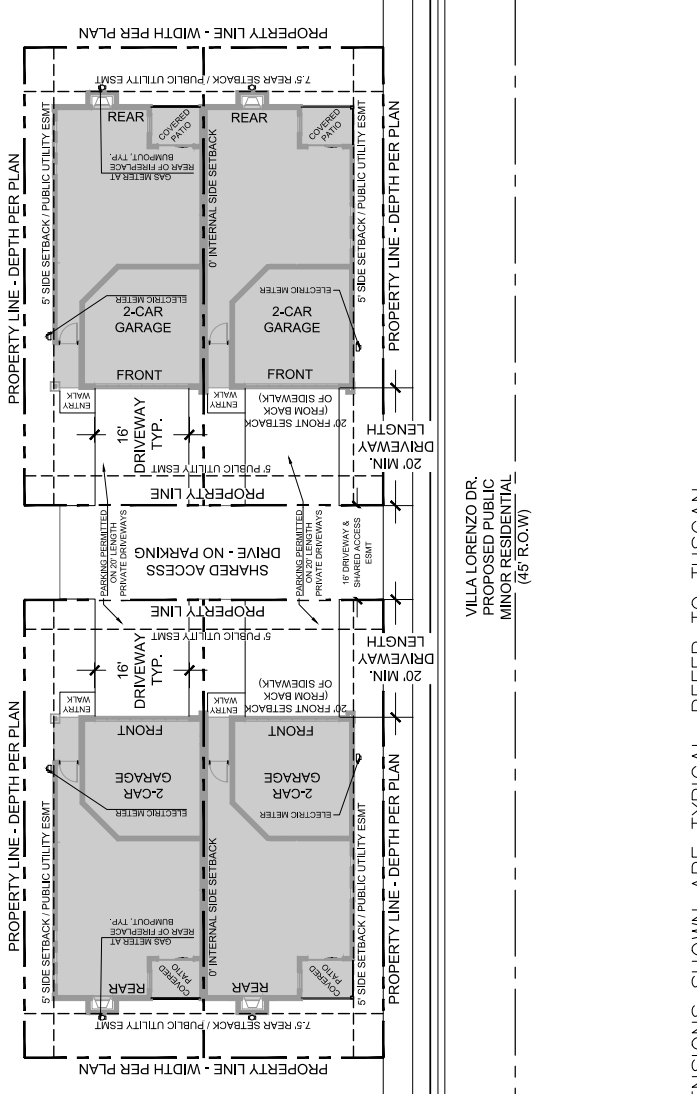
LOT TYPICAL DIAGRAM FOR LOTS 11-14
N.T.S.



LOT TYPICAL DIAGRAM FOR LOTS 15-20
N.T.S.

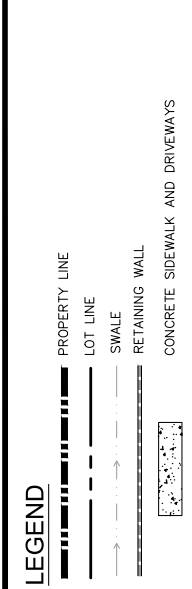
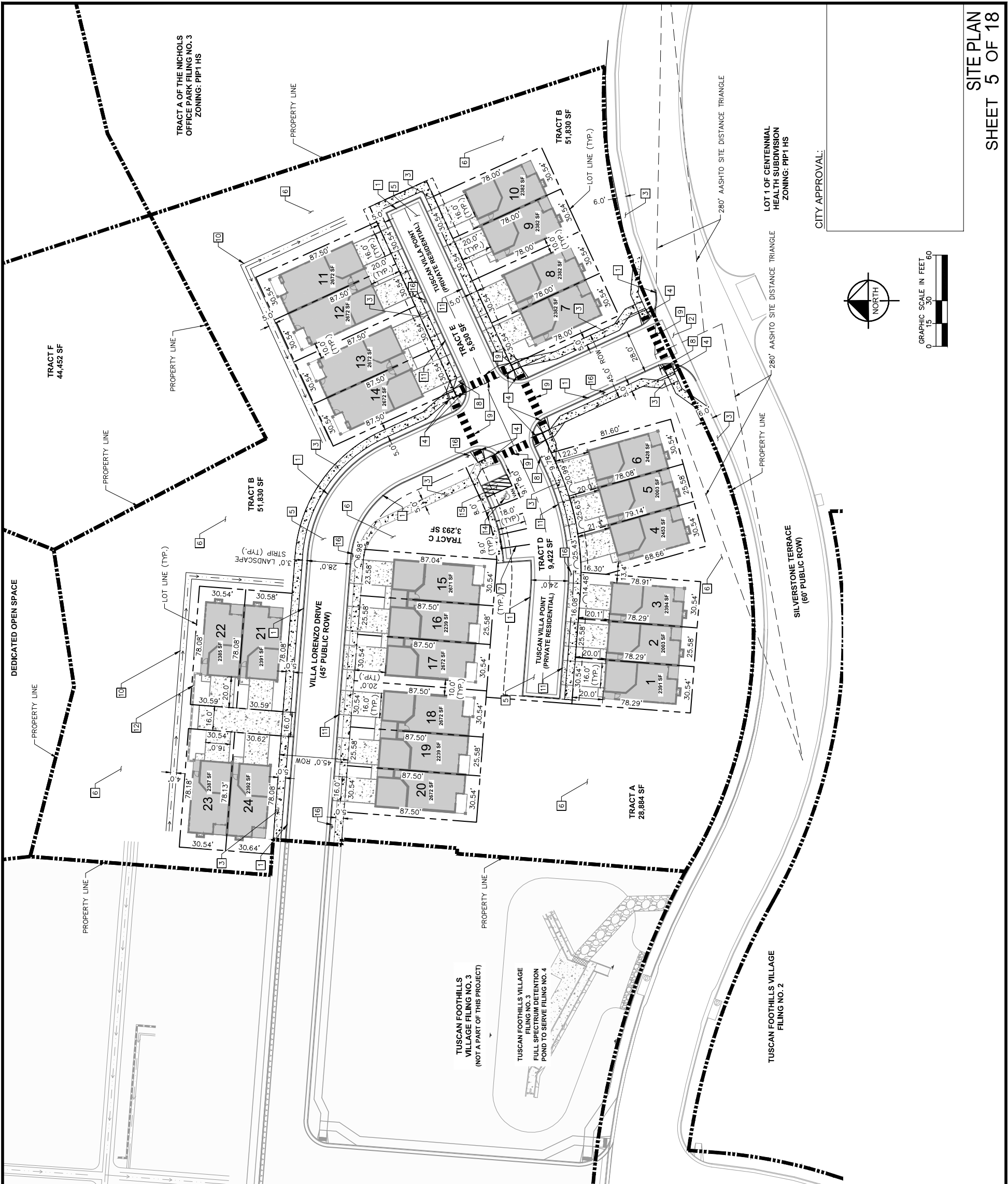


LOT TYPICAL DIAGRAM FOR LOTS 21-24
N.T.S.



CITY APPROVAL:

DIMENSIONS SHOWN ARE TYPICAL, REFER TO TUSCAN FOOTHILLS VILLAGE FILING NO. 4 REPLAT FOR ROW, LOT, TRACT AND EASEMENT BOUNDARIES



- KEY NOTES**
1. PROPOSED TYPE 1 CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING D-6
 2. PROPOSED CROSS PAN PER COS STD DTL D7 ON SHEET 8
 3. PROPOSED CONCRETE SIDEWALK PER COLORADO SPRINGS STANDARD DRAWING D-2 (DIMENSION PER PLAN)
 4. PROPOSED PEDESTRIAN RAMP PER COLORADO SPRINGS STANDARD DRAWINGS D-8B
 5. PROPOSED FIRE LANE
 6. PROPOSED LANDSCAPE AREA, REFERENCE LANDSCAPE PLANS
 7. PROPOSED 4" WIDE PARKING STRIPE
 8. PROPOSED STOP SIGN, SEE DETAIL ON SHEET 8
 9. PROPOSED CROSSWALK, SEE DETAIL ON SHEET 8
 10. PROPOSED VEGETATED SWALE (WIDTH PER PLAN)
 11. PROPOSED TYPE 5 MOUNTABLE CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING D-6
 12. PROPOSED RETAINING WALL, SEE TYPICAL DETAIL AND NOTES ON SHEET 8
 13. PROPOSED PEDESTRIAN RAMP PER COLORADO SPRINGS STANDARD DRAWINGS D-8B
 14. PROPOSED ADA SIGN
 15. PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
 16. PROPOSED FIRE LANE NO PARKING SIGN

- GENERAL NOTES**
1. ON STREET PARKING IS PROHIBITED ON TUSCAN VILLA POINT AND ON THE SHARED ACCESS DRIVES FOR LOTS 21-24.
 2. THE HOMEOWNER'S ASSOCIATION IS RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF TUSCAN VILLA POINT.
 3. PARKING IS PROHIBITED IN THE SHARED ACCESS EASEMENT ADJACENT TO LOTS 21-24. PARKING IS PERMITTED ON PRIVATE DRIVEWAYS WITH A MINIMUM LENGTH OF 20' AS MEASURED FROM THE ACCESS DRIVE AND/OR BACK OF SIDEWALK TO THE FACE OF THE GARAGE.

DEVELOPMENT PLAN

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TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

LEGEND

- PROPERTY LINE
- LOT LINE
- ROW LINE
- EXISTING WATER LINE AND VALVE
- PROPOSED WATER LINE AND VALVE
- EXISTING SANITARY SEWER LINE AND MANHOLE
- PROPOSED SANITARY SEWER LINE AND MANHOLE
- PROPOSED STORM LINE
- PROPOSED GAS LINE
- EXISTING GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED INLET
- PROPOSED FIRE HYDRANT
- PROPOSED STORM MANHOLE
- PROPOSED RETAINING WALL
- PROPOSED SWALE

PRELIMINARY UTILITY NOTES

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
 - COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) (OWNER) ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN (PROPERTY) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES AND THE PROPERTY). OWNER MAY BE LIABLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS. THEREFORE SUPPLIERS OR CONTRACTORS OF UTILITY SERVICES OR FACILITIES MUST BE IDENTIFIED AND APPROVED BY SPRINGS UTILITIES AND SPRINGS UTILITIES HAS NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITY WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM, WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NECS) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THE WATER OR GAS SERVICE LINES ARE LOCATED WITHIN THE UTILITY EASEMENT, THE STANDARDS OR THE CITY CODE THEN IN EFFECT SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE RATES AND POLICIES OF SPRINGS UTILITIES.

ADDITIONAL NOTES

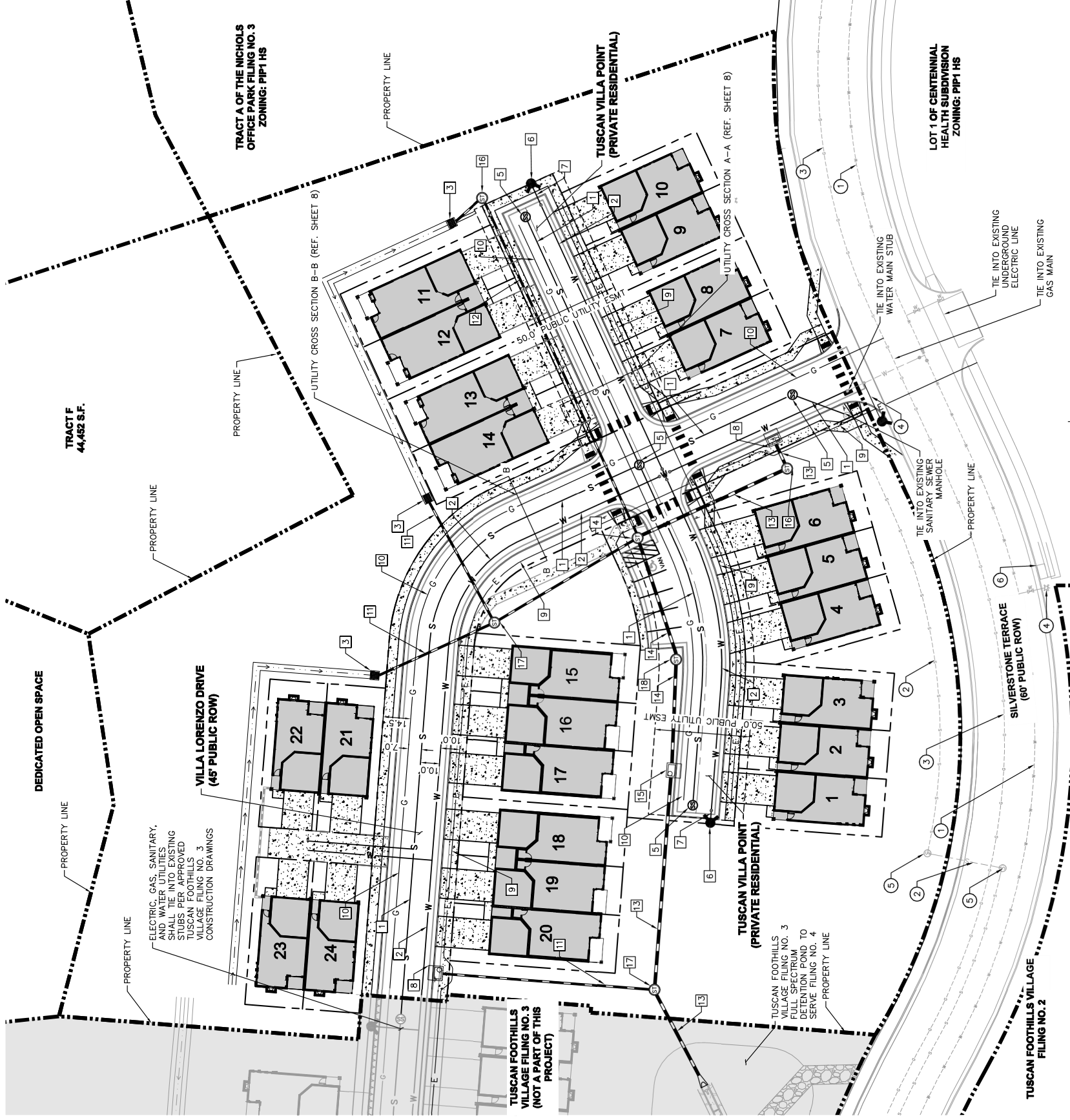
- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
- DETENTION FOR THE SITE PROVIDED BY EXISTING REGIONAL POND LOCATED ON TUSCAN FOOTHILLS VILLAGE FILING NO. 3 PROPERTY.
- UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
- CONNECTIONS TO SPRINGS UTILITIES MAINS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.

