

# BURGERWORKS EAST FILLMORE STREET

## LOT 1 CPRE REPLAT

### CITY OF COLORADO SPRINGS, COLORADO

#### DEVELOPMENT PLAN



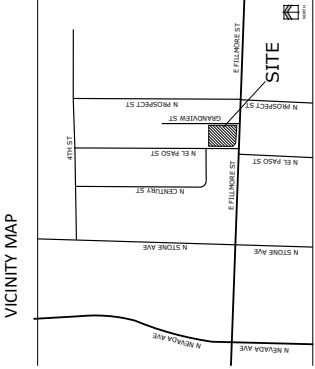
### LEGAL DESCRIPTION

Block 6 in the Colorado State Cemetery, Subdivision of a part of the Southwest Quarter of Section 33 and the Southeast Quarter of Section 34, Township 13 South, Range 66 West of the 6th P.M., County of El Paso, State of Colorado, except those portions thereof conveyed to the City of Colorado Springs by Ordinance recorded June 13, 2008 under description No. 08060813-0-000000001-0-2404 (Public Acquisition No. 08114242).

Containing a calculated area of 94,228 square feet (1.71893 acres), more or less.

### GENERAL NOTES

- ALL EXISTING UTILITIES SHALL BE FULLY EXPOSED AND REPAIRED OR REPLACED AS NEEDED. SEE THE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE CONCRETE UNLESS OTHERWISE SPECIFIED.
- SEWERAGE IS NOT APPROVED FOR THIS PLAN. SEPARATE SOIL PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT ALL DURING CURB CUTTER, SIDEWALKS, PEDESTRIAN RAMPS, CROSSINGS AND DRIVEWAY PROPOSING A SAFETY HAZARD.
- ALL EXISTING UTILITIES SHALL BE FULLY EXPOSED AND REPAIRED OR REPLACED AS NEEDED. SEE THE LIGHTING IMPACTS.
- ADVANCE TO THE SITE TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY. ALL WORK SHALL BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5579.
- DATE, MARCH 17, 1997, INDICATES THE AREA IN THE VICINITY OF THE PARCEL OF LAND TO BE A ZONE X AREA DETERMINED TO BE OUT OF THE PLANNING RESPONSIBILITY. THIS PLAN HAS BEEN REDESIGNED TO COMPLY WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDANCE ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH ACCESSIBILITY CRITERIA AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THEIR ASSIGNED ARCHITECTURAL AND ELECTRICAL ENGINEER DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNED ARCHITECTURAL AND ELECTRICAL ENGINEER DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENT.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION AND THE CITY ELECTRICAL ENGINEER DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENT.
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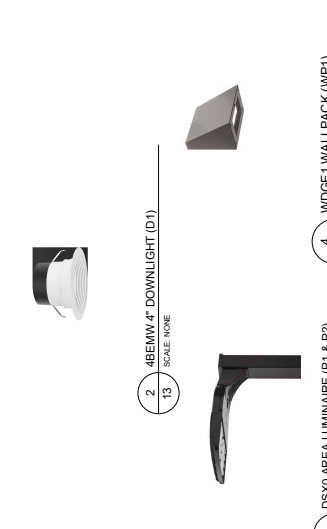
### SITE DATA

Tract ID Number: 6313212008 / 6313212009 / 6313212012 / 6313212013  
 Development Schedule: Spring 2023  
 Current Use: C-1 (AM) (Intermediate Business/Light Industrial)  
 Current Zoning: C-1 (AM) (Intermediate Business/Light Industrial)  
 Current Lot Area: 17,850.00 Sq. Ft.  
 Proposed Building Height: 17'-0"

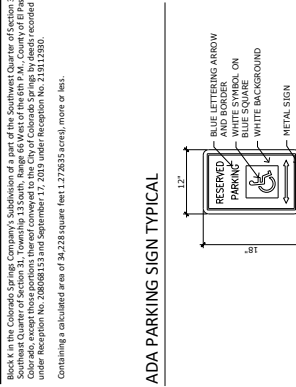
Proposed Building Footprint: 17,850.00 Sq. Ft.  
 Maximum Building Area (BPA): 17,850.00 Sq. Ft.  
 Maximum Building Area (MBA): 17,850.00 Sq. Ft.  
 Building Setback (Front Street): 20'  
 Building Setback (Side Street): 20'  
 Building Setback (Rear Street Boundary): 20'  
 Landscaping Setback: 20'  
 Setback to Right-of-Way: 20'

Planned: 1. 1,000 SQ FT  
 2. 1,000 SQ FT  
 3. 1,000 SQ FT  
 4. 1,000 SQ FT  
 5. 1,000 SQ FT  
 6. 1,000 SQ FT  
 7. 1,000 SQ FT  
 8. 1,000 SQ FT  
 9. 1,000 SQ FT  
 10. 1,000 SQ FT  
 11. 1,000 SQ FT  
 12. 1,000 SQ FT  
 13. 1,000 SQ FT

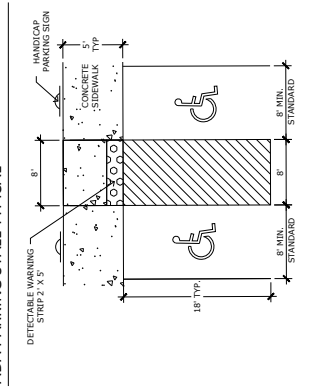
### LIGHTING DETAIL TYPICALS



### ADA PARKING SIGN TYPICAL



### ADA PARKING STALL TYPICAL



### BURGERWORKS

LOT 1 CPRE REPLAT  
 706 EAST FILLMORE STREET

DATE: 04/20/2023  
 PROJECT FOR: A. BAKER  
 PREPARED BY: B. BROWN

### ENTITLEMENT

DATE	BY	REVISION
07/27/2023	BP	FINAL REVIEW
09/08/2023	BP	FINAL REVIEW
10/19/2023	BP	FINAL REVIEW
01/26/2023	BP	FINAL REVIEW
		COMMENTS

### COVER SHEET

1 OF 14  
 DEPN 22-0074

### PROJECT TEAM

OWNER: Burgerworks East Fillmore LLC  
 601 E. Colorado Ave., Suite 204  
 Colorado Springs, CO 80903

DEVELOPER: Burgerworks East Fillmore LLC  
 601 E. Colorado Ave., Suite 204  
 Colorado Springs, CO 80903

ARCHITECT/ENGINEER: NES, Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903

### SHEET INDEX

- Sheet 1 of 14: Cover Sheet
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- Sheet 4 of 14: Preliminary Utility & Public Facilities Plan
- Sheet 5 of 14: Civil Details
- Sheet 6 of 14: Final Landscape Plan
- Sheet 7 of 14: Final Landscape Plan
- Sheet 8 of 14: Final Landscape Plan Details
- Sheet 9 of 14: Final Landscape Plan Details
- Sheet 10 of 14: Final Landscape Plan Details
- Sheet 11 of 14: Final Landscape Plan Details
- Sheet 12 of 14: Architectural Elevations
- Sheet 13 of 14: Architectural Elevations
- Sheet 14 of 14: Architectural Elevations

# BURGERWORKS EAST FILLMORE STREET CITY OF COLORADO SPRINGS, COLORADO DEVELOPMENT PLAN



NES, Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel: 719.471.0073  
Fax: 719.471.0067  
www.nesarchitects.com  
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PLANNING / LANDSCAPE ARCHITECT