PROPOSED UTILITIES KEYNOTE LEGEND

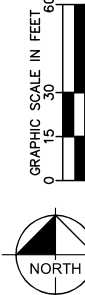
- PROPOSED PUBLIC 8" PVC SANITARY SEWER MAIN
- PROPOSED PUBLIC 8" DIP WATER MAIN
- PROPOSED PRIVATE TYPE C INLET
- PROPOSED PUBLIC 6" DIAMETER STORM MANHOLE
- PROPOSED PUBLIC SANITARY SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED PUBLIC 6" DIP HYDRANT LATERAL
- PROPOSED PRIVATE 5' TYPE R CURB INLET
- PROPOSED PUBLIC ELECTRIC LINE
- PROPOSED PUBLIC GAS LINE
- PROPOSED PRIVATE 12" RCP STORM SEWER
- PROPOSED PUBLIC 12" RCP STORM SEWER
- PROPOSED PRIVATE 18" RCP STORM SEWER
- PROPOSED PUBLIC 18" RCP STORM SEWER
- PROPOSED PUBLIC 5' TYPE R CURB INLET
- PROPOSED PRIVATE 5' DIAMETER STORM MANHOLE
- PROPOSED PUBLIC 6" DIAMETER STORM MANHOLE
- PROPOSED PUBLIC 5' DIAMETER STORM MANHOLE

EXISTING UTILITIES KEYNOTE LEGEND

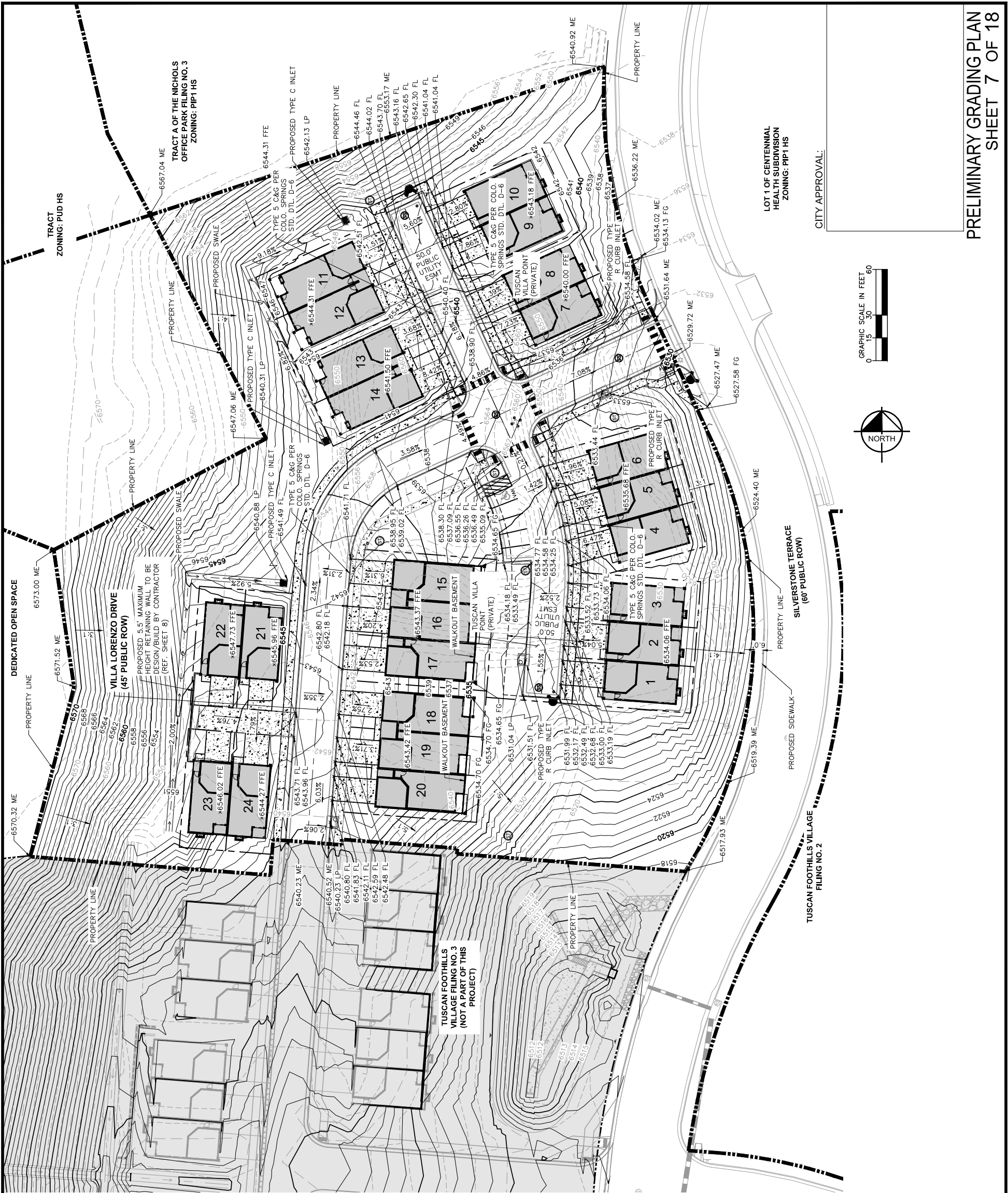
- EXISTING PUBLIC WATER MAIN
- EXISTING PUBLIC SANITARY MAIN
- EXISTING PUBLIC GAS LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING ELECTRIC VAULT



CITY APPROVAL:



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LEGEND

---	PROPERTY LINE
---	LOT LINE
---	PROPOSED SWALE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR
FL	FLOW LINE
FG	FINISHED GRADE
LP	LOW POINT
FFE	FINISHED FLOOR ELEVATION
ME	MATCH EXISTING

TUSCAN FOOTHILLS VILLAGE FILING NO. 3 (NOT A PART OF THIS PROJECT)

- NOTES:**
- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY OF COLORADO SPRINGS STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS.
 - ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, CURB RAMPS, STAIRS AND PARKING MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
 - BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES.
 - ALL ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
 - RESERVING SPACES AND ACCESS AISLES SHALL NOT EXCEED 8% SLOPE IN ANY DIRECTION.
 - ALL ADA SIDEWALKS SHALL HAVE CROSS SLOPES 1.8% OR LESS AND LONGITUDINAL SLOPES 4.8% OR LESS.
 - CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD PRIOR TO PLACING PAVEMENT IF SLOPES ARE EXCEEDED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

CITY APPROVAL:

LOT 1 OF CENTENNIAL HEALTH SUBDIVISION ZONING: PIP1 HS

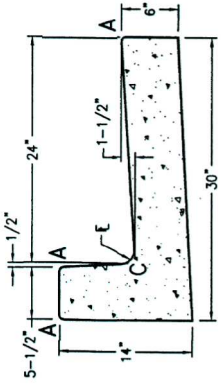
TRACT ZONING: PUD HS

TRACT A OF THE NICHOLS OFFICE PARK FILING NO. 3 ZONING: PIP1 HS

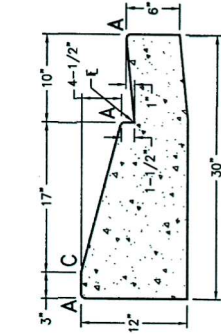
GRAPHIC SCALE IN FEET: 0 15 30 60

NORTH

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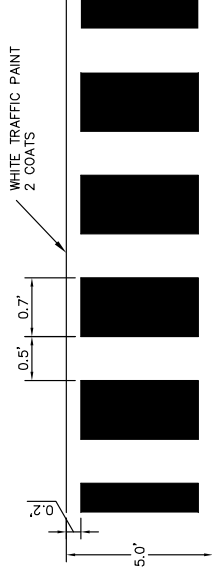
TYPE 1
VERTICAL
CURB AND GUTTER
SCALE: 1" = 1'-0"



TYPE 5
MODIFIED TYPE 2
CURB AND GUTTER
SCALE: 1" = 1'-0"

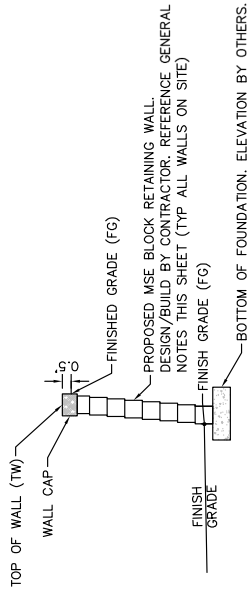


30"x30"
MINIMUM SIZE
BACKGROUND (DIAMOND GRADE) OR EQUIVALENT
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT
1172 C (3M-RED EC FILM) OR EQUIVALENT
MUTCD R1-1 STOP SIGN DETAIL
NOT TO SCALE



TYPICAL CROSSWALK DETAIL
NOT TO SCALE

**DETAIL D-6 - TYPE 1 & 5
CURB AND GUTTER**

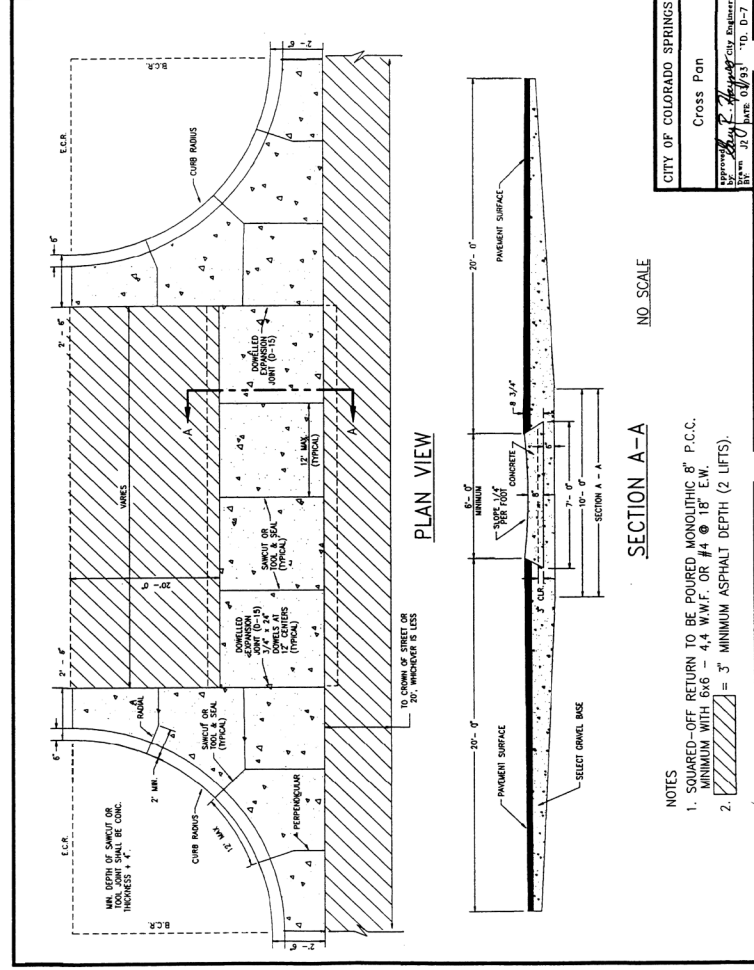


TYPICAL CROSS SECTION/BLOCK WALL DETAILS

N.T.S.
NOTE: CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED SITE MSE BLOCK WALL TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION

BLOCK WALL GENERAL NOTES

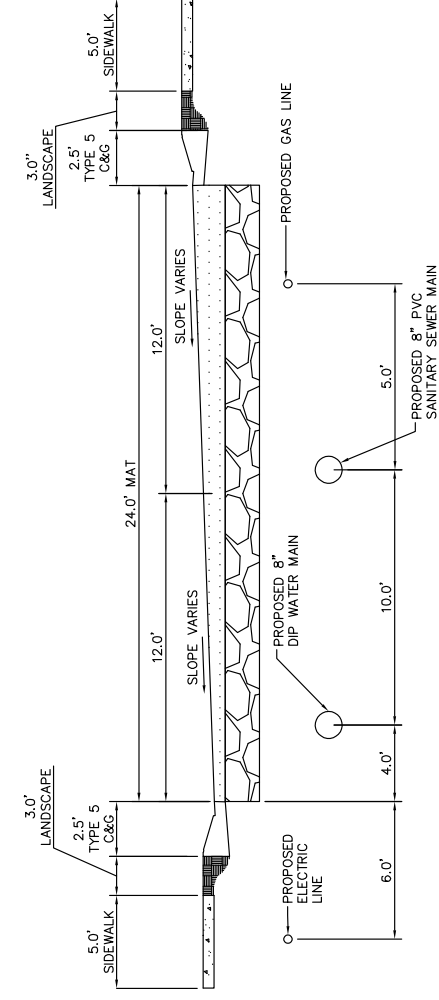
1. WALL BACKFILL MATERIAL, PLACEMENT AND COMPACTION SHOULD COMPLY IN FULL WITH THE PROJECT SPECIFICATIONS. COMPACTION OF EACH LIFT ADJACENT TO WALLS SHALL BE ACCOMPLISHED WITH HAND OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. POTENTIAL MATERIALS IS PROHIBITED. USE LOW EXPANSION MATERIALS.
2. WALLS ARE TO BE SUITABLY BRACED DURING BACKFILLING TO PREVENT DAMAGE AND EXCESSIVE DEFLECTION. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AGAINST HEAVY CONSTRUCTION EQUIPMENT IN THE VICINITY OF RETAINING WALLS.
3. SEE PROJECT PLANS FOR WALL LAYOUT AND FINISHED GRADE ELEVATIONS.
4. WALLS TO BE PLACED ON MATERIAL PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
5. ALL WORK (MASONRY, CONCRETE, STEEL) AND MATERIALS TO CONFORM IN FULL WITH PROJECT SPECIFICATIONS.
6. SITE MSE BLOCK WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR. WALLS SHALL BE COLORED TO MATCH THE NATURAL COLORS OF THE SURROUNDING TERRAIN. WALL DESIGN SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND ARCHITECT OF RECORD BY CONTRACTOR FOR REVIEW AND APPROVAL. CONTRACTOR SHALL BE STRUCTURALLY DESIGNED AND ENGINEERED AND REQUIRE REVIEW AND APPROVAL FROM Pikes Peak Regional Building Department. CONTRACTOR IS RESPONSIBLE FOR PROCURING ENGINEERED WALL PLANS AND SUBMITTING THEM TO THE BUILDING DEPARTMENT TO OBTAIN A WALL BUILDING PERMIT PRIOR TO CONSTRUCTION OF THE WALLS.



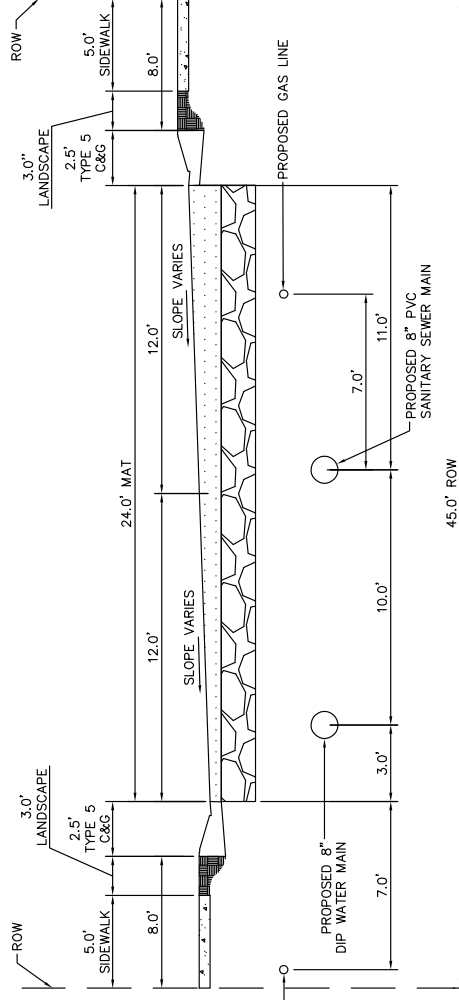
SECTION A-A
NO SCALE

- NOTES
1. SQUARED-OFF RETURN TO BE POURED MONOLITHIC 8" P.C.C. MINIMUM WITH 5x6 - 4.4 W.W.F. OR #4 @ 18" E.W.
 2. MINIMUM ASPHALT DEPTH (2 LIFTS)

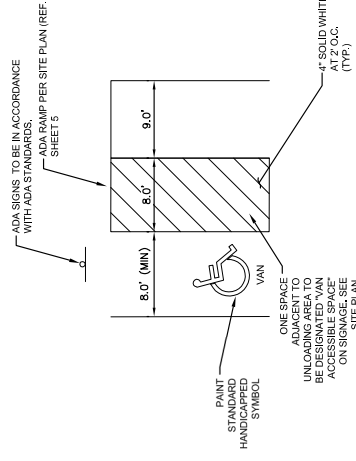
DETAIL D-7 - CROSS PAN



SECTION A-A
TUSCAN VILLA POINT UTILITY CROSS SECTION (VIEWING SOUTH)
(N.T.S)



SECTION B-B
VILLA LORENZO DRIVE UTILITY CROSS SECTION (VIEWING WEST)
(N.T.S)



- NOTES
1. DIMENSIONS MAY VARY REFER TO SITE PLAN (SHEET 5).
 2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

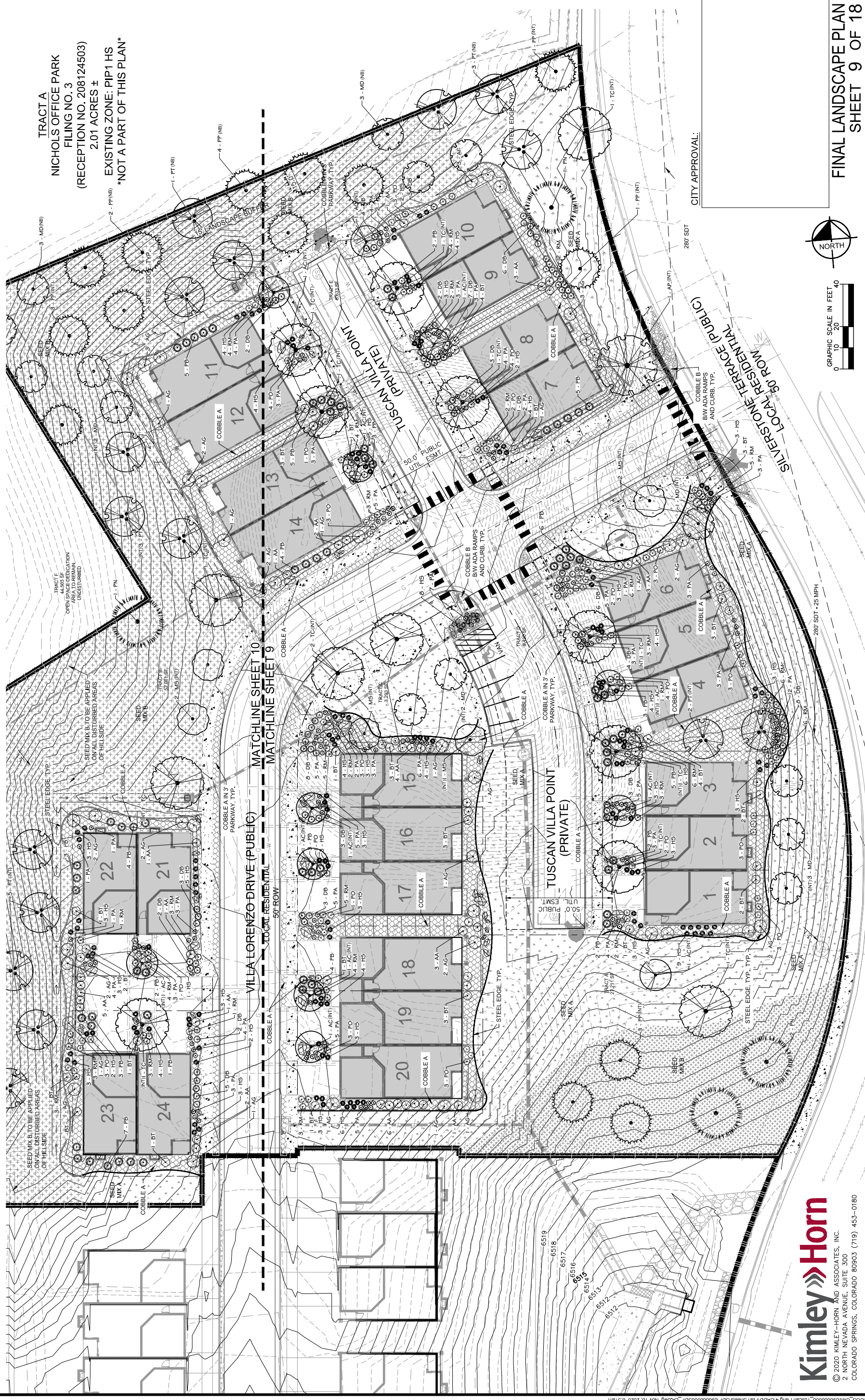
ACCESSIBLE PARKING DETAIL

(N.T.S)

CITY APPROVAL:

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

TRACT A
NICHOLS OFFICE PARK
FILING NO. 3
(RECEPTION NO. 208124503)
2.01 ACRES ±
EXISTING ZONE: PIP1 HS
NOT A PART OF THIS PLAN