## BURGERWORKS LOT 1 CPRE REPLAT 706 EAST FILLMORE STREET

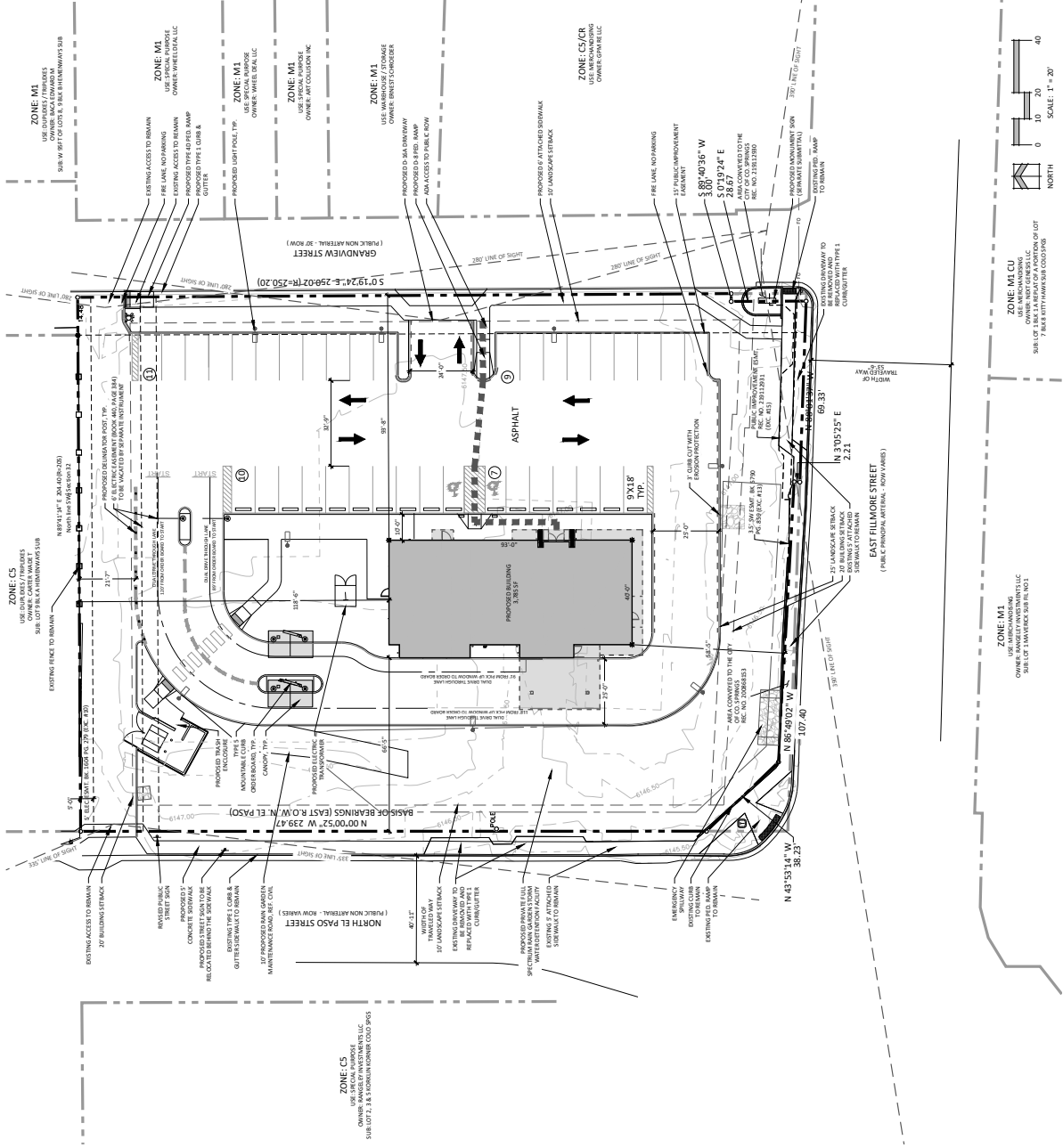
DATE: 04/29/2022  
PROJECT NO: A. BAKKOF  
PROPOSED BY: B. BAKKOF

### ENTITLEMENT

DATE	BY	REVISION
07/27/2022	BP	PREL. CPT REVIEW
08/02/2022	BP	PREL. CPT REVIEW
10/07/2023	BP	PREL. CPT REVIEW
01/24/2023	BP	PREL. CPT REVIEW
01/24/2023	BP	COMMENTS

### DEVELOPMENT PLAN

2 OF 14  
DEPN 22-0074

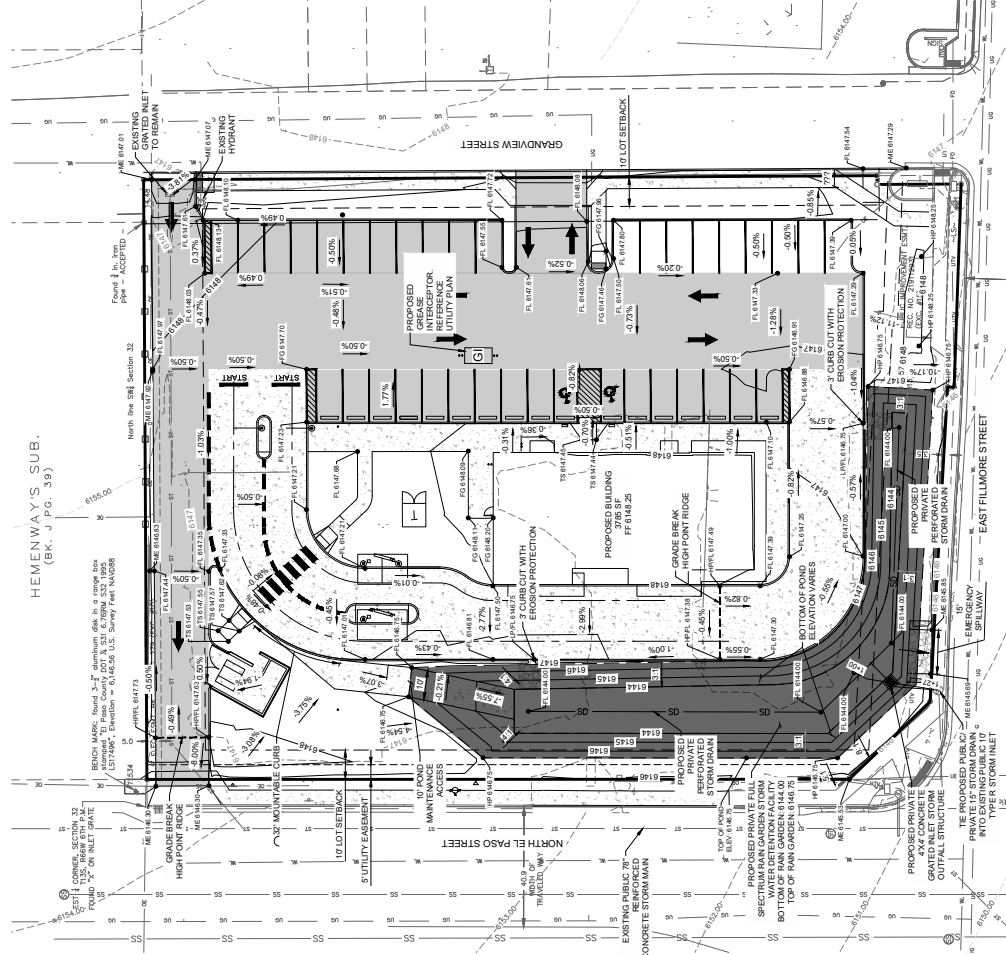


PLANNING / LANDSCAPE ARCHITECT

PLANNING / LANDSCAPE ARCHITECT

# BURGERWORKS EAST FILLMORE STREET

706 E FILLMORE ST  
BLOCK K, THE COLORADO SPRINGS COMPANYS SUBDIVISION OF A PART OF THE SOUTHWEST  
QUARTER OF THE SECTION 32, AND SOUTHEAST QUARTER SECTION 31, TOWNSHIP 13 SOUTH, RANGE  
66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, STATE OF COLORADO



### NOTES:

1. ALL PROPOSED STORM INFRASTRUCTURE INCLUDING THE RAIN GARDEN SHALL BE CONSTRUCTED TO MEET THE CITY OF COLORADO SPRINGS, COLORADO, AS SHOWN BY THE PLAT PAGE 74 OF THE RECORDS OF EL PASO COUNTY, COLORADO BLOCK 2, WEST 22<sup>ND</sup> SUBDIVISION PLAT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 1993 IN PLAT 140, COLORADO COUNTY OF EL PASO, STATE OF COLORADO.
2. RAIN GARDEN MAINTENANCE ACCESS SHALL HAVE A MAXIMUM SLOPE OF 15% LONGITUDINALLY. MAINTENANCE PATH SHALL BE LOCATED CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

**DESIGNER:**  
CENTROTEC REAL ESTATE GROUP  
ATTN: CLAY JAMISON  
1000 W. WYOMING  
PHOENIX, AZ 85018

**CHALLENGER:**  
WALLACE ENGINEERING  
2800 PLYMOUTH CT. SUITE 300  
ENGLEWOOD, CO 80112  
(727) 947-0291

**LEGAL DESCRIPTION:** WP 14, ELEVATION 4284.44 (NOV 02 1929)  
LOT BLOCK TWENTY EIGHT CENTER, AN ADDITION TO THE CITY OF COLORADO SPRINGS, COLORADO, AS SHOWN BY THE PLAT PAGE 74 OF THE RECORDS OF EL PASO COUNTY, COLORADO BLOCK 2, WEST 22<sup>ND</sup> SUBDIVISION PLAT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 1993 IN PLAT 140, COLORADO COUNTY OF EL PASO, STATE OF COLORADO.

**BASIS OF BEARING:**  
NORTH LINE OF THE PROPERTY, MONUMENTED AS SHOWN AND DESCRIBED IN PLAT 140, BEARING N 88 DEGREES 41 MINUTES 37 SECONDS EAST.

### CAUTION

NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE THE PROPERTY OF THE UTILITIES AND ARE THE PROPERTY OF THE COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



### GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL BE REPORTED TO THE CITY OF COLORADO SPRINGS, COLORADO, AND THE LOCAL AUTHORITIES.
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3. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
4. TOP SOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
5. REFER TO GEOTECHNICAL ENGINEERING REPORT BY [REDACTED] DATED [REDACTED] FOR RECOMMENDATIONS REGARDING SOIL CONDITIONS AND FOUNDATION DESIGN. THE CONTRACTOR SHALL NOT INTERFERE SOIL REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
6. UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED BY THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVERCUT AND REPLACED OR STABILIZED.
7. IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
8. STRIPPING, PROTECTING, SUBGRADE SCAFFOLDING, AND COMPACTION, AND FILL EXCAVATED AREAS TO MEET THE GEOTECHNICAL REPORT.
9. EXCAVATION SHALL BE TO THE DESIGN ELEVATION AND DIMENSIONS WITHIN A TOLERANCE OF +/- 0.05 FEET. THE CONTRACTOR SHALL VERIFY THE TOLERANCE FOR PLACING AND REMOVING CONCRETE FORMWORK FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
10. PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES AND TO PLACE CURBS AND SIDEWALKS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
11. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
12. GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS, COLORADO, STANDARD SPECIFICATIONS. SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
13. CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING PAVEMENT. SLOPES MUST BE SMOOTH AND MONOTONIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
14. ADA ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH ADA DESIGN GUIDELINES.
15. ALL CUT OR FILL SLOPES SHALL BE 3:1 V OR FLATTER UNLESS OTHERWISE NOTED.
16. LANDSCAPE GRASSES TO BE SLOES WITH 80% SUITABLE FOR USE IN SOIL. THE CONTRACTOR SHALL INSURE THAT NO DRINKING WATER WILL OCCUR AT LANDSCAPE ISLANDS. ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPES AND A DRAINAGE SYSTEM TO THE STREET OR TO A DRAINAGE BASIN.
17. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS. ALL UTILITY LOCATIONS AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL BE REPORTED TO THE CITY OF COLORADO SPRINGS, COLORADO, AND THE LOCAL AUTHORITIES. EXISTING UTILITY LOCATIONS AND DEPTHS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL BE REPORTED TO THE CITY OF COLORADO SPRINGS, COLORADO, AND THE LOCAL AUTHORITIES.
18. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT DIMENSIONS. EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND DIMENSIONS AND EXISTING UTILITIES TO BE INSERTED AND REPAIRED AS SHOWN ON THE ARCHITECTURAL AND MEP PLANS SHALL BE MAINTAINED.
19. EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURES AS NECESSARY.
20. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
21. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL EXISTING AND PROPOSED STRUCTURES. TEMPORARY DEWATERING INCLUDING PUMPING MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
22. UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR INCHES OF TOPSOIL AND SHALL BE PERMANENTLY 1.5 INCHES WITH BED ON 5:1.
23. REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED.