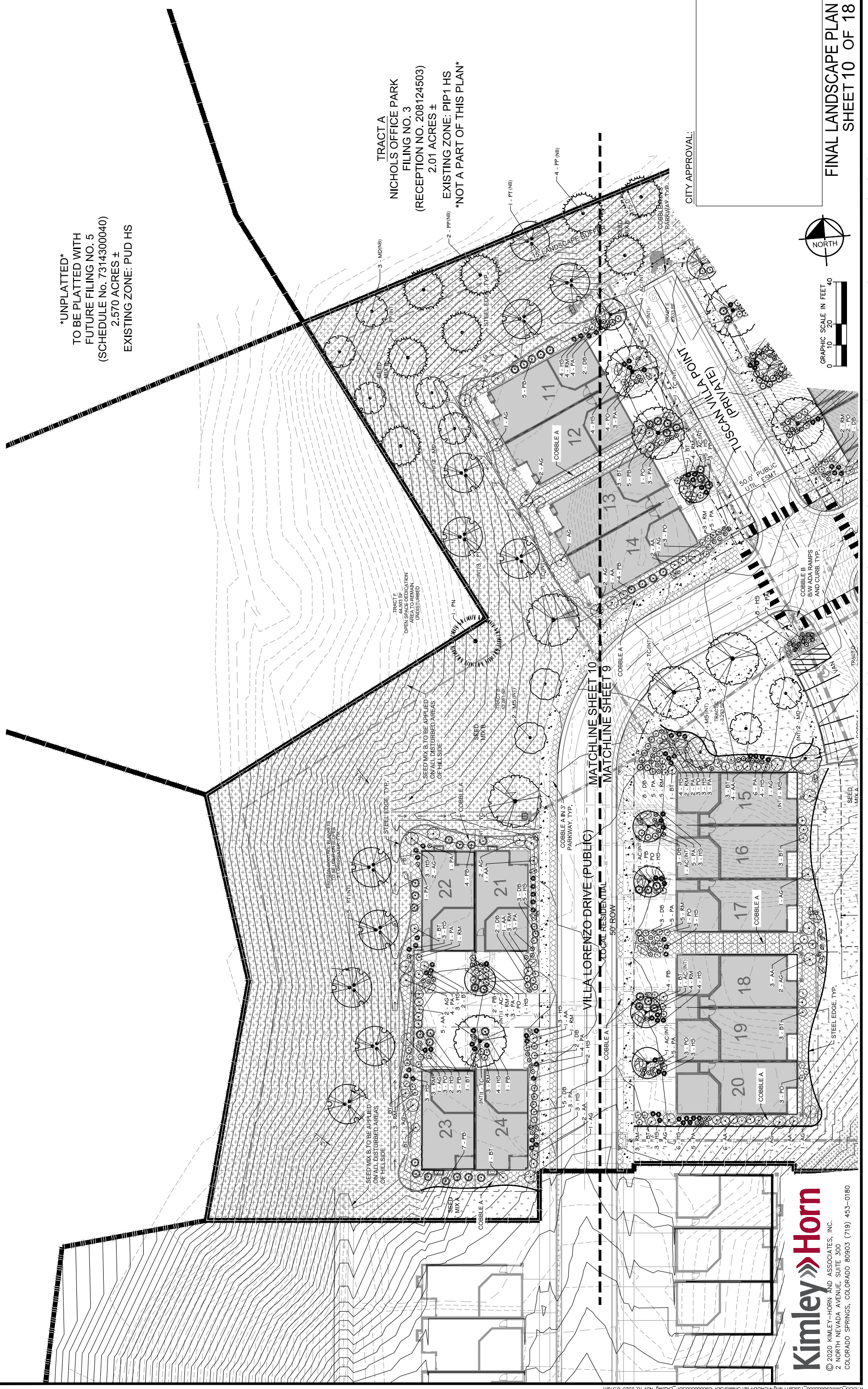


Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

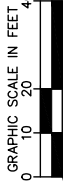
TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

UNPLATTED
TO BE PLATTED WITH
FUTURE FILING NO. 5
(SCHEDULE No. 7314300040)
2.570 ACRES ±
EXISTING ZONE: PUD HS

TRACT A
NICHOLS OFFICE PARK
FILING NO. 3
(RECEPTION NO. 208124503)
2.01 ACRES ±
EXISTING ZONE: PIP1 HS
NOT A PART OF THIS PLAN



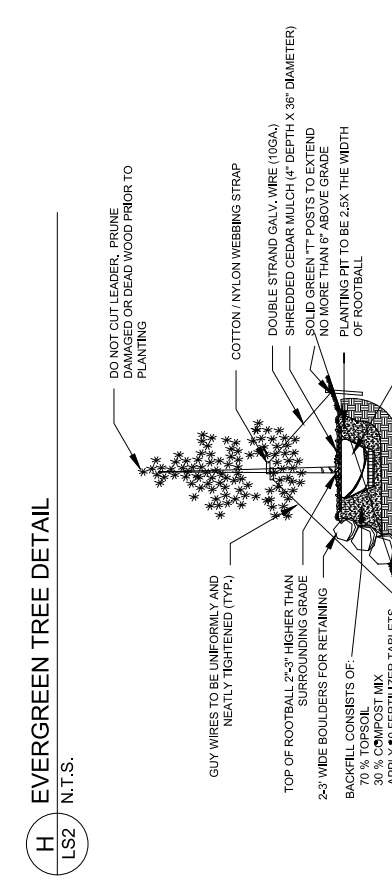
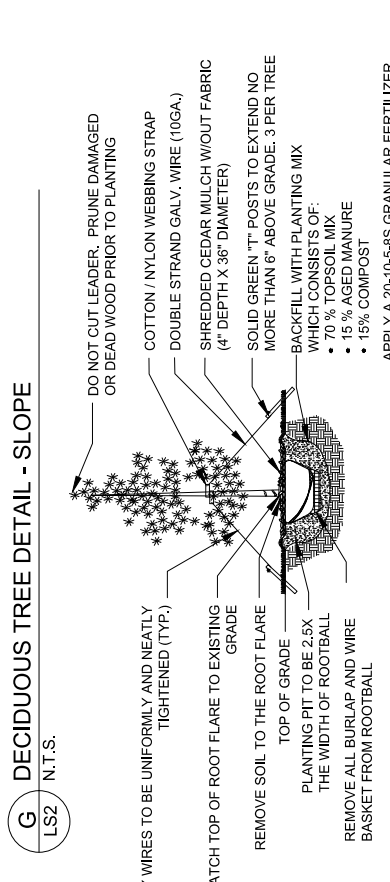
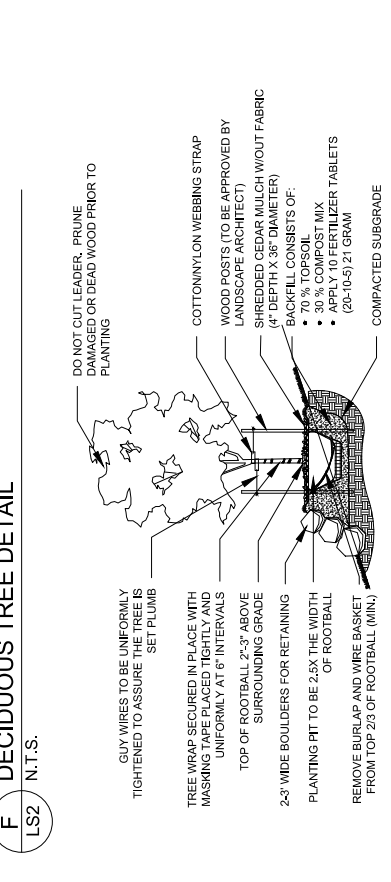
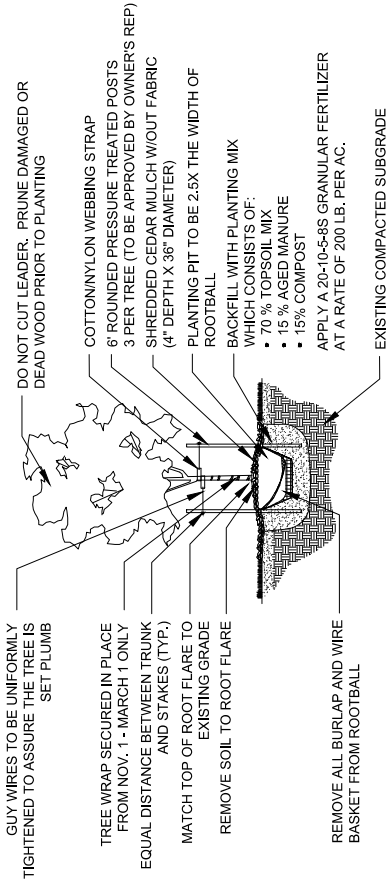
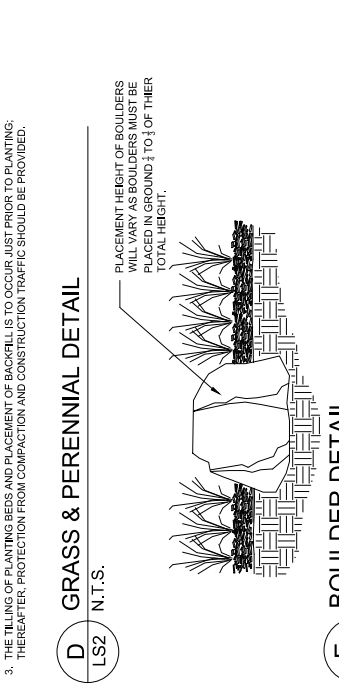
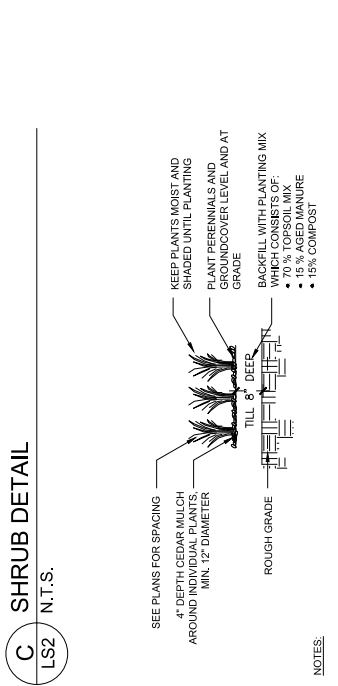
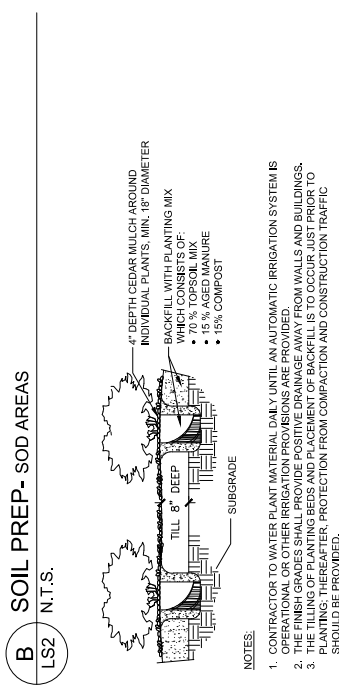
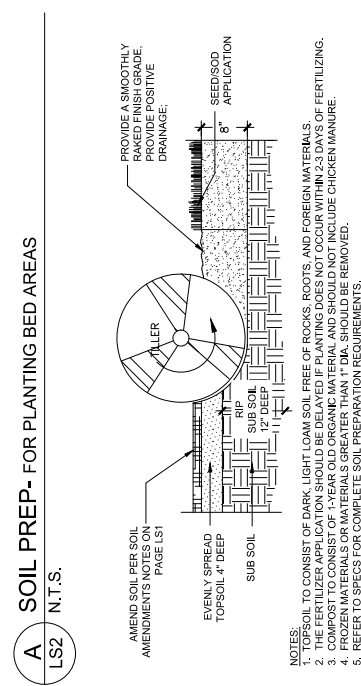
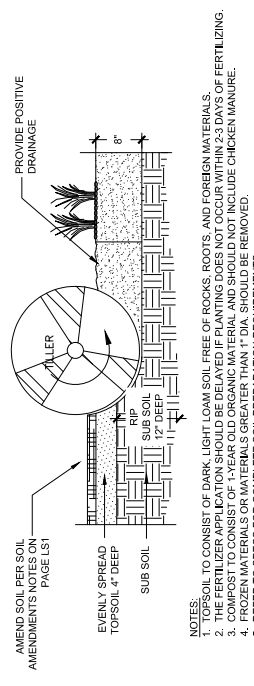
CITY APPROVAL:



FINAL LANDSCAPE PLAN
SHEET 10 OF 18

Kimley»Horn
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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN



PLANT SCHEDULE

DECEIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	AC	12	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY MULTITRUNK	B & B	2.5" CAL MIN	15'-20'	15'-25'
	AP	1	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE	B & B	2.5" CAL MIN	30'-40'	40'-50'
	MD	14	MALUS X 'DOLGO'	DOUGO CRABAPPLE	B & B	2.5" CAL MIN	15'-20'	20'-30'
	MS	6	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	B & B	2.5" CAL MIN	15'-20'	15'-25'
	PT	16	POPULUS TREMULOIDES 'CLUMP FORM'	CLUMP FORM QUAKING ASPEN	B & B	2" CAL OA. 3-STEM MIN	20'-30'	25'-40'
	TC	14	TILIA CORDATA	LITTLELEAF LINDEN	B & B	2.5" CAL MIN	25'-30'	30'-40'
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/CAL	WIDTH	HEIGHT
	PN	4	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
	PP	15	PICEA PUGENS	COLORADO SPRUCE	B & B	6" HGT.	20'-30'	40'-60'
DECEIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	AA	34	AMELANCHIER ALNIFOLIA 'STANDING OVATION'™	STANDING OVATION SERVICEBERRY	5 GAL	SEE PLAN	3'-4'	12'-15'
	AG	41	ACER GINNALA 'BAILEY COMPACT'	BAILEY COMPACT AMUR MAPLE	5 GAL	SEE PLAN	6'-8'	6'-8'
	BT	43	BERBERIS THUNBERGII 'ATROPURPUREA'	RED LEAF JAPANESE BARBERY	5 GAL	SEE PLAN	4'-6'	4'-6'
	DB	75	DAPHNE X BURKWOODI 'CAROL MACKIE'	CAROL MACKIE DAPHNE	5 GAL	SEE PLAN	3'-5'	3'-5'
	PA	137	PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	2'-3'	2'-3'
	PB	89	FRUNUS BESSEYI 'PAWNEE BUTTES'	CREeping WESTERN SAND CHERRY	5 GAL	SEE PLAN	4'-6'	1'-3'
	PO	52	PHYSOCARPUS OXIFOLIUS 'LITTLE DEVIL'™	DWARF NINEBARK	5 GAL	SEE PLAN	3'-4'	3'-4'
	RM	106	ROSA X 'MORDEN SUNRISE'	MORDEN SUNRISE SHRUB ROSE	5 GAL	SEE PLAN	2'-3'	2'-4'
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	HS	150	HELICTRICHON SEMPERVIRENS	BLUE OAT GRASS	2 GAL	SEE PLAN	3'-4'	3'-4'
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	COBL.A	23,616 SF		3/4" TO 1-1/2" PIONEER GRANITE	COBBLE	4"	YES	PIONEER SAND
	COBL.B	842 SF		2" TO 4" HORIZON COBBLESTONE	COBBLE	4"	YES	PIONEER SAND
	SEED.A	26,898 SF		PBSI LOW GROW MIX	SEED			PAWNEE BUTTES SEED INC.
	SEED.B	51,558 SF		PBSI NATIVE PRARIE MIX	SEED			PAWNEE BUTTES SEED INC.

PERCENT SIGNATURE TREES: 82 (60% MINIMUM REQUIRED)

PERCENT SIGNATURE SHRUBS: 57 (60% MINIMUM REQUIRED)

SIGNATURE TREES: 82 = 100% SIGNATURE TREES
TOTAL NUMBER OF TREES: 12

SIGNATURE SHRUBS: 57 = 100% SIGNATURE SHRUBS
TOTAL NUMBER OF SHRUBS: 57

CITY APPROVAL:

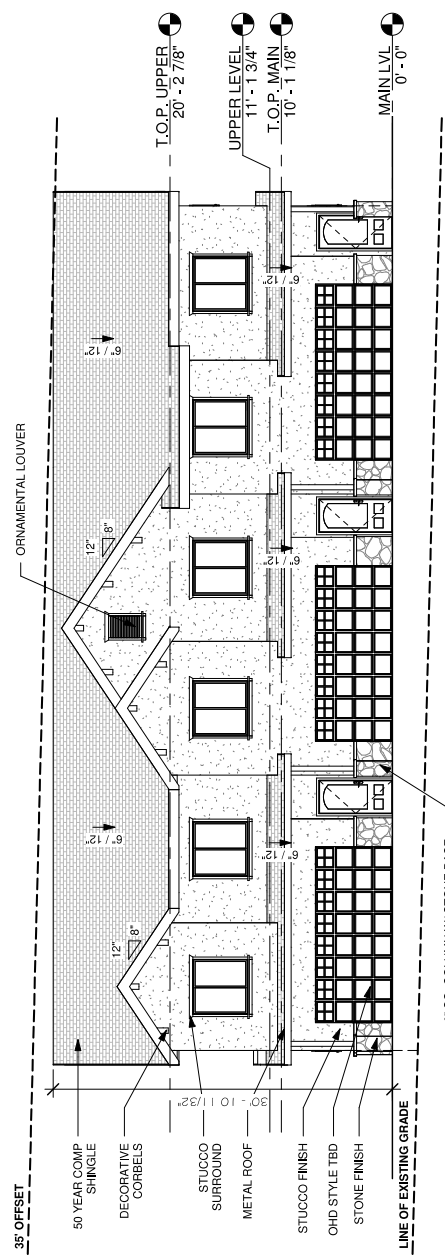
REVISIONS:	BY:

PROJECT #	Project Number
DATE	7/6/2020
DRAWN BY:	MITEK
DESIGNED BY:	CDGPRS

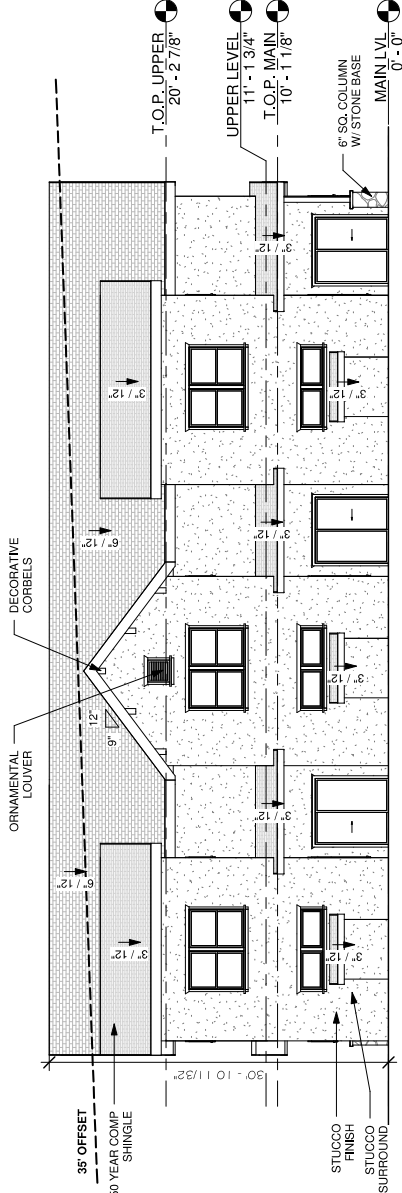
SHEET NO.

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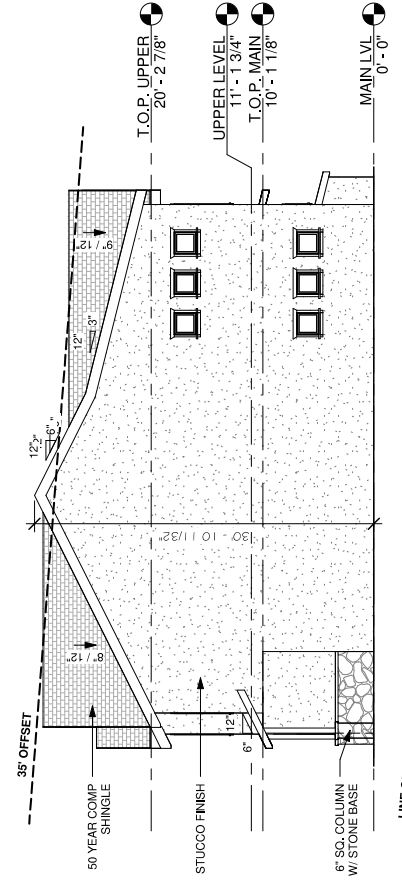
1. A Class A roof covering (excluding solid wood materials) shall be installed on all Residential Occupancies and a minimum Class B roof covering shall be installed on remaining occupancies, unless otherwise permitted.
2. Exterior cladding, eaves and soffits shall be constructed of ignition-resistant materials approved by the fire code official. Approved materials include, but are not limited to, fiber-cement board, stucco, masonry brick, manufactured stone, and similar materials. Natural wood/cedar siding, hardboard, vinyl, and similar combustible materials are not allowed.
Exception: Natural wood or plastic products used for fascia, trim board materials and trim accents, such as corbels, false rafter tails, faux trusses, shutters and decorative vents material are allowed when painted or as approved. For any portion of the attached structure with projections or overhangs the area below the structure shall have all horizontal under-floor areas enclosed with ignition resistive materials such as those allowed in item 2 above.
3. Exception: Heavy timber or dimensional log construction is allowed.
4. Exterior doors shall be noncombustible or solid core not less than 1-3/4" thick. Windows within doors and glazed doors shall be tempered safety glass or multi-layered glazed panels.
Exception: Decorative single pane glazing in front entry doors is allowed.
5. Exterior windows shall be a minimum double pane. Tempered panes are preferable but not required.
6. All attic vents shall be screened with wire mesh or hardware cloth having openings no larger than 1/8-inch unless an alternative design or product is allowed by the fire code official. Soffit vents are allowed. Cable vents may be allowed by only as approved by the fire code official.
7. Gutters and downspouts that are of noncombustible construction shall be installed such that the leading edge of the roof is finished with a metal drip edge so that no wood sheathing is exposed. The drip edge shall extend into the minimum 5 foot distance from the side of the structure or foundation.
NOTE: gutter caps are highly encouraged as a homeowner maintenance item to prevent combustible debris from collecting in the trough.
8. Decks and other habitable spaces shall be of ignition resistant or non-combustible decking materials, such as composite or metal decking. Wood is not permitted to be used for the decking surface, but can be used for all large structural components and railings.
9. The base of exterior walls, posts or columns shall be protected on the bottom side with provisions such as fire resistant foam or wire mesh having openings no larger than 1/8-inch to protect them from ember intrusion and still allow for weeping and moisture control.
10. Chimneys serving fireplaces, as well as other heating appliances in which solid or liquid fuels are used, shall have an approved spark arrester or cap. (2018 CSFC §104.1)



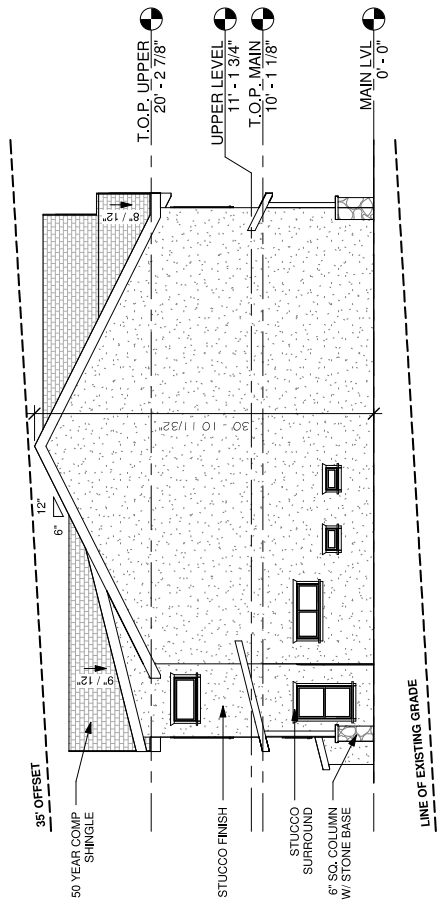
① DP BLDG 5A - FRONT ELEVATION
1/8" = 1'-0"



② DP BLDG 5A - REAR ELEVATION
1/8" = 1'-0"



③ DP BLDG 5A - RIGHT ELEVATION
1/8" = 1'-0"



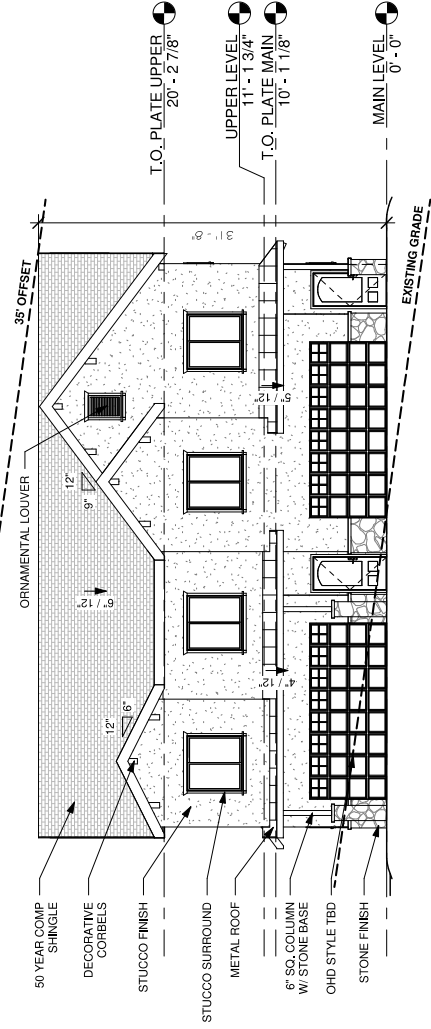
④ DP BLDG 5A - LEFT ELEVATION
1/8" = 1'-0"

REVISIONS:	BY:

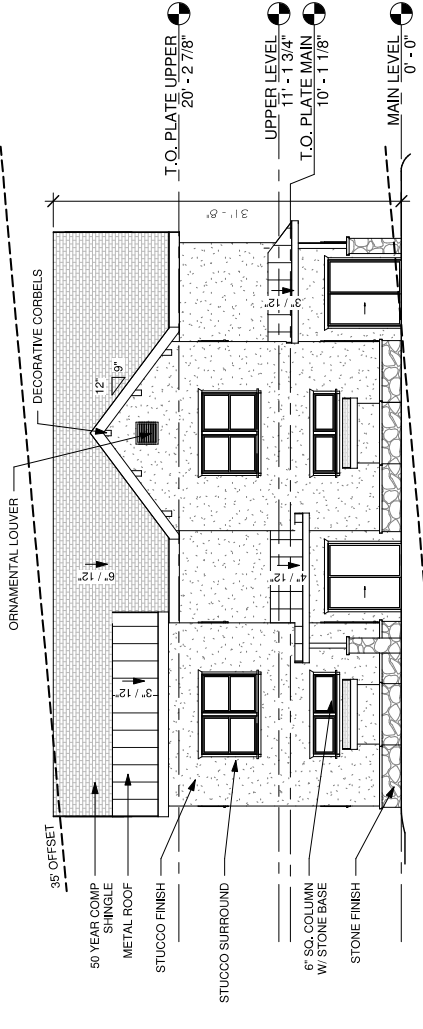
PROJECT #	Project Number
DATE	7/6/2020
DRAWN BY:	MITEK
DESIGNED BY:	CDG/RS