# WHATABURGER EL PASO & FILLMORE 706 E FILLMORE ST

DATE	DESCRIPTION
12/27/2023	2/1
12/27/2023	2/2

PROJECT NO. 2279013  
SHEET NAME PRELIMINARY GRADING PLAN  
SHEET NO. 3 OF 14







BURGERWORKS EAST FILLMORE STREET
LOT 1 CPRE REPLAT
CITY OF COLORADO SPRINGS, COLORADO
FINAL LANDSCAPE PLAN

LANDSCAPE NOTES

- 1. SOIL AMENDMENT: INCORPORATE 1.0 CUBIC YARD(S) OF BROWN HULL ORGANIC COMPOST...
2. PLANTING: PLANT SPECIES SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT...
3. IRRIGATION: INSTALL AND OPERATE SPRINKLER SYSTEM...
4. MULCH: APPLY 3" DEEP LAYER OF MULCH...
5. MAINTENANCE: PROVIDE 1 YEAR FREE MAINTENANCE...
6. TREES: ALL TREES TO BE PLANTED WITHIN 10-15 FEET OF SIDEWALK...
7. SHRUBS: ALL SHRUBS TO BE PLANTED WITHIN 10-15 FEET OF SIDEWALK...
8. CONCRETE: ALL CONCRETE SHALL BE POLISHED...
9. GRASS: ALL GRASS SHALL BE SEEDING WITHIN 30 DAYS...
10. IRRIGATION: INSTALL AND OPERATE SPRINKLER SYSTEM...
11. MULCH: APPLY 3" DEEP LAYER OF MULCH...
12. MAINTENANCE: PROVIDE 1 YEAR FREE MAINTENANCE...
13. TREES: ALL TREES TO BE PLANTED WITHIN 10-15 FEET OF SIDEWALK...
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15. CONCRETE: ALL CONCRETE SHALL BE POLISHED...
16. GRASS: ALL GRASS SHALL BE SEEDING WITHIN 30 DAYS...

PLANT SCHEDULE

Table with columns: SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE, SYMB, CODE. Lists various plant species and their codes.

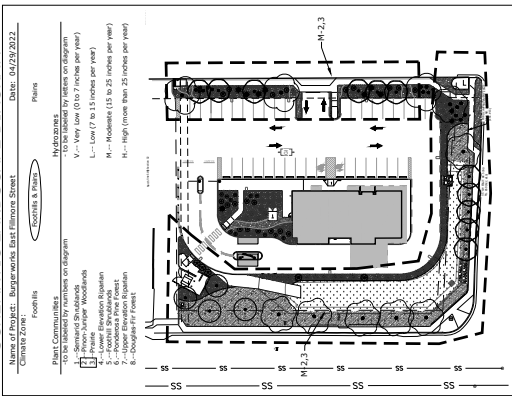
GROUND COVER LEGEND



LANDSCAPE REQUIREMENTS

Tables for Landscape Setbacks (Table with 7 columns: Zone, Min. Distance, Max. Distance, etc.), Internal Landscaping (Table with 4 columns: Species, Amount, etc.), and Motor Vehicle Lots (Table with 4 columns: No. of Vehicles, etc.).

SCHEMATIC LANDSCAPE DIAGRAM



BURGERWORKS
LOT 1 CPRE REPLAT
706 EAST FILLMORE STREET

DATE: 04/25/2022
PROJECT NO: A. BAYLOW
DRAWN BY: G. BURGER
CHECKED BY: G. BURGER

Table with columns: DATE, BY, CHECKED BY, REVISION. Lists project milestones.

FINAL LANDSCAPE PLAN NOTES

6 OF 14
DEPN-22-0074



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PLANS / LANDSCAPE ARCHITECT

# BURGERWORKS

## LOT 1 CPRE REPLAT

### 706 EAST FILLMORE STREET

DATE: 04/29/2022  
PROJECT FOR: A. BAKER/DW  
PROPOSED BY: B. BAKER/DW

### ENTITLEMENT

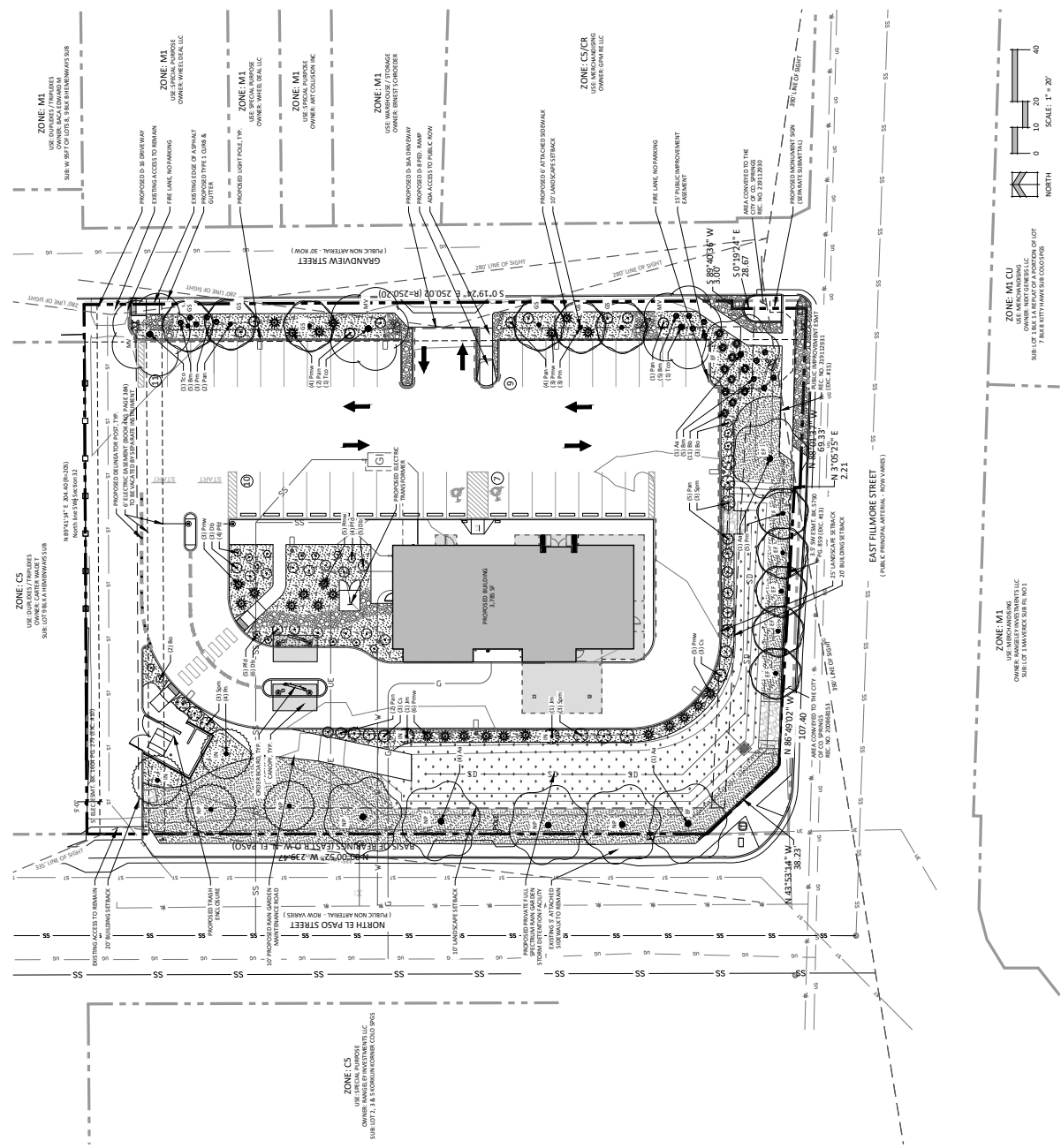
DATE	BY	DESCRIPTION
07/27/2022	BP	PREL. CPT REVIEW
08/09/2022	BP	PREL. CPT REVIEW
10/09/2022	BP	PREL. CPT REVIEW
01/26/2023	BP	PREL. CPT REVIEW
01/26/2023	BP	PREL. CPT REVIEW
		COMMENTS

### FINAL LANDSCAPE PLAN

7

7 OF 14

DEPN-22-0074



**ZONE M1**  
USE: MARCHANDISING  
OWNER: BURGERWORKS LLC  
SUB LOT 2.88 & A REPAIR OF A PORTION OF LOT 1.88 & 2.88 (2017) (10/15/2017)

**ZONE M1 CU**  
USE: MARCHANDISING  
OWNER: BURGERWORKS LLC  
SUB LOT 2.88 & A REPAIR OF A PORTION OF LOT 1.88 & 2.88 (2017) (10/15/2017)

**ZONE CS**  
USE: SPECIAL PURPOSE  
OWNER: WHEEL DEAL LLC  
SUB LOT 2.3 & 3.0 (2011) (09/15/2011)

**ZONE CS/CR**  
USE: W/ WOODS/STORAGE  
OWNER: WHEEL DEAL LLC

**ZONE M1**  
USE: MARCHANDISING  
OWNER: BURGERWORKS LLC  
SUB LOT 2.88 & A REPAIR OF A PORTION OF LOT 1.88 & 2.88 (2017) (10/15/2017)





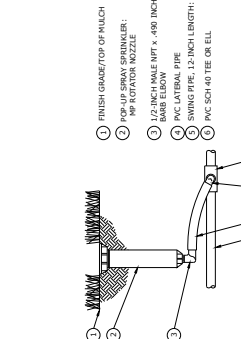


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Tel. 719.471.0707  
Fax 719.471.0207  
www.nesirrigation.com

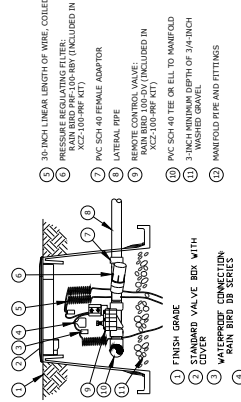
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### IRRIGATION NOTES

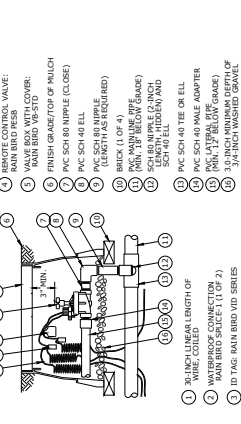
- CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT AT METER.
- CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND PERIODICALLY BACK FLOW PREVENTER OR APPROVED EQUAL.
- CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 18" BELOW FINISH GRADE.
- ALL VALVE BODIES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4" PER SIDE). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, UNITS, AND VALVES.
- CONTRACTOR TO UTILIZE 1/2" POP-UP SPRAY ROOFS FOR ALL VALVE/VEEDED AREAS.
- CONTRACTOR SHALL ADJUST ALL VALVES AND SPRAY NOZZLES FOR OPTIMUM COVERAGE.
- CONTRACTOR SHALL TYPE CLOSED ALL SLEEVES AND SPRAY NOZZLES TO PREVENT DEBRIS FROM ENTERING SLEEVES.
- CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.
- INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM. COORDINATE FINAL CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PRESSURE PIPES ARE AS SHOWN. THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.
- DRAWINGS ARE DIAGNOSTIC. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS. FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
- MINIMUM PIPE SLEEVING SHALL BE 3" FOR ALL LATERAL AND MAIN IRRIGATION LINES.
- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATORS AT THE START OF 2020 WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM THIS SPRING.
  - ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO WANT TO INSTALL WATER-WISE REGULATORS.
  - FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M.
  - PERMITS ARE AVAILABLE FOR CUSTOMERS WHO WANT TO INSTALL WATER-WISE REGULATORS.
  - ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED AN IRRIGATION SCHEDULE.
  - FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.



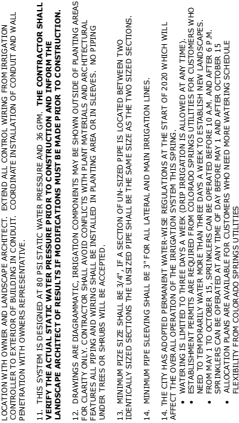
1 AUTOMATIC VALVE ASSEMBLY  
SCALE: NOT TO SCALE



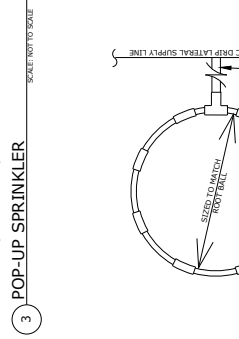
2 AUTOMATIC DRIP VALVE & FILTER ASSEMBLY  
SCALE: NOT TO SCALE



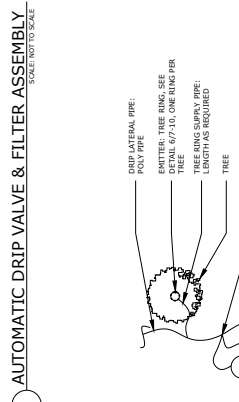
3 AUTOMATIC VALVE ASSEMBLY  
SCALE: NOT TO SCALE



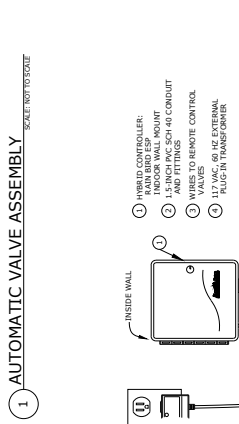
4 WALL MOUNT AUTOMATIC CONTROLLER  
SCALE: NOT TO SCALE



5 TYPICAL DRIP EMITTER PLACEMENT  
SCALE: NOT TO SCALE



6 R.P. BACKFLOW PREVENTER  
SCALE: NOT TO SCALE



7 DRIP EMITTER (TYP.)  
SCALE: NOT TO SCALE



8 RAIN SENSOR ASSEMBLY  
SCALE: NOT TO SCALE



9 TREE RING (TYP.)  
SCALE: NOT TO SCALE



10 RAIN SENSOR ASSEMBLY  
SCALE: NOT TO SCALE



11 R.P. BACKFLOW PREVENTER  
SCALE: NOT TO SCALE



12 DRIP EMITTER (TYP.)  
SCALE: NOT TO SCALE

DATE	BY	REVISION
07/27/2022	BP	PER CPT REVIEW
08/26/2022	BP	PER CPT REVIEW
10/27/2023	BP	PER CPT REVIEW
01/24/2022	BP	PER CPT REVIEW
		COMMENTS







115 S. Weber Colorado Springs, Colorado 715-475-8133  
Architecture & Planning  
**YOW Architects, PC**

710 E FILLMORE ST  
COLORADO SPRINGS, CO 80907

**WHATABURGER**

Project Number  
**21.119**

Date  
05/01/2022  
Drawn by  
MKG  
Checked by  
YOW

REVISIONS  
NO. DATE DESCRIPTION

### KEYNOTES

- K1. PER QUANTITY AREA, SHIELD BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K2. PER QUANTITY AREA, BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K3. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K4. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K5. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K6. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K7. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K8. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
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- K19. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
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- K34. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
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- K36. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K37. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K38. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K39. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.
- K40. BRUSH BRONZE PAVEMENT FINISH SHALL BE USED.

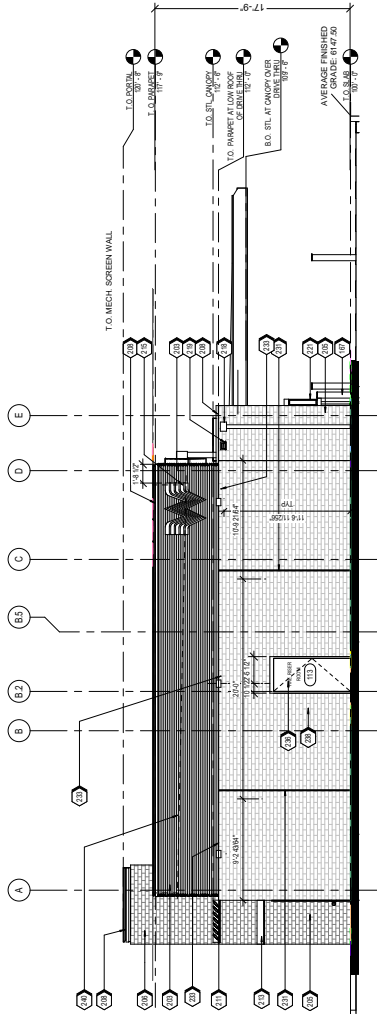
### CODE TO EXT. MATERIALS

- GL-01 VISION GLASS  
BASIS OF DESIGN SINGULAR SINGULAR CLEAR  
SQUARE GLASS UNITS (SGU) WITH  
EXTERIOR PROTECTION (X)  
FUNCTION: GLASS CURTAIN WALL  
MANUFACTURER: SINGULAR
- GL-02 BRUSH BRONZE  
BASIS OF DESIGN SINGULAR SINGULAR  
FUNCTION: CURTAIN WALL
- GL-03 SIMULATED AND ETCHED VISION GLASS

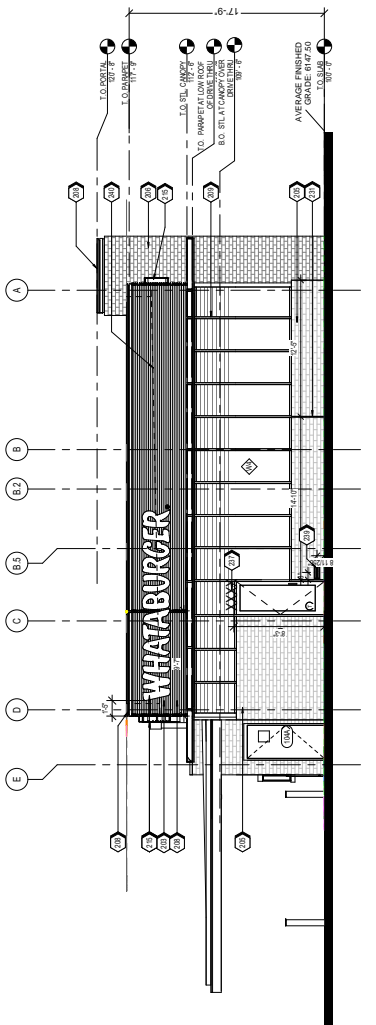
- SS-01 STOREFRONT SYSTEM  
BASIS OF DESIGN ALUMINUM  
FINISH: CLEAR ANODIZED
- MF-01 METAL PANEL  
STYLE: BR-12 PANEL  
COLOR: LEAD WHITE
- MF-02 PRE-FINISHED VINYL  
FUNCTION: CURTAIN WALL  
COLOR: LEAD WHITE  
TOUCH UP: R-1
- BR-01 BRICK  
MANUFACTURER: ADI  
STYLE: FULL  
COLOR: PATINA  
FUNCTION: EXTERIOR WALL
- BR-02 BRICK  
MANUFACTURER: ADI  
STYLE: FULL  
COLOR: PATINA  
FUNCTION: EXTERIOR WALL
- MC-01 MORTAR  
MANUFACTURER: BASE LINE GYPSUM  
COLOR: SINGULAR GRAY (PERMIT) TO  
DEVELOPMENT STANDARD
- MC-02 METAL COPING  
MANUFACTURER: BERKSHIRE  
COLOR: LEAD WHITE TO MATCH BR-01
- PS-01 PLASTER  
BASIS OF DESIGN MANTON WALL SYSTEM  
FUNCTION: EXTERIOR WALL  
FINISH: PLASTER
- ME-01 METAL SOFFIT  
MANUFACTURER: BERKSHIRE  
STYLE: R-64  
FINISH: PAINTED BRUSH BRONZE GRAY

### NOTES

- 1. REFER TO THE ARCHITECT'S NOTES FOR THE FINISHES.
- 2. REFER TO THE ARCHITECT'S NOTES FOR THE FINISHES.
- 3. REFER TO THE ARCHITECT'S NOTES FOR THE FINISHES.



**A2**  
NORTH ELEVATION  
3/16" = 1'-0"



**A1**  
SOUTH ELEVATION  
3/16" = 1'-0"