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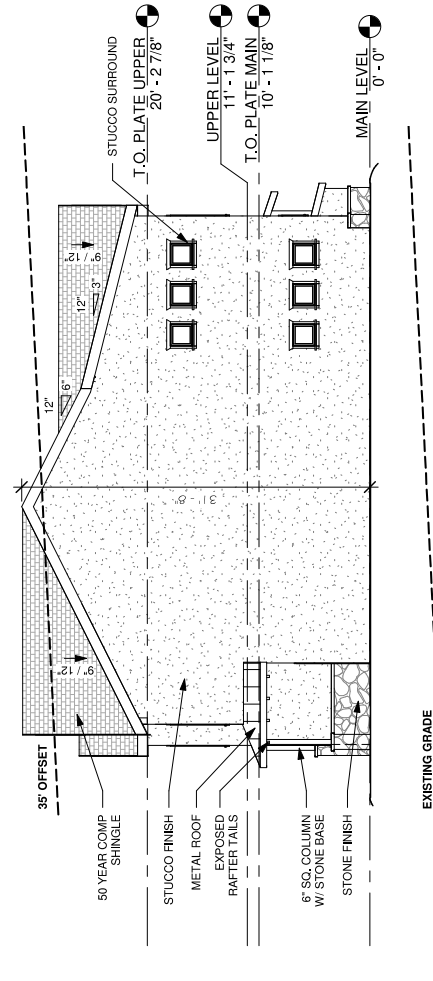
1. A Class A roof covering (excluding solid wood materials) shall be installed on all Residential Occupancies and a minimum Class B roof covering shall be installed on remaining occupancies, unless otherwise permitted.
2. Exterior cladding, eaves and soffits shall be constructed of ignitor-resistant materials approved by the fire code official. Approved materials include, but are not limited to: fiber-reinforced board, stucco, masonry/brick, manufactured stone, and similar materials. Natural wood/cedar siding, hardboard, vinyl, and similar combustible materials are not allowed.
Exception: Natural wood or plastic products used for fascia, trim board materials and trim accents, such as corbels, faux rafter tails, faux trusses, shutters and decorative vents material are allowed when painted or as approved.
3. For any portion of the attached structure with projections or overhangs, the area below the structure shall have all horizontal under floor areas enclosed with ignition resistive materials such as those allowed in item 2 above.
Exception: Heavy timber or dimensional log construction is allowed.
4. Exterior doors shall be noncombustible or solid core not less than 1-3/4" thick. Windows within coors and glazed doors shall be tempered safety glass or multilayered glazed panels.
Exception: Decorative single pane glazing in front entry doors is allowed.
5. Exterior windows shall be a minimum double pane. Tempered panes are preferable but not required.
6. All attic vents shall be screened with wire mesh or hardware cloth having openings no larger than 1/8-inch unless an alternative design or product is allowed by the fire code official. Soffit vents are allowed. Gable vents may be allowed by only as approved by the fire code official.
7. Gutters and downspouts that are of noncombustible construction shall be installed such that the leading edge of the roof is finished with a metal drip edge so that no wood sheathing is exposed. The drip edge shall extend into the gutter. Vinyl gutters may be allowed out must have a noncombustible landing area below the roof line, that is a minimum 5 foot distance from the side of the structure or foundation.
NOTE: gutter caps are highly encouraged as a homeowner maintenance item to prevent combustible debris from collecting in the trough.
8. Decks and other habitable spaces shall be of ignition resistant or non-combustible decking materials, such as composite or metal decking. Wood is not permitted to be used for the decking surface, but can be used for all large structural components and railing.
9. The base of exterior walls, posts or columns shall be protected on the bottom side with provisions such as fire resistant foam or wire mesh having openings no larger than 1/8-inch to protect them from ember intrusion and shall allow for weeping and moisture control.
10. Chimneys serving fireplaces, as well as other heating appliances in which solid or liquid fuels are used, shall have an approved spark arrestor or cap. (2018 CSFC §K104.1)



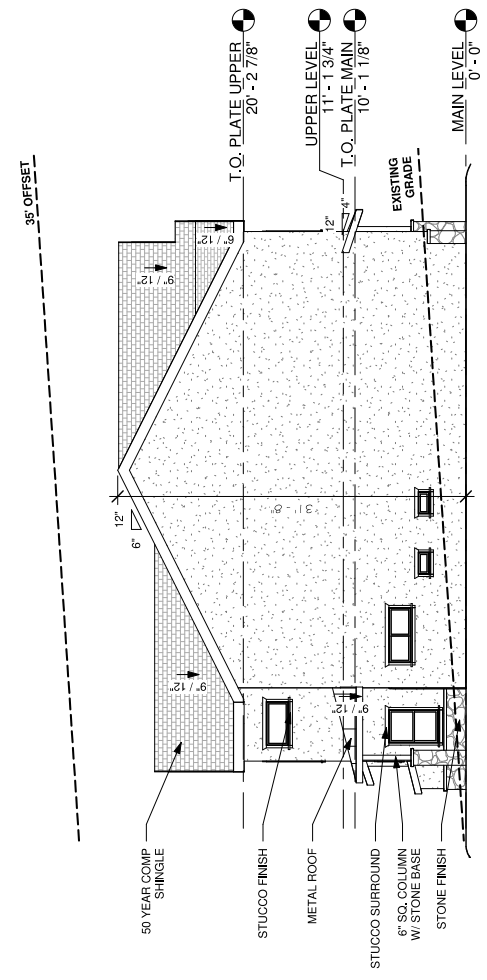
① BUILDING 6 FRONT ELEVATION
1/8" = 1'-0"



② BUILDING 6 REAR ELEVATION
1/8" = 1'-0"



③ BUILDING 6 RIGHT ELEVATION
1/8" = 1'-0"



④ BUILDING 6 LEFT ELEVATION
1/8" = 1'-0"

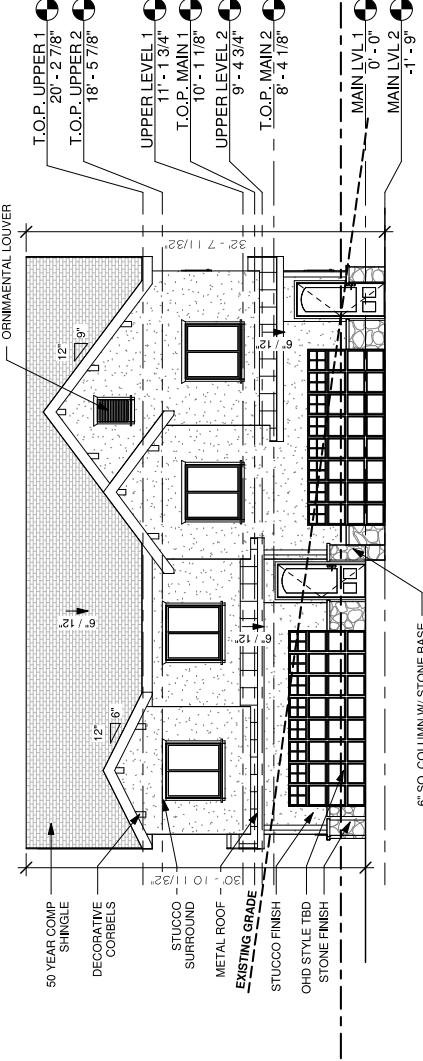
REVISIONS	BY

PROJECT #	Project Number
DATE	7/6/2020
DRAWN BY	MITEK
DESIGNED BY	CDG/RS

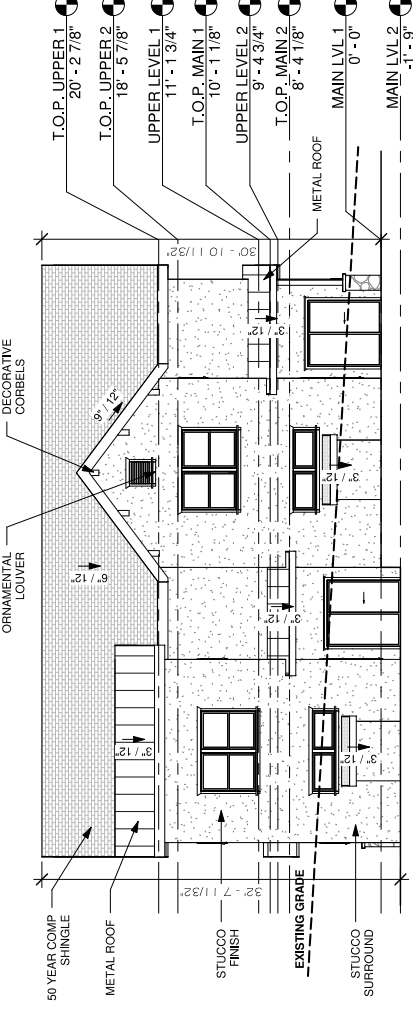
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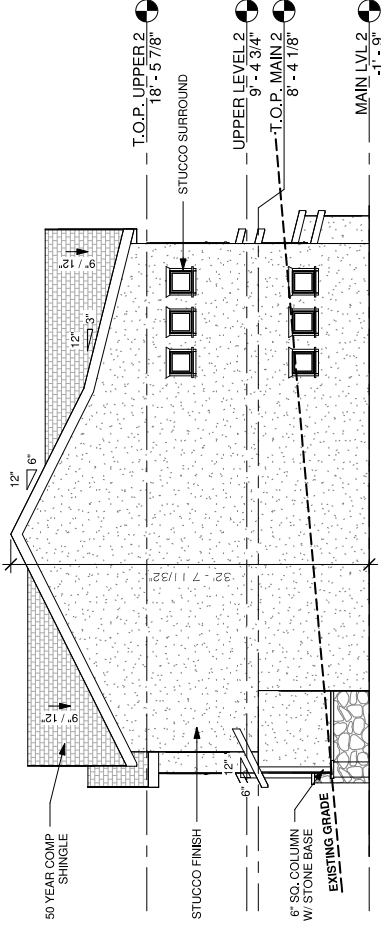
- Class A roof covering (excluding solid wood materials) shall be installed on all Residential Occupancies and a minimum Class B roof covering shall be installed on remaining occupancies, unless otherwise permitted.
- Exterior cladding, eaves and soffits shall be constructed of ignition-resistant materials approved by the fire code official. Approved materials include, but are not limited to: fibro-cement board, stucco, masonry/brick, manufactured stone, and similar materials. Natural wood/cedar siding, hardboard, vinyl, and similar combustible materials are not allowed.
 Exception: Natural wood or plastic products used for fascia, trim board materials and trim accents, such as corbels, false rafter tails, faux trusses, shutters and decorative vents material are allowed when painted or as approved.
- For any portion of the attached structure with projections or overhangs, the area below the structure shall have all horizontal under floor areas enclosed with ignition resistive materials such as those allowed in item 2 above.
 Exception: Heavy timber or dimensional log construction is allowed.
- Exterior doors shall be noncombustible or solid core not less than 1-3/4" thick. Windows within doors and glazed doors shall be tempered safety glass or multilayered glazed panels.
 Exception: Decorative single pane glazing in front entry doors is allowed.
- Exterior windows shall be a minimum double pane. Impaired panes are preferable but not required.
- All attic vents shall be screened with wire mesh or hardware cloth having openings no larger than 1/8-inch unless an alternative design or product is allowed by the fire code official.
- Gutters and downspouts that are of noncombustible construction shall be installed such that the leading edge of the roof is finished with a metal drip edge so that no wood sheathing is exposed. The drip edge shall extend into the gutter. Vinyl gutters may be allowed but must have a noncombustible landing area below the roof line, that is a minimum 5 foot distance from the side of the structure or foundation.
 NOTE: gutter caps are highly encouraged as a homeowner maintenance item to prevent combustible debris from collecting in the trough.
- Decks and other habitable spaces shall be of ignition resistant or non-combustible decking materials, such as composite or metal decking. Wood is not permitted to be used for the decking surface, but can be used for all large structural components and railing.
- The base of exterior walls, posts or columns shall be protected on the bottom side with provisions such as fire resistant foam or wire mesh having openings no larger than 1/8-inch to protect them from ember intrusion and still allow for weeping and moisture control.
- Chimneys serving fireplaces, as well as other heating appliances in which solid or liquid fuels are used, shall have an approved spark arrestor or cap. (2018 CSFC §104.1)



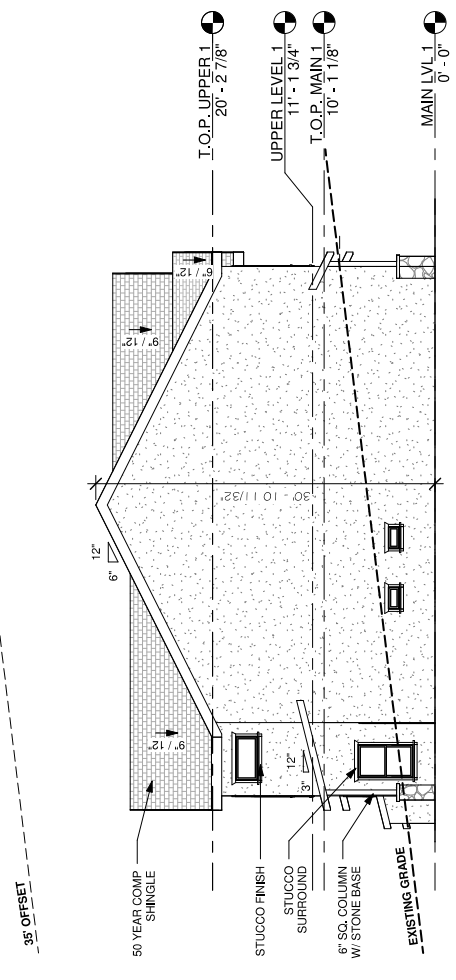
① DP BLDG 6A - FRONT ELEVATION
 1/8" = 1'-0"



② DP BLDG 6A - REAR ELEVATION
 1/8" = 1'-0"



③ DP BLDG 6A - RIGHT ELEVATION
 1/8" = 1'-0"



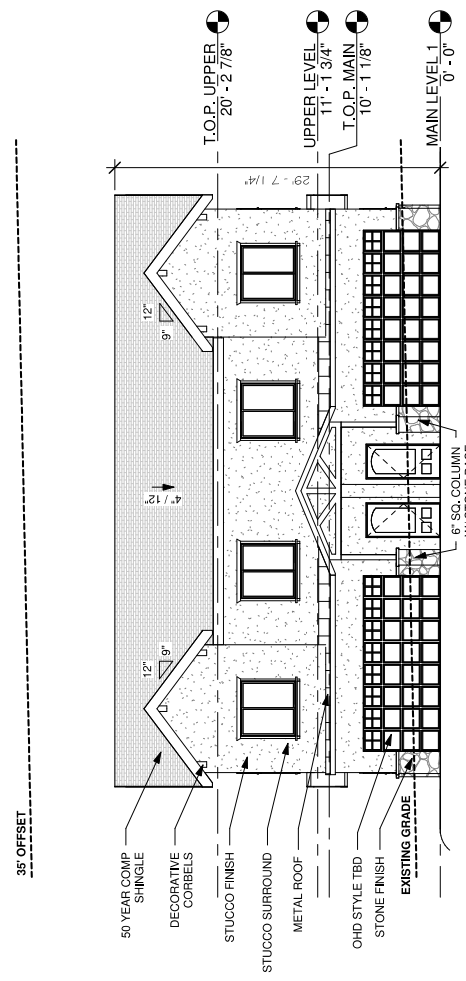
④ DP BLDG 6A - LEFT ELEVATION
 1/8" = 1'-0"

REVISIONS:	BY:

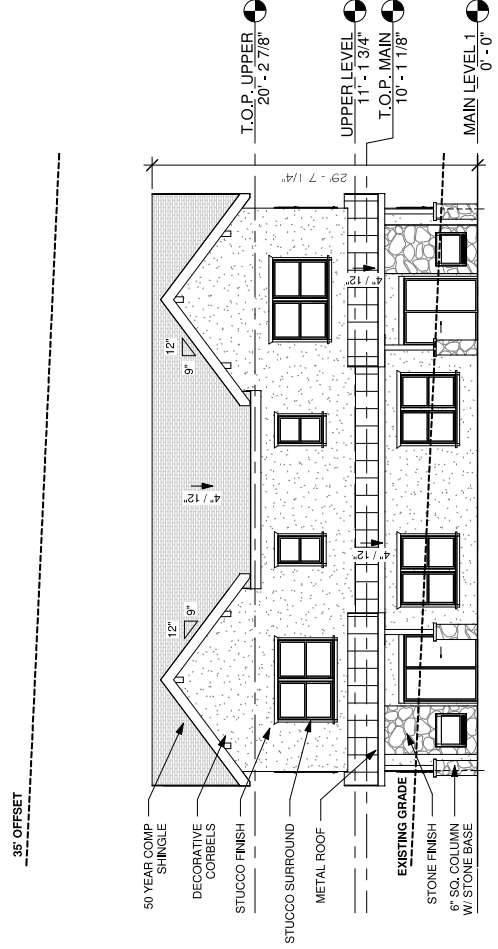
PROJECT #	Project Number
DATE	7/6/2020
DRAWN BY:	MITEK
DESIGNED BY:	CDG/PS

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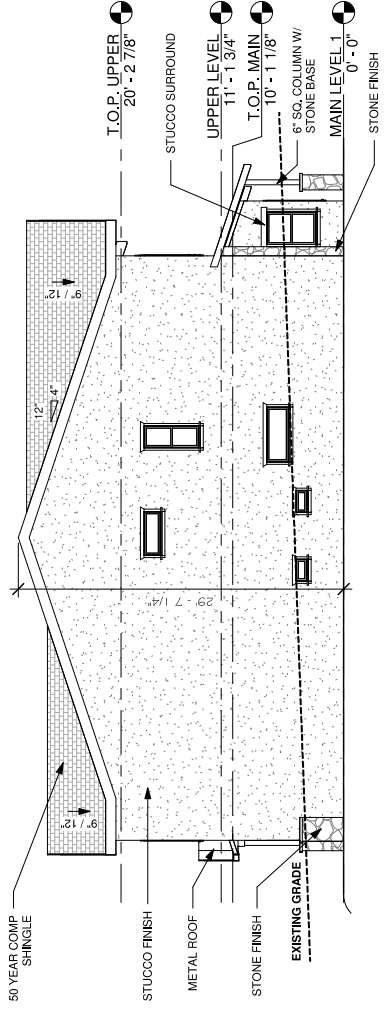
1. A Class A roof covering (excluding solid wood materials) shall be installed on all Residential Occupancies and a minimum Class E roof covering shall be installed on remaining occupancies, unless otherwise permitted.
2. Exterior cladding, eaves and soffits shall be constructed of ignition-resistant materials approved by the fire code official. Approved materials include, but are not limited to: fiber-cement board, stucco, masonry/brick, manufactured stone, and similar materials. Natural wood/cedar siding, hardboard, vinyl, and similar combustible materials are not allowed.
 Exception: Natural wood or plastic products used for fascia, trim board materials and trim accents, such as cornices, false rafter tails, faux trusses, shutters and decorative vents material are allowed when painted or as approved. For any portion of the attached structure with projections or overhangs, the area below the structure shall have all horizontal under-floor areas enclosed with ignition resistive materials such as those allowed in item 7 above.
3. Exception: Heavy timber or dimensional log construction is allowed.
4. Exterior doors shall be noncombustible or solid core not less than 1-3/4" thick. Windows within doors and glazed doors shall be tempered safety glass or multilayered glazed panels.
 Exception: Decorative single pane glazing in front entry doors is allowed.
5. Exterior windows shall be a minimum double pane. Tempered panes are preferable but not required.
6. All attic vents shall be screened with wire mesh or hardware cloth having openings no larger than 1/8-inch unless an alternative design or product is allowed by the fire code official. Screened vents are allowed. Cable vents may be allowed by only as approved by the fire code official.
7. Gutters and downspouts that are or noncombustible construction shall be installed such that the leading edge of the roof is finished with a metal drip edge so that no wood sheathing is exposed. The drip edge shall extend into the gutter. Vinyl gutters may be allowed but must have a noncombustible landing area below the roof line, that is a minimum 5 foot distance from the side of the structure or foundation.
 NOTE: gutter caps are highly encouraged as a homeowner maintenance item to prevent combustible debris from collecting in the trough.
8. Decks and other habitable spaces shall be of ignition resistant or non-combustible decking materials, such as composite or metal decking. Woods not permitted to be used for the decking surface, but can be used for all large structural components and railing.
9. The base of exterior walls, posts or columns shall be protected on the bottom side with provisions such as fire resistant foam or wire mesh having openings no larger than 1/8-inch to protect them from ember intrusion and still allow for weeping and moisture control.
10. Chimneys serving fireplaces, as well as other heating appliances in which solid or liquid fuels are used, shall have an approved spark arrestor or cap. (2018 CSFSC §K104.1)



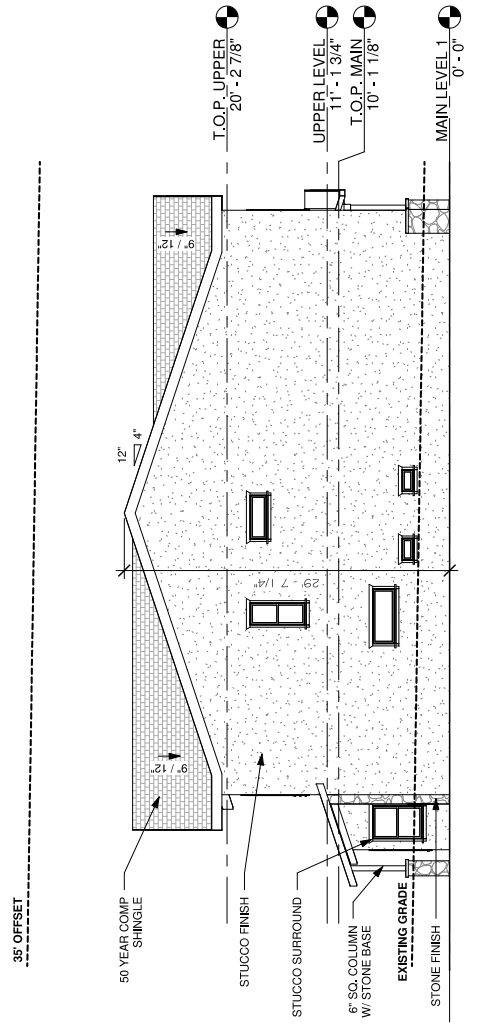
1 BUILDING 7 FRONT ELEVATION
 1/8" = 1'-0"



3 BUILDING 7 REAR ELEVATION
 1/8" = 1'-0"



4 BUILDING 7 RIGHT ELEVATION
 1/8" = 1'-0"



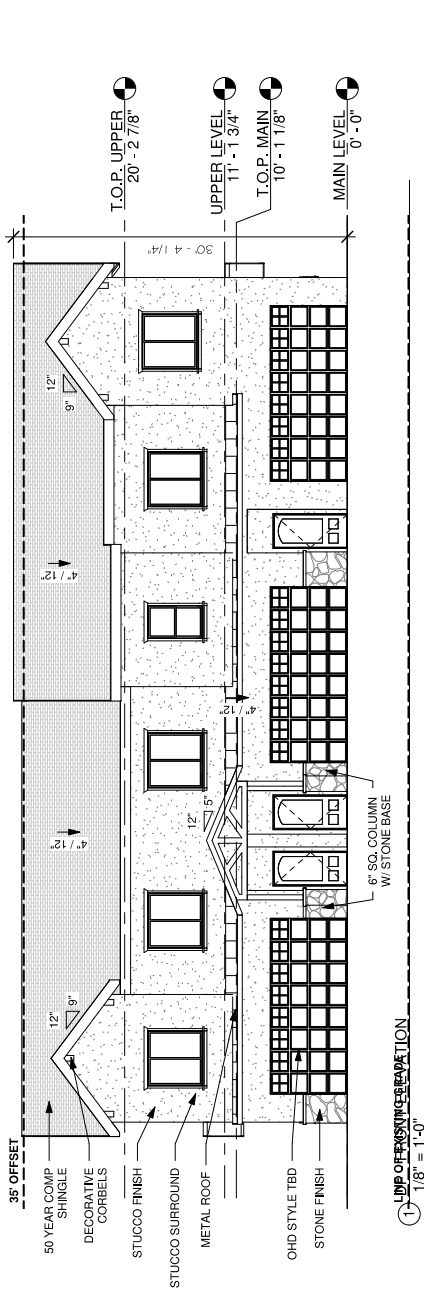
2 BUILDING 7 LEFT ELEVATION
 1/8" = 1'-0"

REVISIONS:	BY:

PROJECT #	Project Number
DATE	7/6/2020
DRAWN BY:	MITEK
DESIGNED BY:	CDG/RS

SHEET NO.

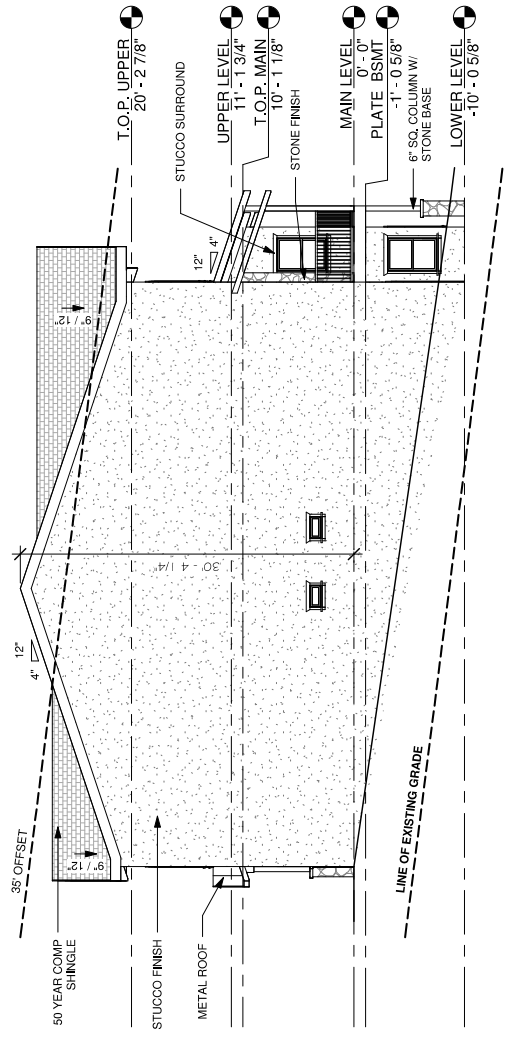
- NOTES:**
1. A Class A roof covering (excluding solid wood materials) shall be installed on all Residential Occupancies and a minimum Class B roof covering shall be installed on remaining occupancies, unless otherwise permitted.
 2. Exterior cladding, eaves and soffits shall be constructed of ignition-resistant materials approved by the code official. Approved materials include, but are not limited to: fiber-cement board, stucco, masonry/block, manufactured stone, and similar materials. Natural wood/cedar siding, hardboard, vinyl, and similar combustible materials are not allowed.
Exception: Natural wood or plastic products used for fascia, trim board materials and trim accents, such as corbels, false rafter tails, faux trusses, shutters and decorative vents material are allowed when painted or as approved.
 3. For any portion of the attached structure with projections or overhangs, the area below the structure shall have all horizontal under-floor areas enclosed with ignition resistant materials such as those allowed in item 2 above.
Exception: Heavy timber or dimensional log construction is allowed.
 4. Exterior doors shall be noncombustible or solid core not less than 1-3/4" thick. Windows within doors and glazed doors shall be tempered safety glass or multilayered glazed panels.
Exception: Decorative single pane glazing in front entry doors is allowed.
 5. Exterior windows shall be a minimum double pane. Tempered panes are preferable but not required.
 6. All attic vents shall be screened with wire mesh or hardware cloth having openings no larger than 1/8-inch unless an alternative design or product is allowed by the fire code official. Soffit vents are allowed. Gable vents may be allowed by only as approved by the fire code official.
 7. Gutters and downspouts that are of noncombustible construction shall be installed such that the leading edge of the roof is finished with a metal drip edge so that no wood sheathing is exposed. The drip edge shall extend into the gutter. Vinyl gutters may be allowed but must have a noncombustible landing area below the roof line, that is a minimum 5 foot distance from the side of the structure or foundation.
NOTE: gutter caps are highly encouraged as a homeowner maintenance item to prevent combustible debris from collecting in the trough.
 8. Decks and other habitable spaces shall be of ignition resistant or non-combustible decking materials, such as composite or metal decking. Wood is not permitted to be used for the decking surface, but can be used for all large structural components and railing.
 9. The base of exterior walls, posts or columns shall be protected on the bottom side with provisions such as fire resistant foam or wire mesh having openings no larger than 1/8-inch to protect them from ember intrusion and still allow for weeping and moisture control.
 10. Chimneys serving fireplaces, as well as other heating appliances in which solid or liquid fuels are used, shall have an approved spark arrestor or cap. (2018 CSFC §104.1)



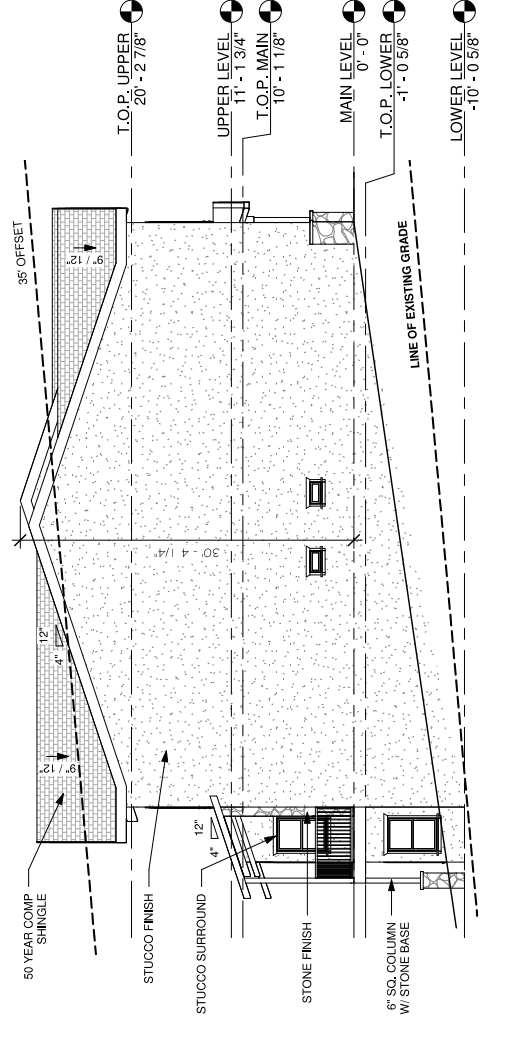
① DP - LEFT ELEVATION
1/8" = 1'-0"



② DP - REAR ELEVATION
1/8" = 1'-0"



③ DP - RIGHT ELEVATION
1/8" = 1'-0"



④ DP - LEFT ELEVATION
1/8" = 1'-0"

TUSCAN FOOTHILLS VILLAGE FILING NO. 4 PUD DEVELOPMENT PLAN

Introduction:

The following Land Suitability Analysis deals with a 49.384 acre site located on the West side of Centennial Blvd in the City of Colorado Springs, Colorado. The development will consist of 98 single-family attached residential units and 40 apartment units.

Methodology:

A traditional analysis process was used to determine the suitability of this site for the proposed development. This process included site investigation and inventory, determination of relevant constraints, the creation of a composite map, and finally, the development of a preliminary plan.

Initial analysis included several site visits to document significant land features. Further analysis utilized FIMS surveys and aerial photography. This information was collected and converted into maps reflecting slope and vegetation. Information concerning soils and geologic conditions was compiled by the El Paso County Soil Survey and the soils report as part of this submittal. This information was then analyzed and compiled into an overall composite map which presents, in a general manner, areas of the site which are most suitable for the development of the proposed use. The final product is an analysis which outlines a sensible approach to developing the site.

Sources from which data for the Land Suitability Analysis was gathered:

- City of Colorado Springs Zoning Map
- City of Colorado Springs Hillside Development Design Manual
- Soil Survey of El Paso County, U.S. Department of Agriculture Soil Conservation Service
- Division of Wildlife of the State of Colorado
- Engineering Survey and Soils Report
- USGS Terra Server Aerial Photography
- Colorado Springs Fire Department Wildfire Risk Evaluation Map

Vegetation Analysis

A Vegetation Inventory for the site was prepared using field notes and aerial photography. In general, the site contains native grasses, wildflowers, and Scrub Oak. The only significant vegetation on site is the Scrub Oak, which is found in both large masses and individual species. They are both depicted with the clouding symbol.

Other vegetation found on site include some warm and cool season grasses such as the Western Wheat Grass, Side-oats Grama, and Needleandthread. No other trees besides Scrub Oak are found on site, but ones that are well suited to the area include Rocky Mountain Juniper, Ponderosa Pine, Eastern Redcedar, Russian Olive, Siberian Elm, and Hackberry. Shrubs that are well suited to the site include Skunkbush, Siberian Peashrub, Sumac, True Mountain Mahogany, and Lilac.

Development should avoid a large portion of the Scrub Oak, and especially the larger masses. Much of the site's east side native grass areas have been disturbed by the years of construction and add no real value to the landscape.

Slope Analysis Evaluation Map



LEGEND



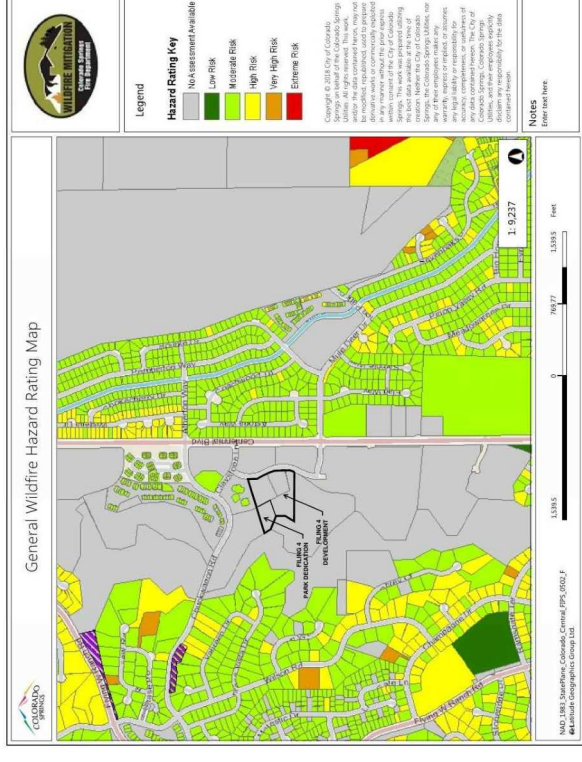
- 0-8% Slopes
- 8-12% Slopes
- 12-15% Slopes
- 15-25% Slopes
- Above 25%
- Existing Disturbed Grades

Slope Analysis

A computerized slope analysis was performed on the Tuscan Foothill Village site and it revealed a few constraints presented by the existing topography. Approximately 23% of the total site consists of slopes being above 25%. Only 17% of the site contains slopes of 8% or less. In general, the slopes are steepest on the west side as the elevation rises up the foothills and on the upper end of swales. There are some significant 25% slopes along the eastern border that are not natural; therefore they weren't included in the analysis. One of these includes a large 25' tall soil stockpile.

The best development practice would be to locate housing in the gentler slopes leaving the steep areas as open space. There are a number of swales along the west side where the grades are relatively gentle at the base, but steeper as the grades rise. Careful planning will capitalize on these gentle areas while avoiding the steeper ones.

Wildfire Risk Evaluation Map



Wildfire Hazard Potential:

The CSFD Wildfire Risk Evaluation Map, as shown above, rates the degree of fire danger on an individual lot basis. The map shows the degree of risk for the surrounding developed lots. Since the Tuscan Foothills Village Filing 2 site is not yet developed, it has not been evaluated. However, based on the surrounding area it can be assumed that the fire risk is low to moderate risk. All protective measures should be taken to minimize the fire risk.

Natural / Man-made Features:

The man-made features are found along Centennial Blvd. where extensive grading has occurred and stockpiles of soil are found. The natural features of this site that make it unique are its foothills topography with the knolls and draws. This is the only significant feature on the site, but it should be respected and complimented when laying out roads and building locations.

Wildlife:

Since this area is very open with little vegetation for cover, no big game animals live within the site. Some may be found passing through, but no significant habitats will be harmed by development.

Conclusion:

This composite analysis is based upon information, derived from a variety of sources. The layout of Filing No. 4 will impact a few clusters of shrub oaks that are located below the elevation of 6558ft and will not affect any of the larger masses above this elevation. The units will largely be developed in sloped areas below 15% with only a few units in areas of greater slopes. The unit design will take advantage of this elevation change for walk out units where possible. The development completely avoids the no build areas.

CITY APPROVAL: