

ALICE BEMIS TAYLOR CENTER FOR EARLY CHILDHOOD EDUCATION

415 SAHWATCH STREET, COLORADO SPRINGS, COLORADO 80903
MINOR IMPROVEMENT PLAN

GENERAL NOTES

1. A minimum of 3-foot clearance around the circumference of all hydrants will be kept clear of any physical or visual obstructions of the hydrant.
2. FEMA, referencing Flood Insurance Map, Map Number 08041C0729G effective on 12.07.2018, indicates this parcel of land is in Zone X (Area of minimal flood hazard).
3. Phasing: The existing day nursery structure will need to remain intact and occupied for the duration of construction. After the completion of the new building the existing day nursery will be demolished, and the new parking lot will be constructed.
4. The site is currently zoned as FBZ-CEN
5. Signage is not approved per this plan. A separate sign permit is required.
6. There is a need for a playground fencing warrant.
7. Owner is responsible for maintaining the public and private improvements within the public right-of-way immediately adjacent to the site.
8. Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per the City's standard drawings and specifications. City's Engineering Development Review Inspector will have the final authority on accepting the public improvements.
9. Installation of electrical devices in the public ROW shall be performed in accordance with the City Specification Section 1001 and complete the Colorado Springs Utilities "Electric Inspection in the Right-of-Way Certificate" in accordance with Utilities requirements for electrification. The certificate shall also be provided to the City Inspector.
10. All private to public storm sewer connections must be inspected by an Engineering Development Review Inspector.
11. All existing curb, gutter, sidewalks, and pedestrian ramps posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current city engineering standards will need to be removed and replaced prior to issuing the certificate of occupancy. An on-site meeting can be set up with the Engineering Development Review Inspector to determine what, if any, improvements are required. The inspector can be reached at 719-385-5977.
12. Prior to installing the public ROW improvements, submit street and signage construction plans to EDRO and Traffic Engineering through our electronic review system called ProjectDox for review and approval. Financial assurances for all public ROW improvements shall be posted to the City prior to approving the construction plans. The amount to be submitted to the City will be agreed upon at that time. The public ROW improvements will follow EDRO's probationary and final street acceptance procedures. Reference chapter 11 in the subdivision policy manual for information.
13. All street trees and streetscape improvements located in the ROW will be maintained by the abutting property owner.

ADA NOTE

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the city of Colorado Springs Does not assure compliance with the ADA or any other federal or state accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with federal and state accessibility laws lies with the property owner.

SITE DATA

Property Address:	415 Sahwatch Street Colorado Springs, CO 80903
Owner/Developer:	Child Nursery Centers Inc, 104 E. Rio Grande Street Colorado Springs, CO 80903 719-632-1754
Applicant/Planner	RTA Architects 19 S. Tejon St. Suite #300 Colorado Springs, CO 80903 719-471-7566
Civil Engineer	JPS Engineering 19 E. Williamette Ave. Colorado Springs, CO 80903
Landscape Architect	N.E.S. INC. 619 NORTH CASCADE AVE. SUITE #200 Colorado Springs, CO 80903
Architect	RTA Architects 19 S. Tejon St. Suite #300 Colorado Springs, CO 80903
Development Schedule:	2022
Site Area:	0.66 (AC) 28,620 (SF)
Disturbed Area:	0.33 (AC) 14,310 (SF)
Zoning:	FBZ-CEN Zoned
Current Use:	Music School
Proposed Use:	Child Care
Existing Building Size:	17,000 (SF)
Proposed Building Size:	16,496 (SF)
Existing Building Height:	31' - 0" / 2 Stories with Basement
Proposed Building Height:	31' - 0" / 2 Stories with Basement
Maximum Building Height:	55' - 0"
Parking Required:	
Day Nursery	Exempt
- ADA Accessible	2 parking spaces
Parking Provided:	
Day Nursery	27 standard stalls
- ADA Accessible	2 parking spaces
FBZ Frontage Type:	Common Lawn
FBZ Building Type:	Civic Building

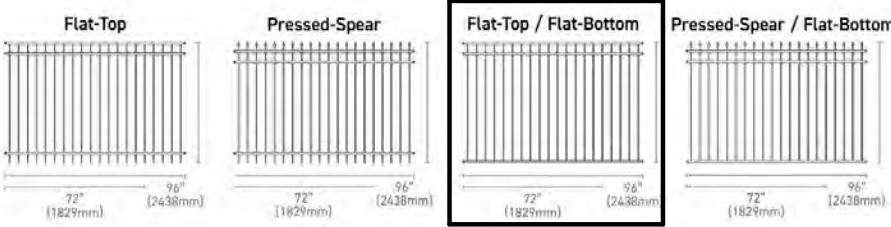
LEGAL DESCRIPTIONS

LOT 1 BLK 1 RECTORS SUB

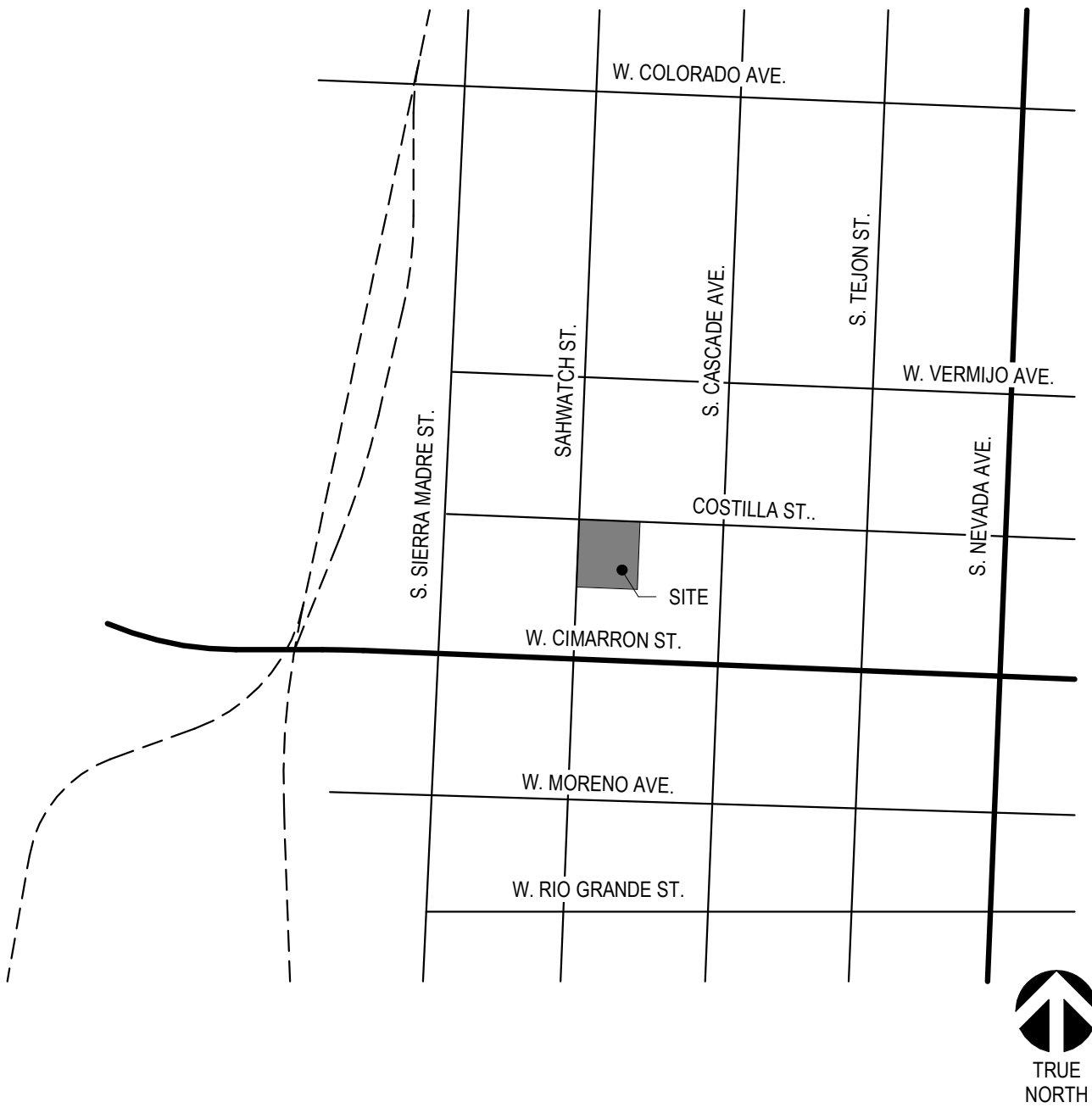
FENCE PRODUCT INFORMATION

MANUF: FORTRESS BUILDING PRODUCTS
STYLE: A2 COMMERCIAL
MATERIAL: POWDERCOATED ALUMINUM
COLOR: BLACK
HEIGHT: 5'-0" @ PERIMETER
3'-0" BETWEEN PLAYGROUNDS

PANELS & GATE STYLES



VICINITY MAP



EXISTING CONDITIONS PHOTOS



EXISTING BUILDING EAST FACADE



EXISTING BUILDING WEST FACADE



EXISTING TREES AND METERED PARKING CONDITION ALONG SAHWATCH



EXISTING TREES AND METERED PARKING CONDITION ALONG SAHWATCH

PROPOSED RENDERINGS



LOOKING EAST FROM SAHWATCH STREET



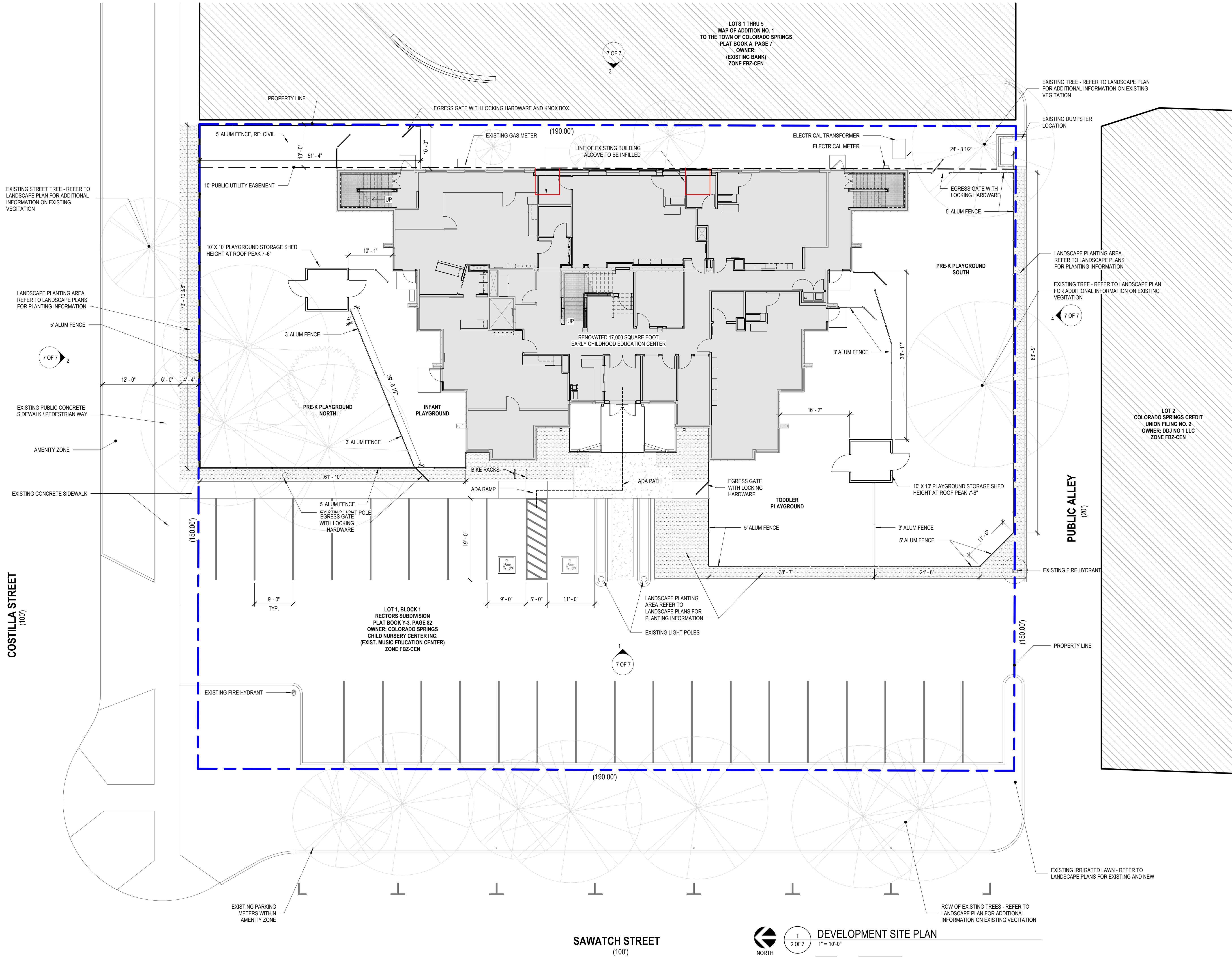
LOOKING EAST DOWN PUBLIC ALLEY FROM SAHWATCH
WITH FUTURE DEVELOPMENT MASSING TO THE SOUTH



LOOKING SOUTH WEST FROM COSTILLA STREET

Autodesk Docs://2024-064.00 Sawatch Early Connections/2024-064.00 Sawatch Early Connections_A34.rvt
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COSTILLA STREET
(100')

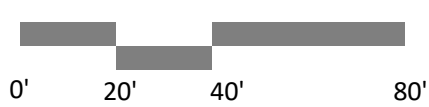


SAWATCH STREET
(100')



1
2 OF 7

DEVELOPMENT SITE PLAN
1" = 10'-0"



ALICE BEMIS TAYLOR CENTER
FOR EARLY EDUCATION
415 SAWATCH
COLORADO SPRINGS, CO 80903

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SHEET TITLE
SITE PLAN

RTA PROJECT NUMBER
2024-064.00
DATE
03/11/25

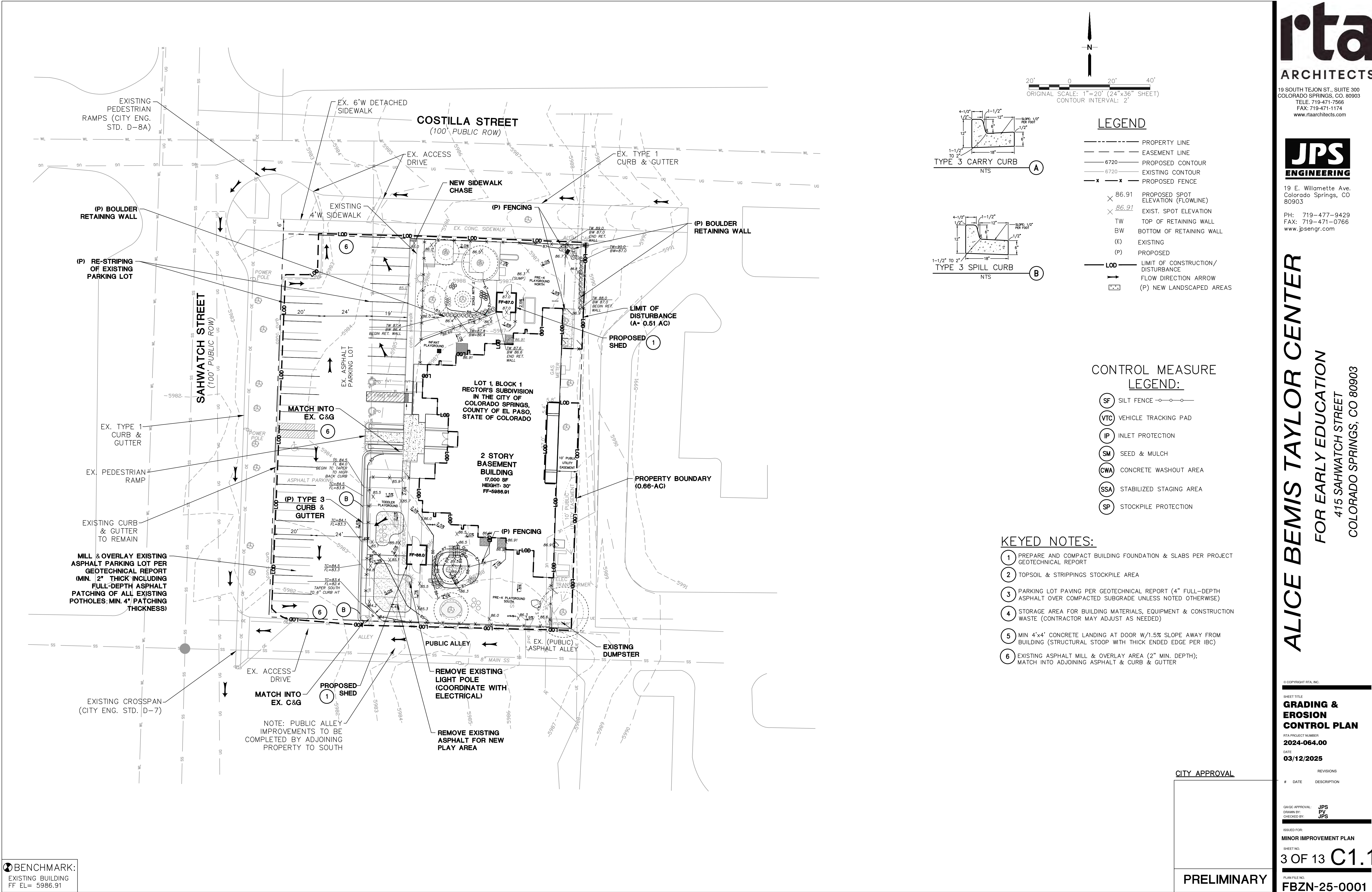
REVISIONS
DATE DESCRIPTION

QA/QC APPROVAL:
DRAWN BY: CC
CHECKED BY: CC

ISSUED FOR:
MINOR IMPROVEMENT PLAN

SHEET NO.
2 OF 13

PLAN FILE NO.
FBZN-25-0001



BENCHMARK:
EXISTING BUILDING
FF EL= 5986.91

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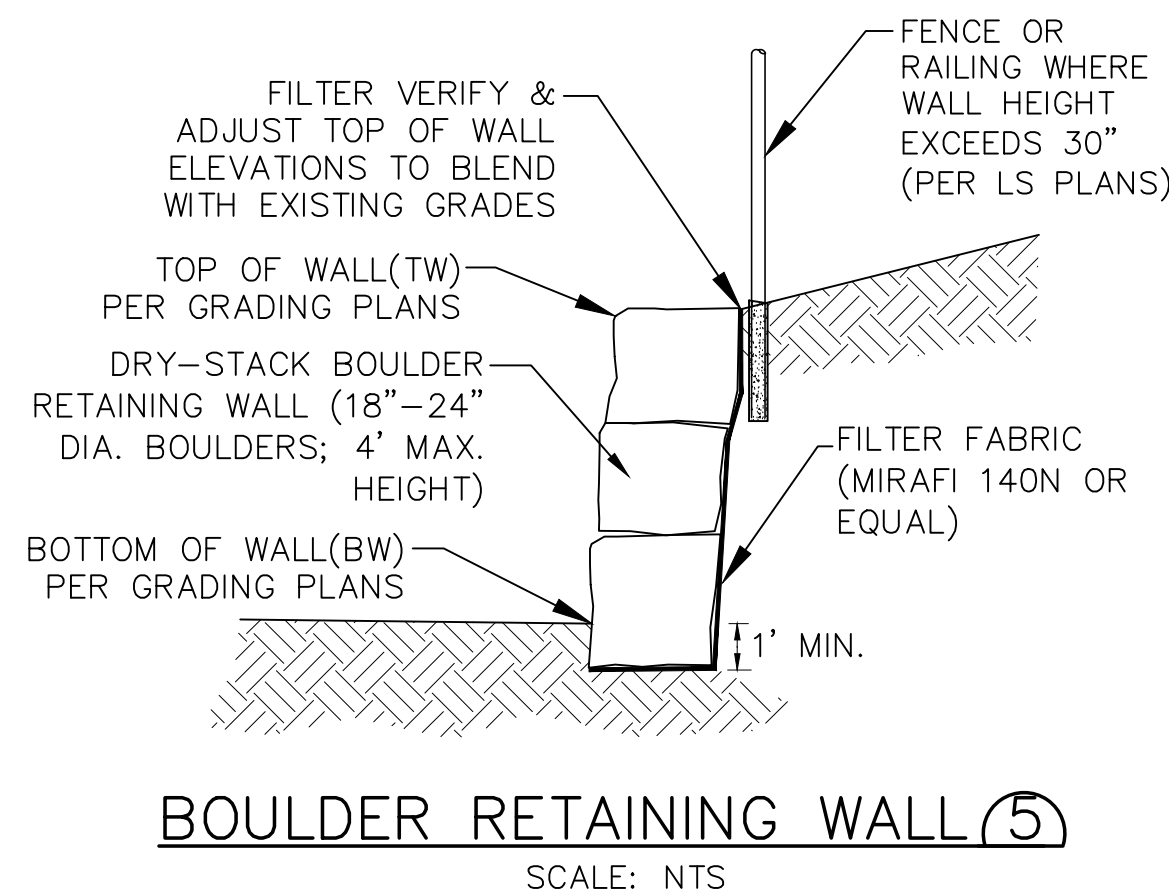
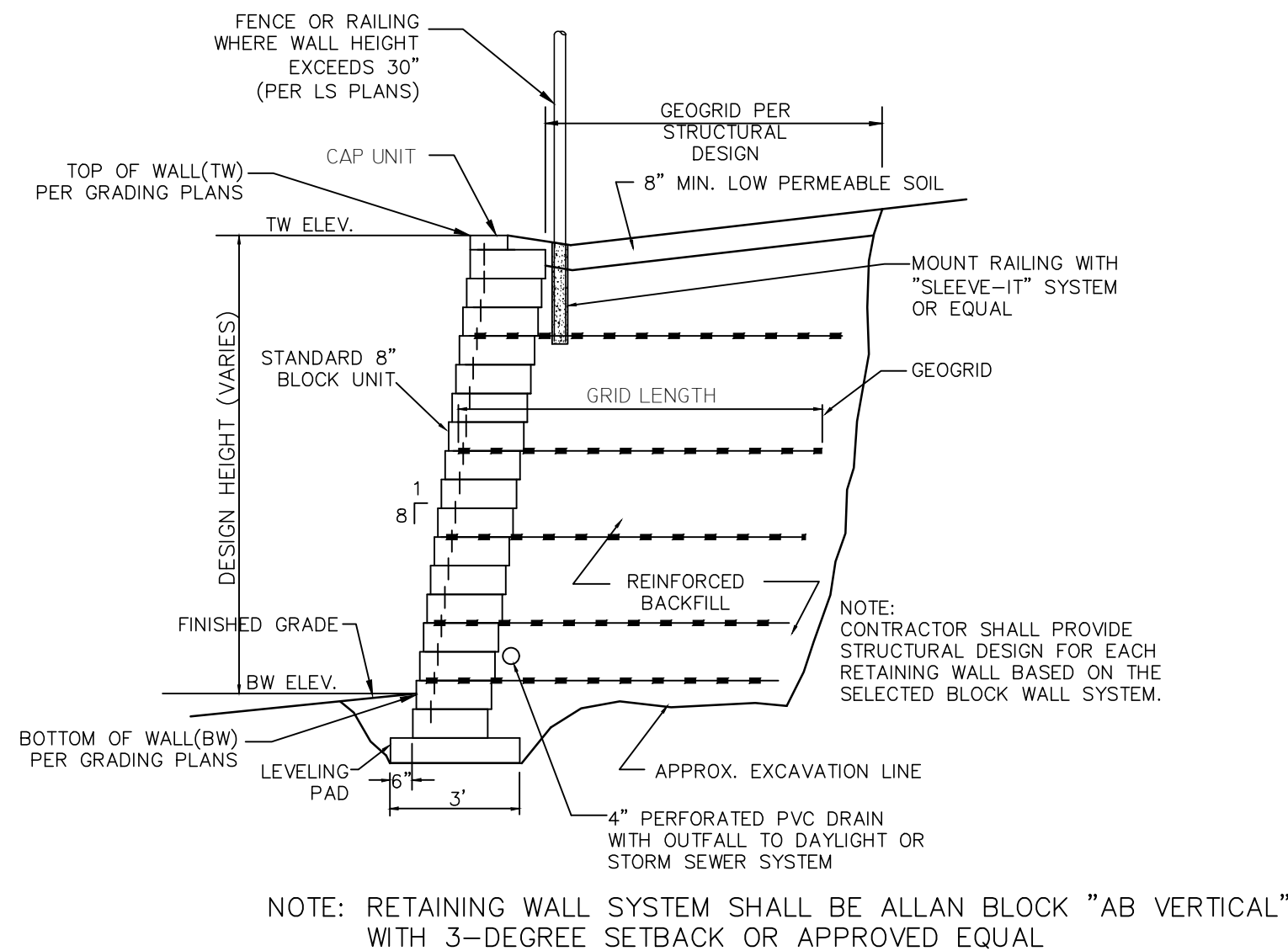
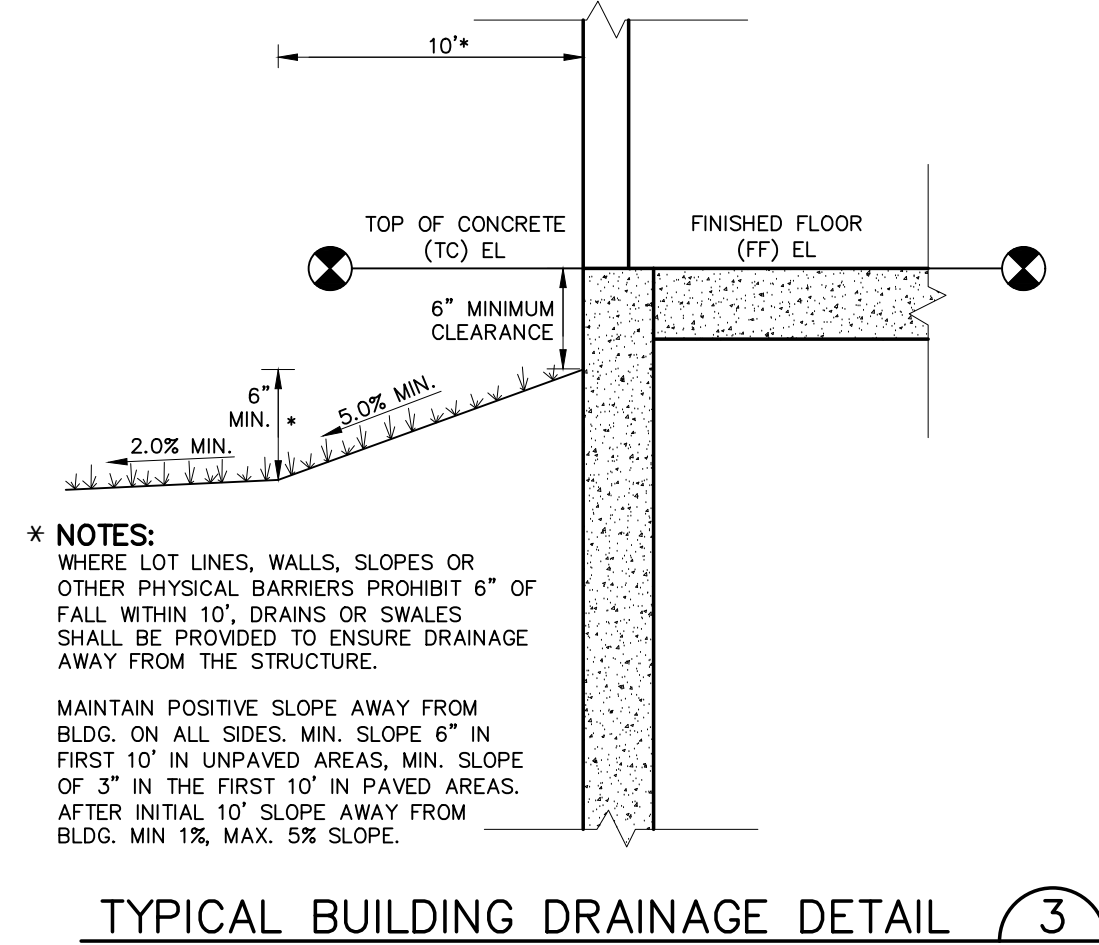
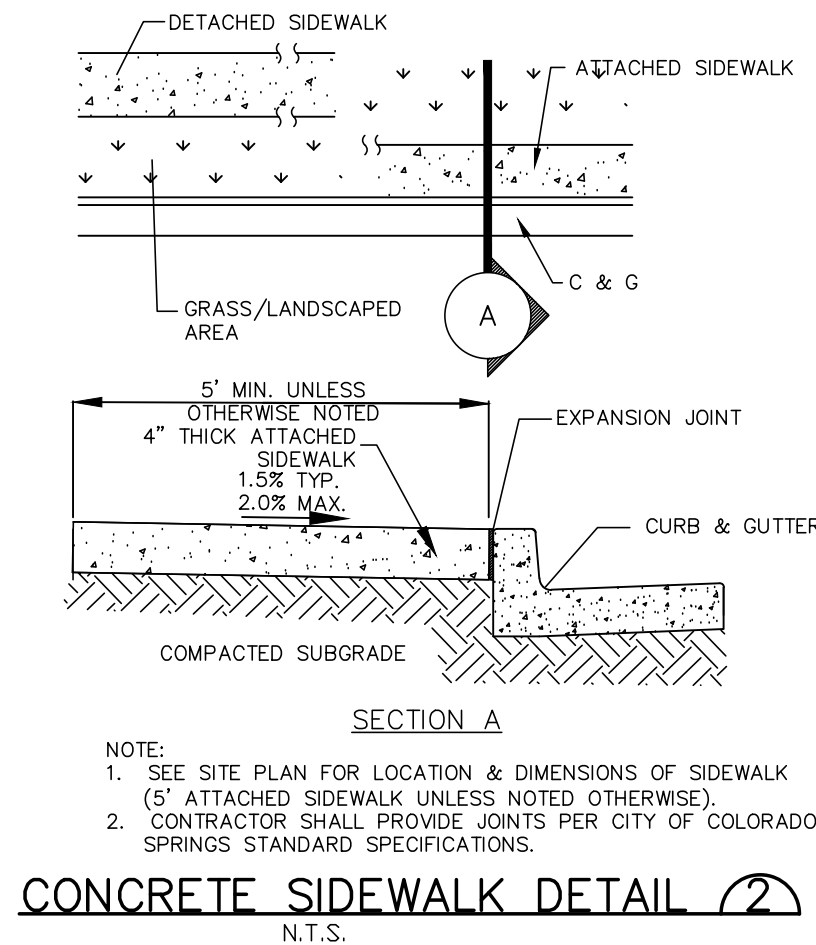
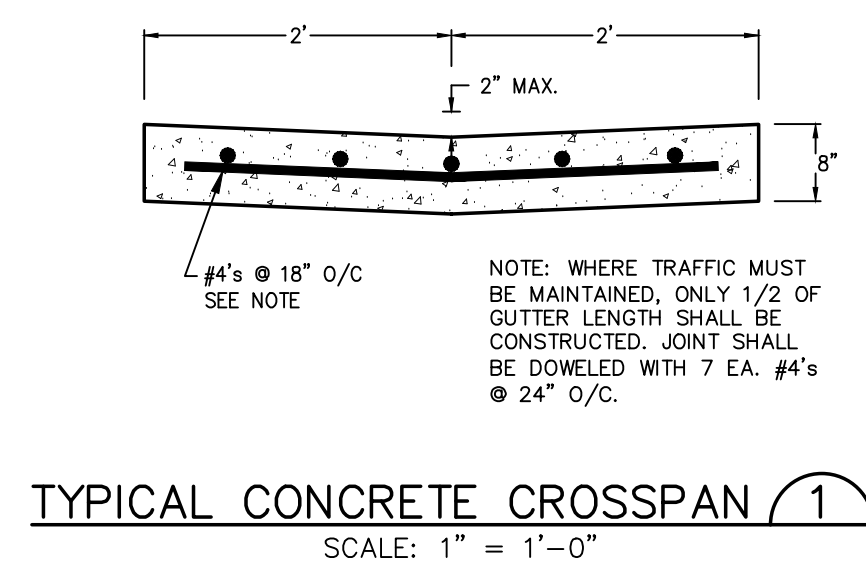
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SHEET TITLE
GRADING & EROSION CONTROL PLAN
RTA PROJECT NUMBER
2024-064.00
DATE
03/12/2025
REVISIONS

#	DATE	DESCRIPTION
1		

DWG. APPROVAL: JPS
CHECKED BY: JPS
ISSUED FOR:
MINOR IMPROVEMENT PLAN
SHEET NO.
3 OF 13
PLAN FILE NO.
FBZN-25-0001

CITY APPROVAL

PRELIMINARY



General Notes

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the face of the curb and not be more than 8 inches from any point on the face of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detection.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, including flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- All ramp joints and grade breaks shall be flush (0%+/-). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications to avoid changing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-rideable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curbs, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- Ramps shall align with each other across the street.

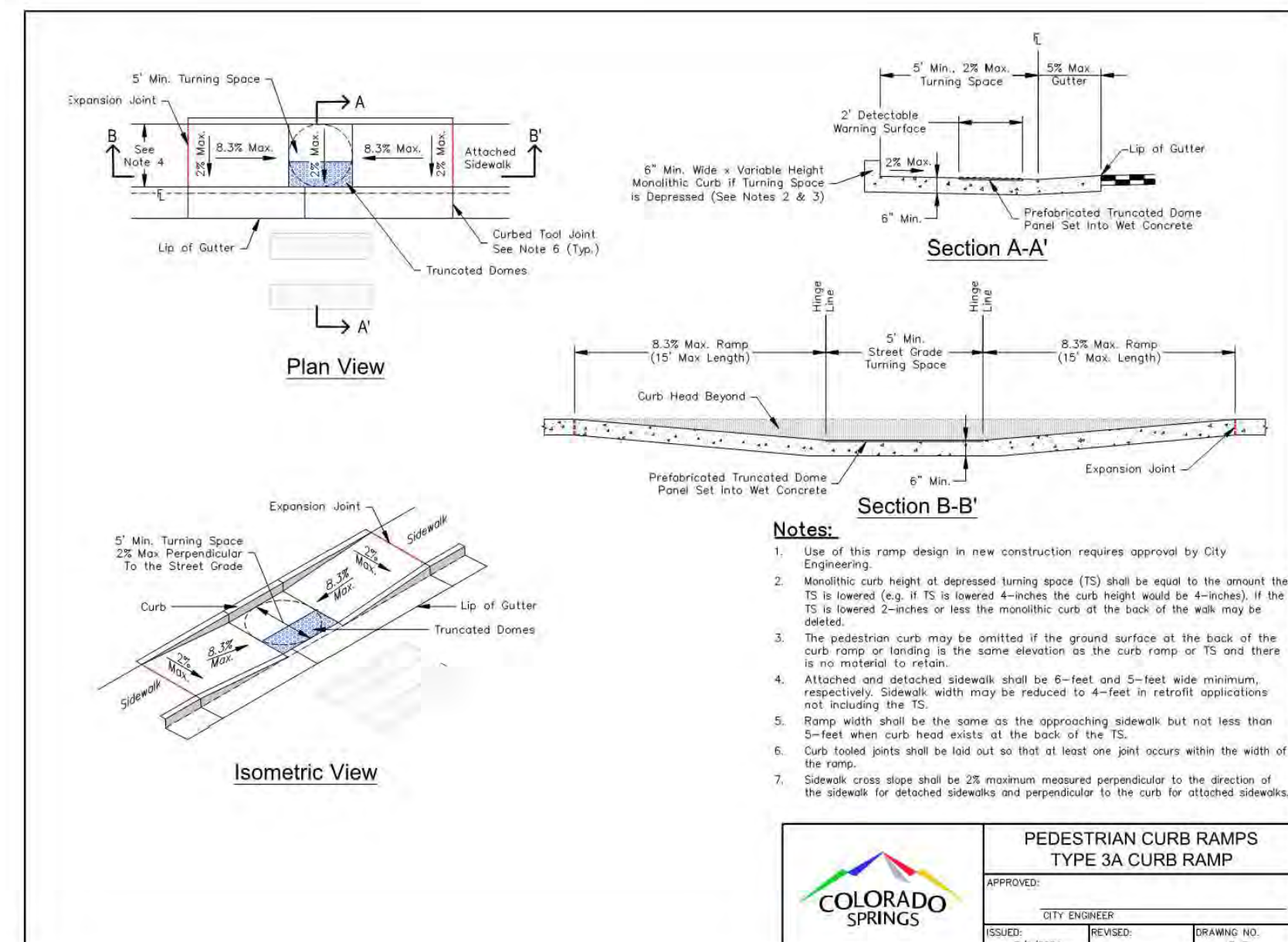
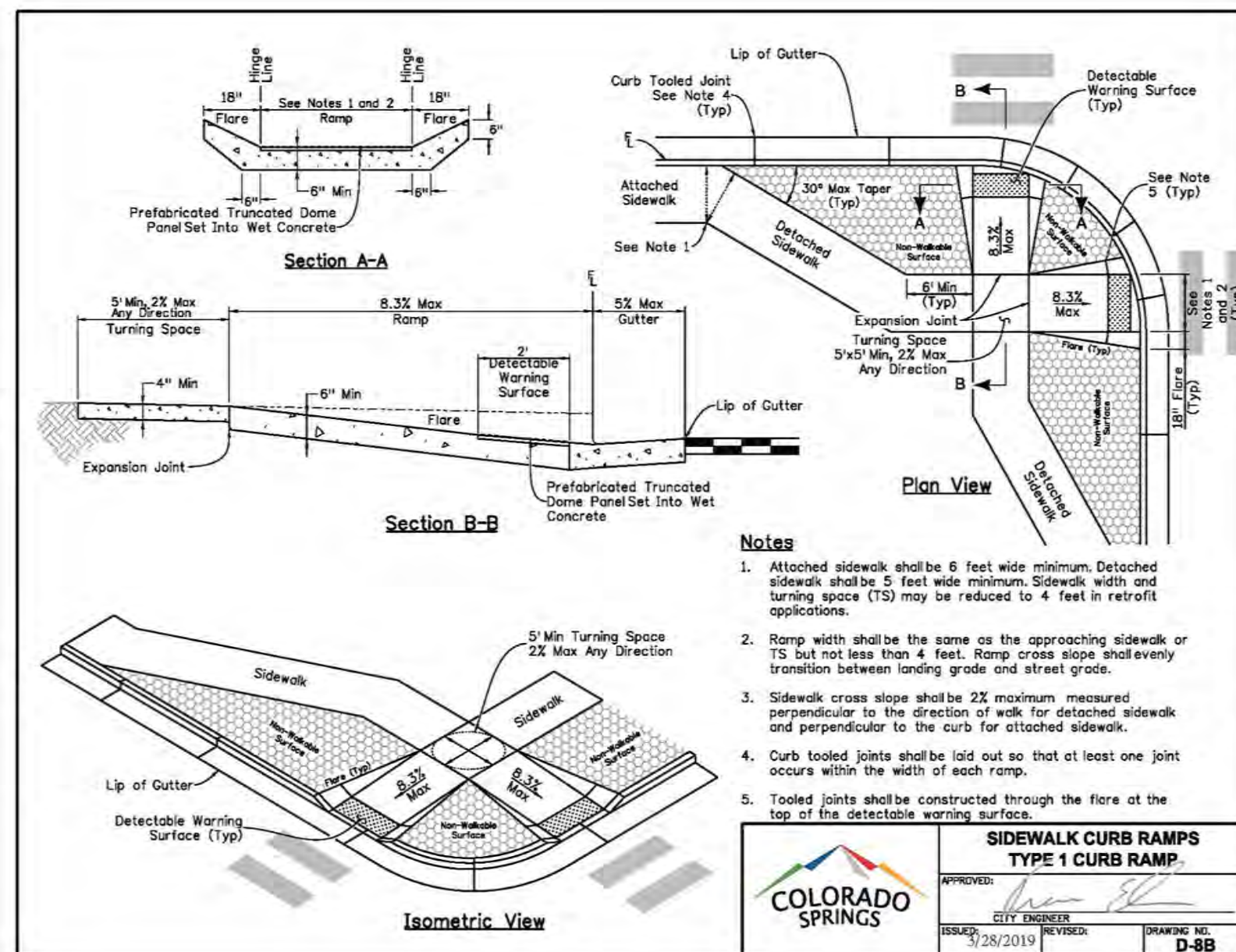
Slope Table
The table below is intended to be used to convert between the percent (rise/run) and ratio (vertical) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.4%	8.3%	10.0%
RATIO	1:200	1:100	1:50	1:20	1:13	1:12	1:10

Ramp Cross Slope Transition To Match Roadway Profile
Ramp cross slopes and turning spaces shall be:
A. 2% max when a yield or stop controls present.
B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

SPREAD THE CROSS SLOPE TRANSITION BETWEEN THE TURNING SPACE GRADE AND STREET GRADE RAMP OVER THE LENGTH OF THE RAMP

COLORADO SPRINGS
APPROVED: [Signature] DATE: 5/28/2019
CITY ENGINEER
DESIGNED: [Signature] REVIEWER: [Signature] DRAWING NO: D-8A



CITY APPROVAL

RTA PROJECT NUMBER: **2024-064.00**
DATE: **03/12/2025**
ISSUED FOR: **MINOR IMPROVEMENT PLAN**

REVISIONS

#	DATE	DESCRIPTION
1		

DESIGNED BY: **JPS**
CHECKED BY: **JPS**
ISSUED: 3/12/2025
REVIEWED: [Signature]
DRAWING NO: D-8C

4 OF 13 C1.2
FBZN-25-0001

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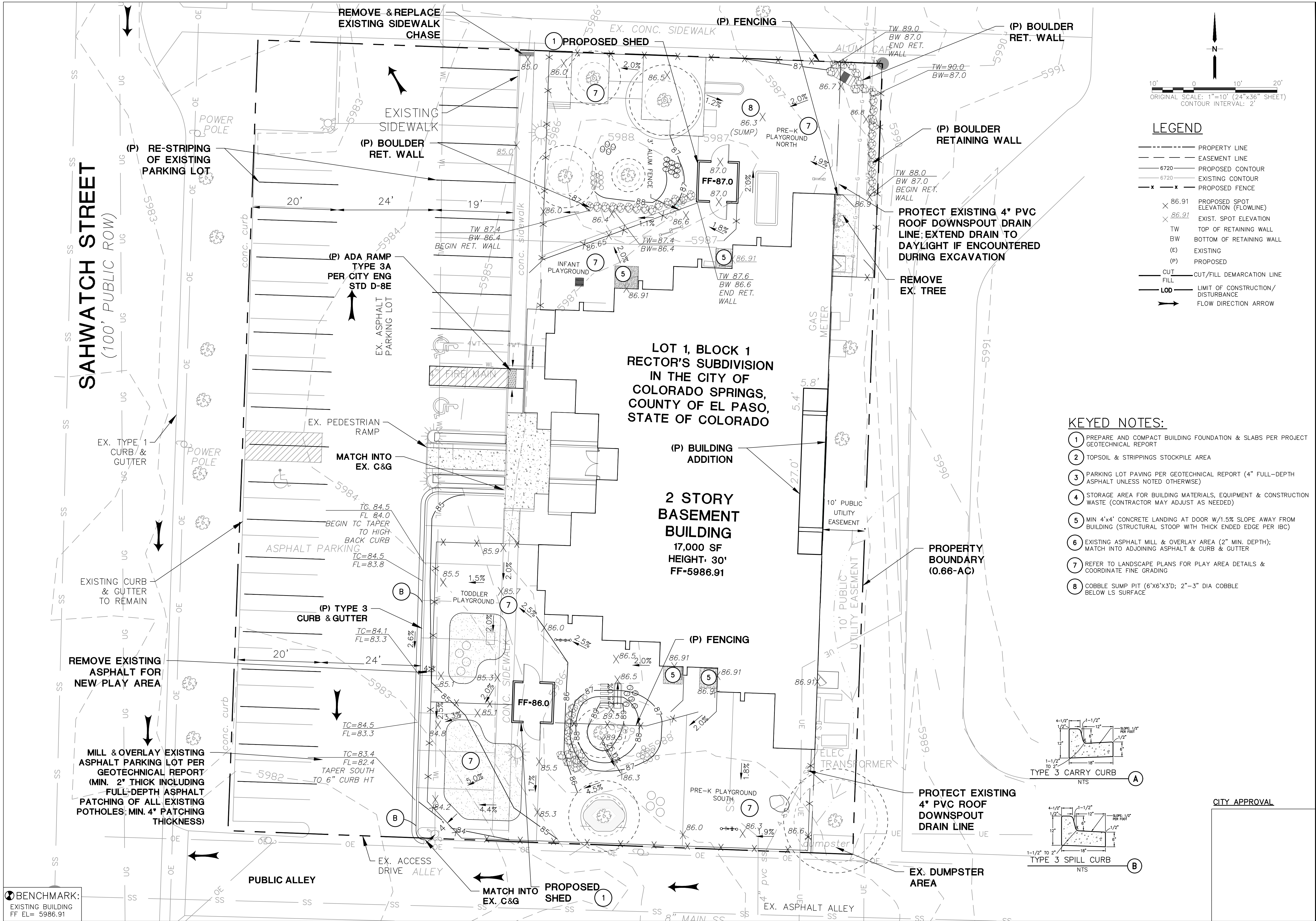
CIVIL DETAILS
RTA PROJECT NUMBER: **2024-064.00**
DATE: **03/12/2025**
ISSUED FOR: **MINOR IMPROVEMENT PLAN**

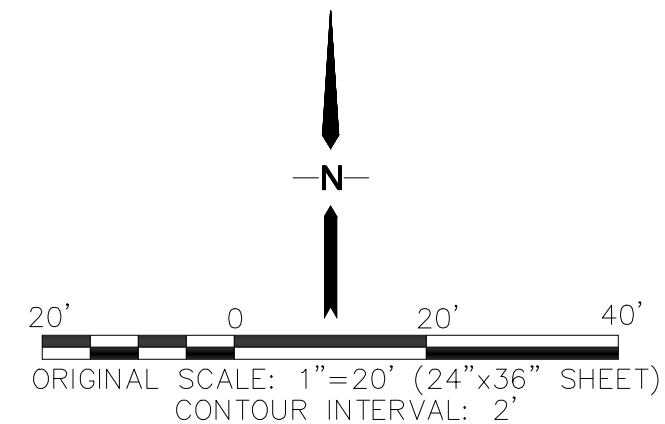
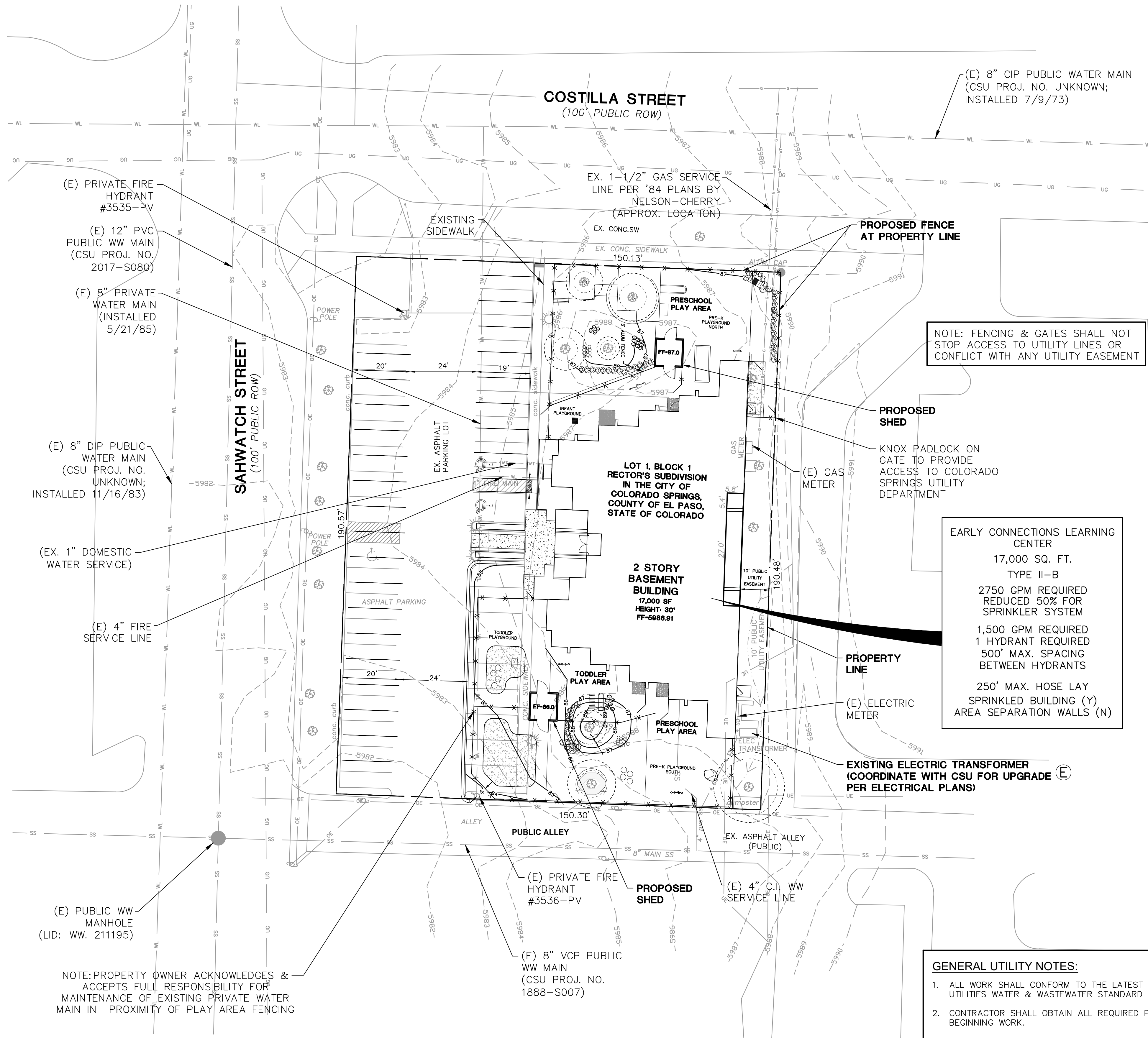
REVISIONS

#	DATE	DESCRIPTION
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CHECKED BY: **JPS**
ISSUED: 3/12/2025
REVIEWED: [Signature]
DRAWING NO: D-8C

4 OF 13 C1.2
FBZN-25-0001





LEGEND:		
NEW	EXISTING	
---	---	SECTION LINE - NEW/EXISTING
---	---	EASEMENT LINE - NEW/EXISTING
6280	6280	CONTOUR - NEW/EXISTING
---	---	PROPERTY LINE - NEW/EXISTING
* * * *	○	FENCE - NEW/EXISTING
— OHE — OHE —	— OHE — OHE —	OVERHEAD ELECTRIC LINE W/ POWER POLE NEW/EXISTING
— UGE — UGE —	— UGE — UGE —	UNDERGROUND ELECTRIC LINE NEW/EXISTING
— UGE — UGE —	— UGE — UGE —	UNDERGROUND ELECTRIC - NEW/EXISTING
— TEL — TEL —	— TEL — TEL —	TELEPHONE - NEW/EXISTING
— GAS — GAS —	— GAS — GAS —	GAS - NEW/EXISTING
— WT — WT —	— WT — WT —	WATER - NEW/EXISTING
— 4 RW —	— 4 RW —	RAW WATER - NEW/EXISTING
— SS-4 —	— SS-4 —	SANITARY SEWER LINE - NEW/EXISTING
—	---	BACK OF CURB
—	---	LIP OF CURB
—	---	CURB & GUTTER - NEW/FUTURE
		SECTION NUMBER
		1 P1
		SHEET ON WHICH SECTION IS SHOWN
		(E) EXISTING
		(P) PROPOSED

KEYED NOTES:

- (E) COORDINATE WITH CSU FOR ELECTRIC SERVICE CONNECTIONS

CITY APPROVAL

CSU NOTE: CSU FIELD ENGINEER TO DETERMINE FINAL GAS/ELECTRIC METER, TRANSFORMER AND SERVICE LOCATIONS. CONTACT FIELD ENGINEERING AT 719-668-4985 (GAS) OR 719-668-5564 (ELECTRIC) WITH ANY QUESTIONS.

NOTE: ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR

BENCHMARK:
EXISTING BUILDING
FF EL= 5986.91

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ALICE BEMIS TAYLOR CENTER
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415 SAWATCH STREET
COLORADO SPRINGS, CO 80903

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SHEET TITLE
**PRELIMINARY
UTILITY & PUBLIC
FACILITIES PLAN**

RTA PROJECT NUMBER
2024-064.00

DATE
03/12/2025

REVISIONS
DATE DESCRIPTION

DWG APPROVAL: **JPS**
DRAWN BY: **PV**
CHECKED BY: **JPS**

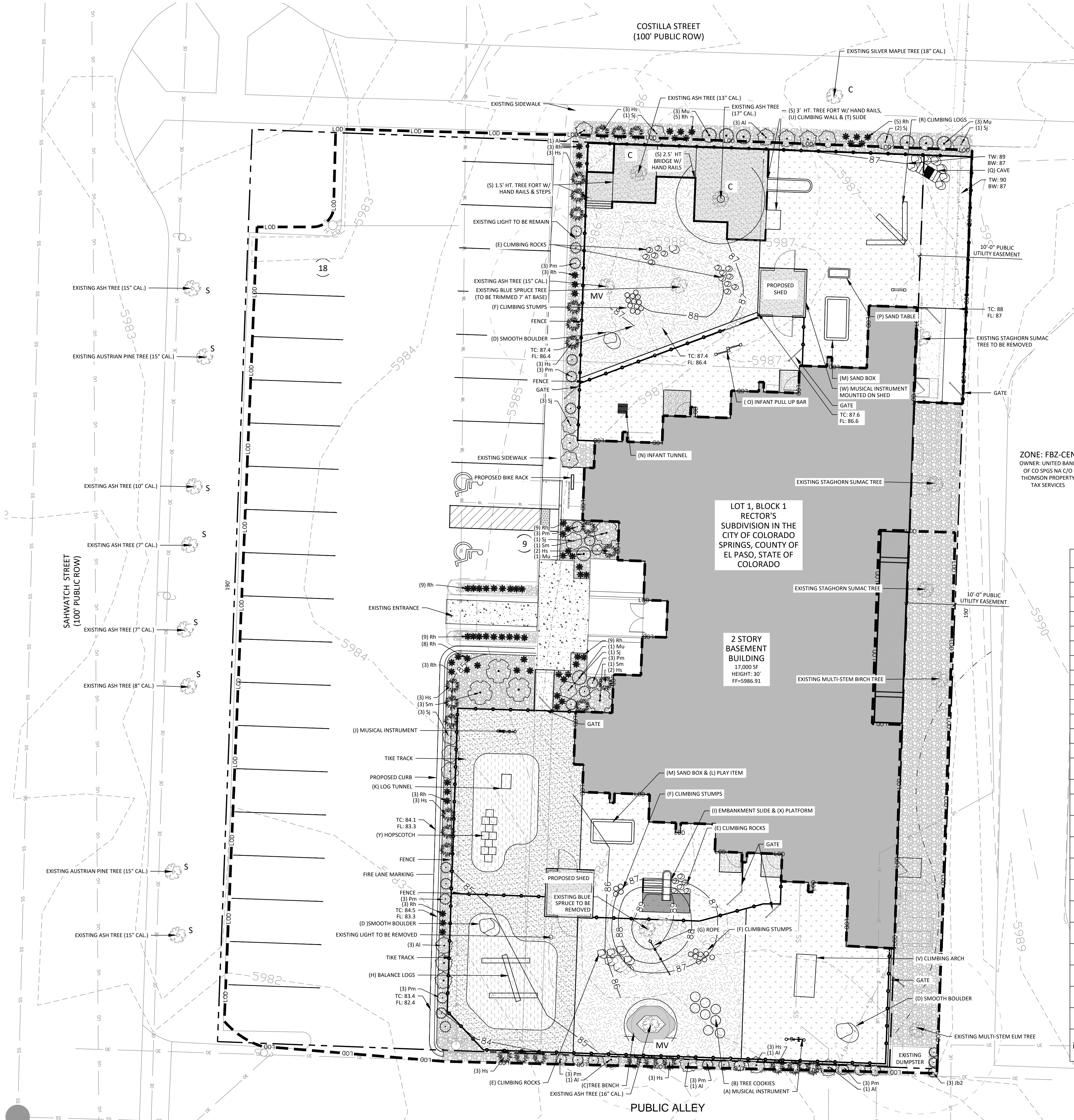
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MINOR IMPROVEMENT PLAN

SHEET NO.
6 OF 13 U1

PLAN FILE NO.
FBZN-25-0001

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PLANT SCHEDULE

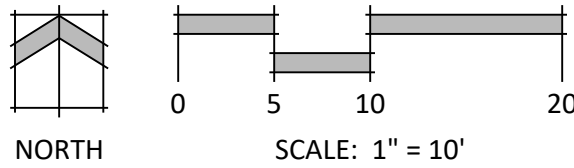
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	CODE REQS
ANNUALS								
	Rh	67	Rudbeckia hirta / Black-eyed Susan	2'	1.5'	1 GAL	CONT	
DECIDUOUS SHRUBS								
	Al	11	Amorpha canescens / Leadplant	2.5'	3.5'	1 GAL	CONT	- (signature)
	Sj	12	Spiraea japonica / Japanese Spirea	2'-3'	3'-4'	5 GAL	CONT	- (signature)
	Sm	5	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	4'-6'	4'-6'	5 GAL	CONT	Screen/Wall
EVERGREEN SHRUBS								
	Jb2	3	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	8'	2'-3'	6"	CONT	Wall/Screen/Trash
	Pm	27	Pinus mugo 'Mops' / Mops Mugo Pine	2'-3'	2'-3'	5 GAL	CONT	- (signature)
GRASSES								
	Hs	29	Helictotrichon sempervirens / Blue Oat Grass	2'-4'	2'-4'	1 GAL	CONT	SCREEN
	Mu	8	Muhlenbergia reverchonii 'PUND01S' / Undaunted® Ruby Muhly	2'-4'	2'-4'	1 GAL	CONT	- (signature)

Percent Signature Shrubs**:
(70% minimum - Policy 311.3K)
Signature Shrubs: 95
Total No. of Shrubs: 95=100% Signature Shrubs

GROUND COVER LEGEND

	ARTIFICIAL PLAYGROUND TURF	3,840 sf
	ROCK MULCH 2"-4" River Rock	4,262 sf
	ENGINEERED WOOD FIBER	2,569 sf
	POURED-IN-PLACE RUBBER BEIGE COLOR	1,103 sf
	POURED-IN-PLACE RUBBER 2 GREEN COLOR	656 sf

NATURAL PLAYGROUND COMPANY			
DETAIL #	TITLE	MODEL #	QUANTITY
A	XYLOPHONE	NMS-MWX	1
B	TREE COOKIES	TSCLP-TC	8
C	TREE BENCH	NF-TBto11	1
D	BOULDER	BR-BRP	3
E	ROCK FOR SCRAMBLES	BR-RS	36
F	SITTING STUMPS	TSCLP-SS	24
G	ROPE PULL UP	MRCF-RPU	1
H	LOG MAZES	LOG-MAZE	1
I	3' EMBANKMENT SLIDE	EMB-SL	1
J	LISTENING TUBES	NMS-LT	1
K	HOLLOW LOG	FTTP-HL	1
L	SAND WHEEL	HPWP-WW	1
M	RETAINER KIT FOR FREEFORM SAND PLAY	RETAIN	2
N	CRAWL TUNNEL	UBP-LPT240	1
O	PULL UP BAR FOR INFANTS	MRCF-IPB	2
P	RAISED SAND PLAY TABLE	SPT-RSP	1
Q	CAVE (SHALLOW)	GSFD-CAV	1
R	LOG SCULPTURE	FTWPT-FT	1
S	CUSTOM TREE DECKS	GSFP-TD	3
T	3' SLIDE FOR TREE DECK	TSCLP-TODCL	1
U	3' CLIMBING WALL FOR TREE DECK	TSCLP-TODCL	1
V	CLIMBING ARCH	CLIMBARCHNEW	1
W	THUNDER DRUM	NMS-THD	1
X	EMBANKMENT SLIDE PLATFORM	EMB-SLACC	1
Y	HOPSCOTCH (SMALL)	TEMPLATES	1
Email: info@naturalplaygrounds.com		https://www.naturalplaygrounds.com/contact	888-290-8405



NOT FOR CONSTRUCTION

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Land Planning
Landscape Architecture
Urban Design

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SHEET TITLE
FINAL LANDSCAPE PLAN
RTA PROJECT NUMBER
2024-064.00
DATE
01-06-2025
REVISIONS
CH 3.12.25 PER CITY COMMENTS

DRAWN BY: HELMLINGER/ROMAN
CHECKED BY: C.LIEBER
ISSUED FOR:
ISSUED FOR BIDS/PERMIT
SHEET NO.
8 OF 13 LS 3.0

LANDSCAPE NOTES

1. SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS. RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
- | | SHRUB-BROADLEAF | SHRUB-CONIFER |
|-------------------|-----------------|----------------|
| NITROGEN | .01 LBS/1000SF | .02 LBS/1000SF |
| PHOSPHORUS (P205) | .01 LBS/1000SF | .01 LBS/1000SF |
| POTASSIUM (K2O) | 0 LBS/1000SF | 0 LBS/1000SF |
| SULFUR (SO4-S) | 0 LBS/1000SF | 0 LBS/1000SF |
| MANGANESE | 0 LBS/1000SF | 0 LBS/1000SF |
- TRI-MIX III AS SUPPLIED BY C&C SAND
*TO BE APPLIED AS BACKFILL IN PLANTING PITS
*SODIUM- CAUTION: REFERENCE ANALYSIS RESULTS
2. A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
4. FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
5. FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
6. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
7. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
8. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
9. ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
10. EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
11. ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
12. SOD SHALL BE KENTUCKY BLUEGRASS BLEND
13. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE DETAILS.
14. ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8" USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
15. ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
16. ROCK MULCH: INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
17. AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
18. INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
19. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
20. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

1. A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPING OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
3. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WIT THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
4. COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
5. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE FILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
6. TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
7. TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

LANDSCAPE REQUIREMENTS

Landscape Setbacks

See Code Section/Policy 7.4.905

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.
Costilla St	Collector	-- / --	150'	1 / 25'	6 / 3
Sahwatch St	Commercial	-- / --	190'	1 / 25'	8 / 8

Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
30 / 30	-- / --	C	75% / 75%
-- / --	-- / --	S	75% / 75%

Motor Vehicle Lots

See Code Section/Policy 7.4.907






No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required /Provided	Plant Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)
27	2 / 2	MV	----	--
2/3 Length of Frontage (ft.)	Length of Screening Wall or Berm Provided	Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Req. (50%) / Prov.	Percent Ground Plane Veg. Req. / Prov.
--	--	-- / --	-- / --	75% / 75%

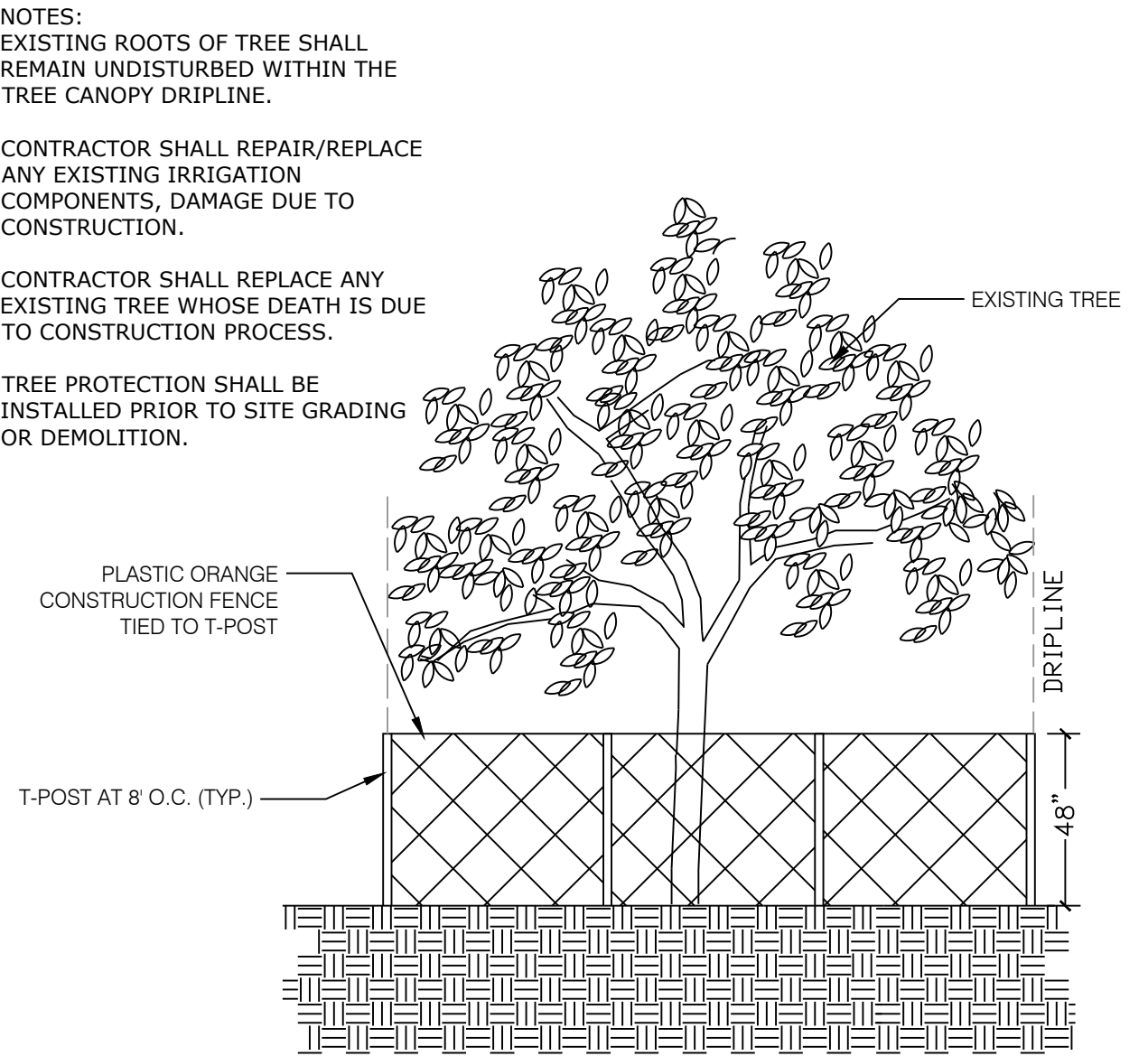
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	CODE REQ5
ANNUALS								
	Rh	67	Rudbeckia hirta / Black-eyed Susan	2'	1.5'	1 GAL	CONT	
DECIDUOUS SHRUBS								
	Al	11	Amorpha canescens / Leadplant	2.5'	3.5'	1 GAL	CONT	- (signature)
	Sj	12	Spiraea japonica / Japanese Spirea	2'-3'	3'-4'	5 GAL	CONT	- (signature)
	Sm	5	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	4'-6'	4'-6'	5 GAL	CONT	Screen/Wall
EVERGREEN SHRUBS								
	Jb2	3	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	8'	2'-3'	6'	CONT	Wall/Screen/Trash
	Pm	27	Pinus mugo 'Mops' / Mops Mugo Pine	2'-3'	2'-3'	5 GAL	CONT	- (signature)
GRASSES								
	Hs	29	Helictotrichon sempervirens / Blue Oat Grass	2'-4'	2'-4'	1 GAL	CONT	SCREEN
	Mu	8	Muhlenbergia reverchonii 'PUND01S' / Undaunted® Ruby Muhly	2'-4'	2'-4'	1 GAL	CONT	- (signature)

Percent Signature Shrubs**:
(70% minimum - Policy 311.3K)
Signature Shrubs: 95
Total No. of Shrubs: 95=100% Signature Shrubs

GROUND COVER LEGEND

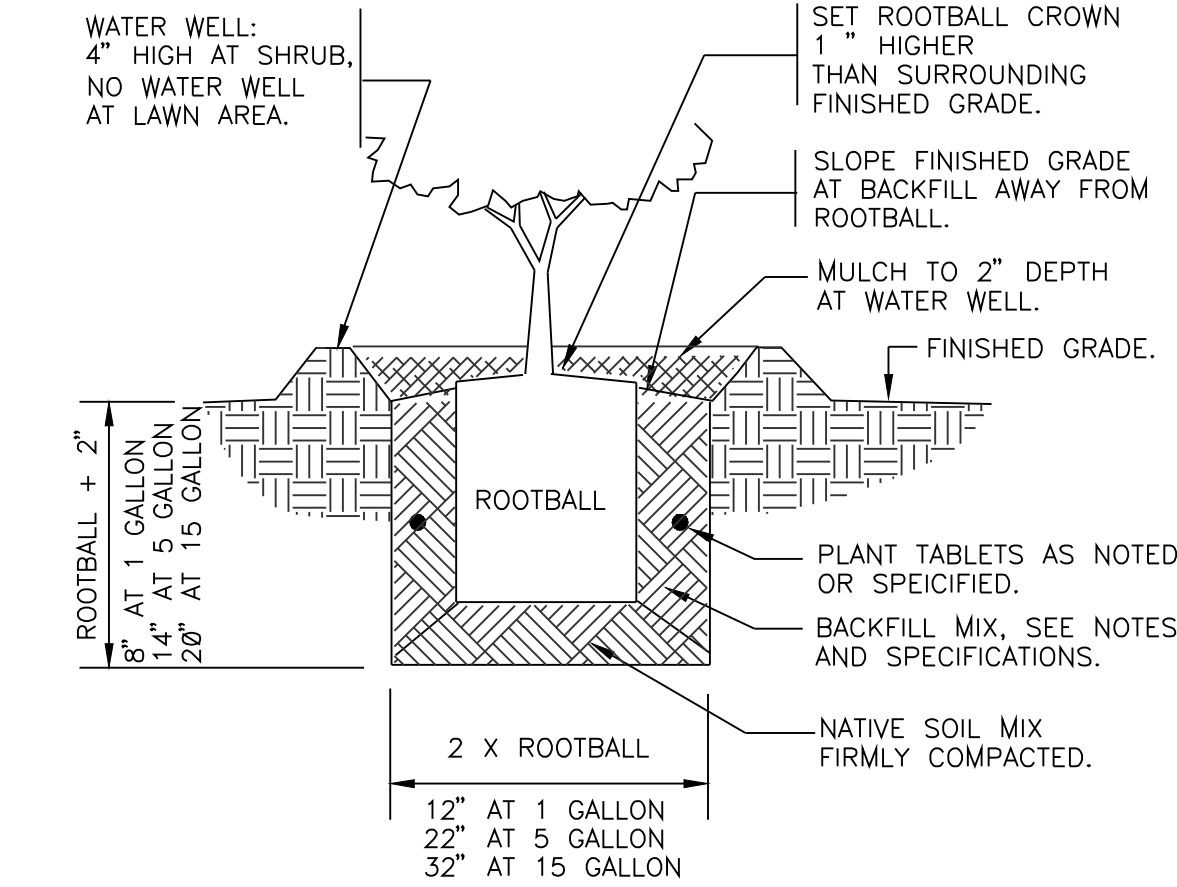
	ARTIFICIAL PLAYGROUND TURF	3,840 sf
	ROCK MULCH 2"-4" River Rock	4,262 sf
	ENGINEERED WOOD FIBER	2,569 sf
	POURED-IN-PLACE RUBBER BEIGE COLOR	1,103 sf
	POURED-IN-PLACE RUBBER 2 GREEN COLOR	656 sf



1 EXISTING TREE PROTECTION DETAIL

N.T.S.

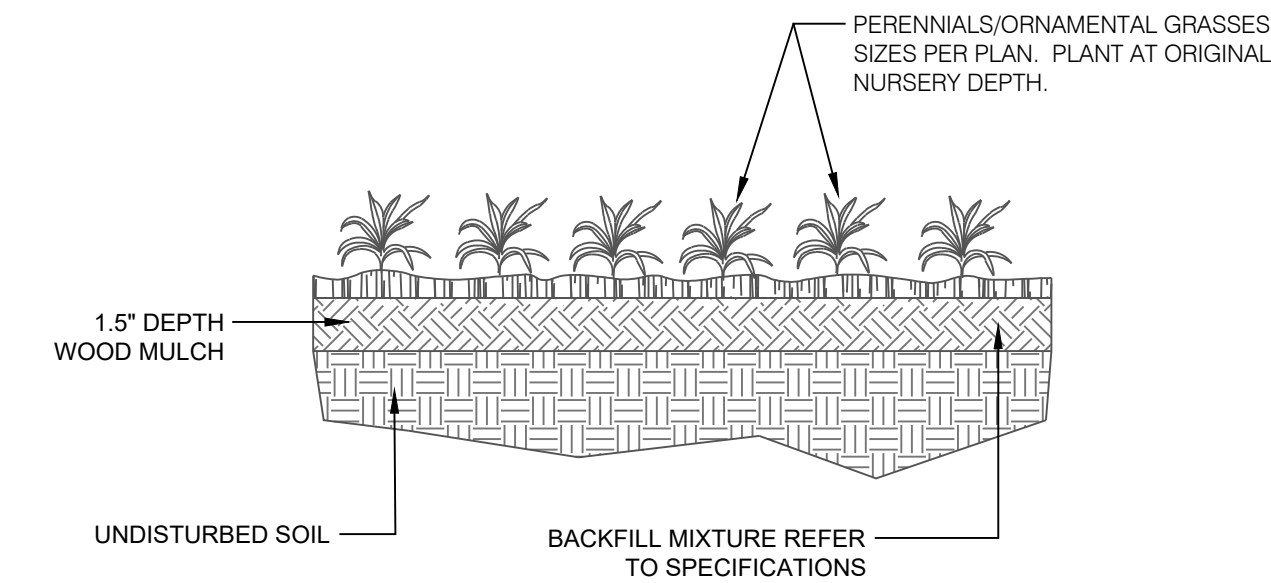
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2 SHRUB PLANTING

1" = 1'-0"

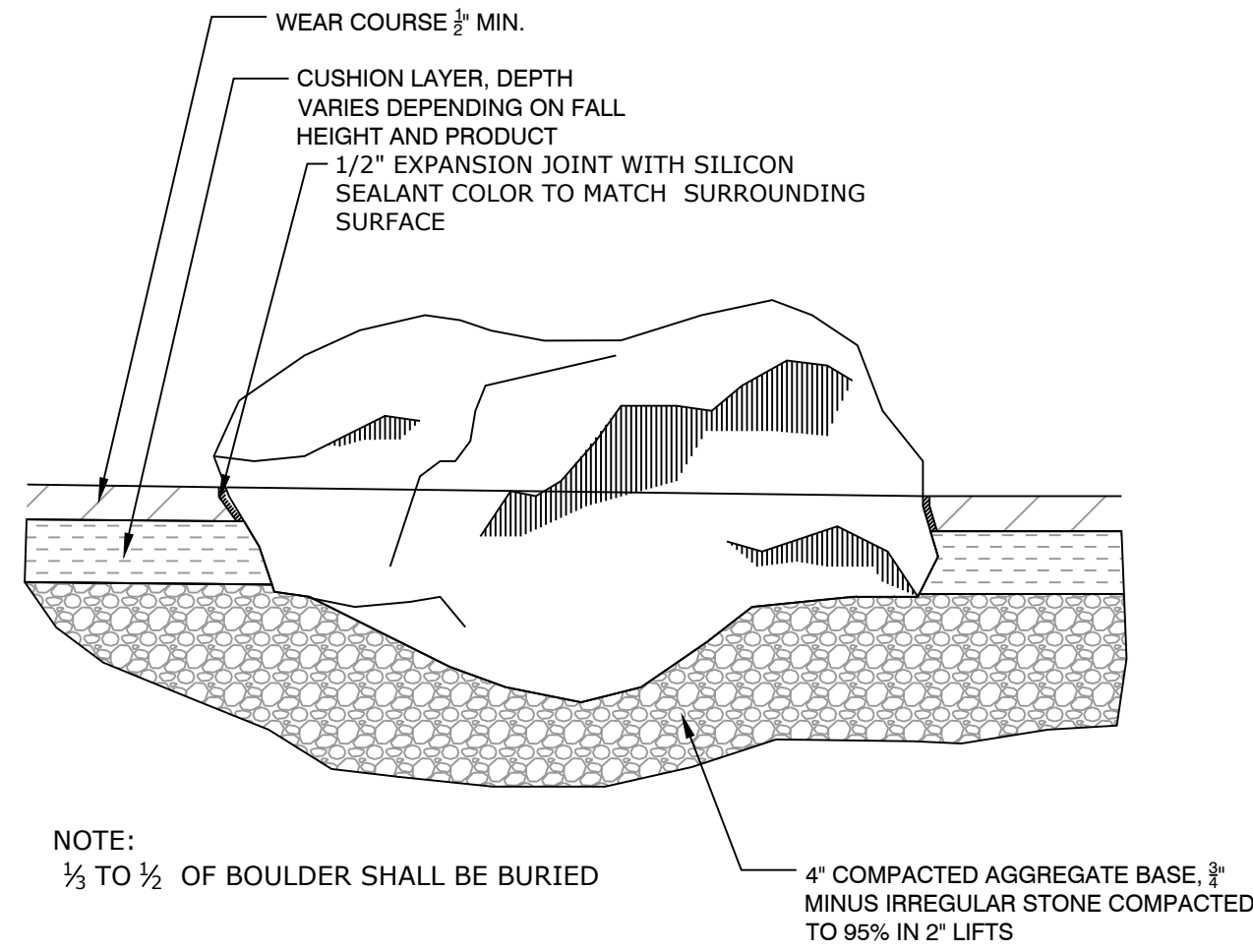
329333.13-01



3 PERENNIAL / ORNAMENTAL GRASS PLANTING

N.T.S.

P-2019.005-24



4 LANDSCAPE BOULDER AT PLAY SURFACE

N.T.S.

P-GR-46

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415 SAHWATCH
COLORADO SPRINGS, CO 80903



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SHEET TITLE

LANDSCAPE NOTES

RTA PROJECT NUMBER

2024-064.00

DATE

01-06-2025

REVISIONS

CH 3.125

PER CITY COMMENTS

DRAWN BY:

C.HELMLINGER

CHECKED BY:

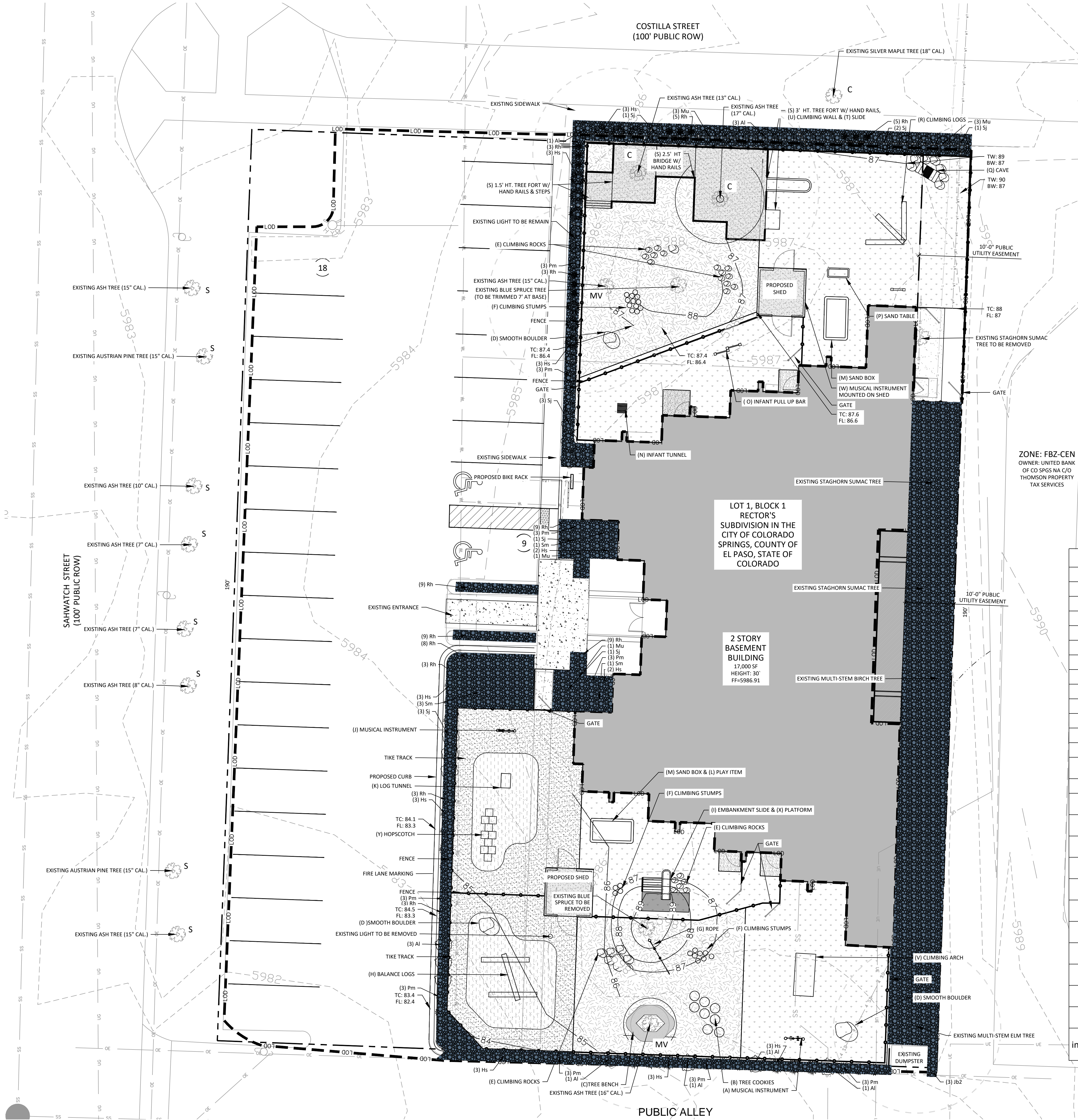
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9 OF 13 LS 3.1



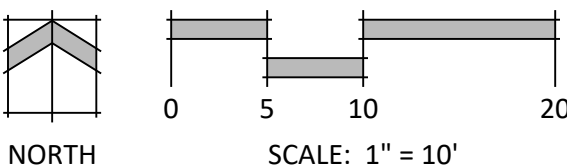
GROUND COVER LEGEND

- ARTIFICIAL PLAYGROUND TURF 3,840 sf
- ROCK MULCH 2"-4" River Rock 4,262 sf
- ENGINEERED WOOD FIBER 2,569 sf
- POURED-IN-PLACE RUBBER BEIGE COLOR 1,103 sf
- POURED-IN-PLACE RUBBER 2 GREEN COLOR 656 sf

HYDRO-DIAGRAM

Medium Water Usage (Rock Mulch) 4,262 SF/ 100%
Total: 4,262 SF

NATURAL PLAYGROUND COMPANY			
DETAIL #	TITLE	MODEL #	QUANTITY
A	XYLOPHONE	NMS-MWX	1
B	TREE COOKIES	TSCLP-TC	8
C	TREE BENCH	NF-TBto11	1
D	BOULDER	BR-BRP	3
E	ROCK FOR SCRAMBLES	BR-RS	36
F	SITTING STUMPS	TSCLP-SS	24
G	ROPE PULL UP	MRCF-RPU	1
H	LOG MAZES	LOG-MAZE	1
I	3' EMBANKMENT SLIDE	EMB-SL	1
J	LISTENING TUBES	NMS-LT	1
K	HOLLOW LOG	FTTP-HL	1
L	SAND WHEEL	HPWP-WW	1
M	RETAINER KIT FOR FREEFORM SAND PLAY	RETAIN	2
N	CRAWL TUNNEL	UBP-LPT240	1
O	PULL UP BAR FOR INFANTS	MRCF-IPB	2
P	RAISED SAND PLAY TABLE	SPT-RSP	1
Q	CAVE (SHALLOW)	GSFD-CAV	1
R	LOG SCULPTURE	FTWPT-FT	1
S	CUSTOM TREE DECKS	GSFP-TD	3
T	3' SLIDE FOR TREE DECK	TSCLP-TODCL	1
U	3' CLIMBING WALL FOR TREE DECK	TSCLP-TODCL	1
V	CLIMBING ARCH	CLIMBARCHNEW	1
W	THUNDER DRUM	NMS-THD	1
X	EMBANKMENT SLIDE PLATFORM	EMB-SLACC	1
Y	HOPSCOTCH (SMALL)	TEMPLATES	1
Email: info@naturalplaygrounds.com		https://www.naturalplaygrounds.com/contact	888-290-8405



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Land Planning
Landscape Architecture
Urban Design

NES

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SHEET TITLE
**HYDROLOGY
DIAGRAM**
RTA PROJECT NUMBER
2024-064.00
DATE
01-06-2025
REVISIONS
CH 3.12.25 PER CITY COMMENTS

DRAWN BY: HELMLINGER/ROMAN
CHECKED BY: C.LIEBER
ISSUED FOR:
ISSUED FOR BIDS/PERMIT
SHEET NO.
10 OF 13 LS 5.0

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NOTE ON PRESSURE AT EACH ZONE:
1. ALL TORO PRECISION SPRAY ZONES OPERATE AT 30 PSI.
2. ALL MP ROTATOR ZONES OPERATE AT 40 PSI.
3. ALL DRIP ZONES OPERATE AT 30 PSI.
4. ALL ROTOR ZONES OPERATE AT 35 PSI.

1

PRESSURE LOSS CALCULATIONS

NTS

NOT IN SET

NOTE:
IRRIGATION SCHEDULE IS PROVIDED FOR INFORMATION ONLY BY DESIGNER. FINAL CONTROLLER PROGRAMING IS THE RESPONSIBILITY OF THE THE OWNER AND OR THEIR MAINTENANCE CONTRACTOR. INFORMATION PROVIDED FOR MONTHLY RUNTIMES IS BASED ON HISTORICAL EVAPORATION RATES. ESTABLISHED RUN TIMES ARE AN AVERAGE AT A STANDARD 24 WEEK IRRIGATION SEASON FROM MID APRIL TO LATE SEPTEMBER FOR COLORADO.

Total irrigation sf for the whole site is 164,898, 23,316 sf of sod, 41,184 st of native seed and 100,398 sf of plantings.

2

SAMPLE IRRIGATION SCHEDULE

NTS

STANDARD CITY OF COLORADO SPRINGS IRRIGATION NOTES:

- The City has adopted permanent water-wise regulations as of January 1, 2020, which will affect the overall operation of the irrigation system.
From May 1 to October 15, sprinklers can be operated before 10 a.m. and after 6 p.m. Watering is limited to three days a week (Drip irrigation is allowed at any time). Establishment permits are required from Colorado Springs Utilities for customers who need to temporarily water more than three days a week to establish new landscapes. Allocation plans are available for customers who need more watering schedule flexibility from Colorado Springs Utilities.
- For all design irrigation systems, if more than three days a week are required to provide required coverage with spray/rotor stations/valves, a Water Allocation Plan is required from Colorado Springs Utilities.
- City Affidavit Note –The design professional of record is to complete the irrigation inspection affidavit based on approved Irrigation Plan. This should require limited construction observation visits and a functional test of the irrigation system shall be performed to accurately complete the affidavit. Final CO or financial assurances release shall not be processed until an executed and approved affidavit is submitted to City Staff. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719–385–5905) and as necessary our DRE office (719–385–5982).

Note: Starting June 2023 the City of Colorado Springs has enacted a new policy manual and irrigation check list. These plans comply with the new landscape manual and irrigation check list.

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www.rtaarchitects.com



Munding Design, LLC
Irrigation Design and
Landscape Architecture
302 E. Genesee St.
Lafayette, Colorado 80026
720-273-3884

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SHEET TITLE
**IRRIGATION
CITY
CHARTS**

RTA PROJECT NUMBER
2024-064.00
DATE
01-08-2025

REVISIONS		REVISIONS
#	DATE	DESCRIPTION

DWGNO APPROVAL
DESIGNED BY
CHECKED BY
**KJM
KJM**

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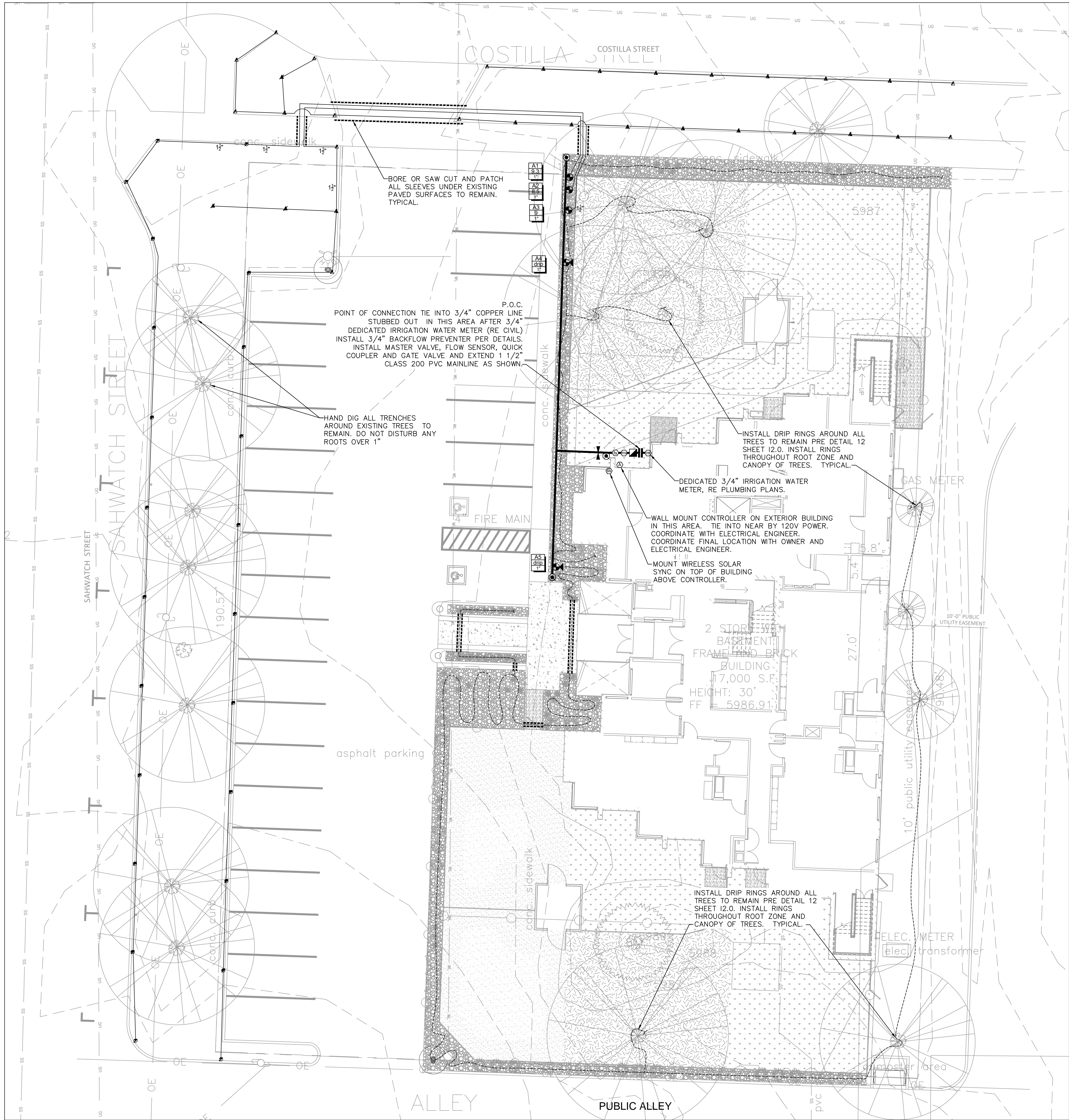
11 OF 13

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COLORADO SPRINGS, CO 80903

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IRRIGATION LEGEND

SYMBOL	DESCRIPTION
▲ ▲ ▲	MP ROTATOR SPRINKLER: HUNTER PROS-06-PRS40-CV MP1000 NOZZLE PRESSURE: 40 PSI RADIUS: 10-14 FEET FLOW (GPM): 0 - 0.19 H - 0.37 F - 0.75 6\"/>
■ ■ ■	MP ROTATOR SPRINKLER: HUNTER PROS-06-PRS40-CV MP2000 NOZZLE PRESSURE: 40 PSI RADIUS: 13-19 FEET FLOW (GPM): 0 - 0.40 H - 0.74 F - 1.47 6\"/>
■ ■ ■	BACKFLOW PREVENTER: 3/4\"/>
■ ■ ■	ZONE CONTROL VALVE: HUNTER ICV SIZE AS NOTED
■ ■ ■	DRIP CONTROL VALVE ASSEMBLY: HUNTER ICZ DRIP ZONE KIT 1\"/>
■ ■ ■	QUICK COUPLER: RAINBIRD 44LRC
■ ■ ■	GATE VALVE - RESILIENT WEDGE, SQUARE NUT TOP, LINE SIZE
■ ■ ■	EMITTER LATERAL PIPE: UV RADIATION RESISTANT POLYETHYLENE, 1\"/>
■ ■ ■	INSTALL CHECK VALVE IN LINE ON DRIP LATERAL EVERY 10' OF ELEVATION DIFFERENCES THAT ARE MORE THAN 10' IN ONE ZONE.
■ ■ ■	DRIP FLUSH PLUG ASSEMBLY
■ ■ ■	MAINLINE PIPE: 1 1/2\"/>
■ ■ ■	LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC PIPE (1-INCH SIZE UNLESS OTHERWISE INDICATED)
■ ■ ■	UNCONNECTED PIPE CROSSING
■ ■ ■	UNCONNECTED PIPE CROSSING, TWO DIFFERENT PIPES
■ ■ ■	P.O.C. - POINT OF CONNECTION
■ ■ ■	CLASS 200 PVC SLEEVING, 4\"/>
■ ■ ■	INDICATES CONTROLLER AND CONTROLLER STATION NUMBER
■ ■ ■	INDICATES LATERAL DISCHARGE IN GPM
■ ■ ■	INDICATES REMOTE CONTROL VALVE SIZE IN INCHES
⊙	NEW HUNTER ACC2 TWO WIRE 225 STATION CONTROLLER IN PLASTIC ENCLOSURE. MODEL # A2C-225-P. INSTALL GROUNDING AT CONTROLLER AND ALONG TWO WIRE PATH AS REQUIRED PER HUNTER SPECIFICATIONS. USE 1 STATION HUNTER DECODERS FOR EACH SINGLE VALVE MODEL # ICD-100, INSTALL PER HUNTER SPECIFICATIONS. INSTALL GROUNDING ALONG MAINLINE PATH AND AT CONTROLLER PER HUNTER REQUIREMENTS. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FINAL EQUIPMENT AND INSTALLATION DETAILS PRE HUNTER SPECIFICATIONS.
⊙	HUNTER 1 1/2\"/>
⊙	HUNTER 1\"/>
⊙	HUNTER WIRELESS SOLAR SYNC MODEL # WSS-SEN
⊙	DEDICATED 3/4\"/>

IRRIGATION NOTES

- Irrigation system is designed to operate off of an existing pressure of 80 psi before water meter and backflow preventer. Contractor to verify pressure **PRIOR TO INSTALLATION** and notify OWNER of any differences. Design pressure at heads to be as noted in legend.
- No irrigation work to begin until final grade has been approved.
- Locate all heads 6" min. from any wall, walk, or curb, and 12" min. from any curb adjacent to parking stalls.
- Bury all mainlines 24" underground to top of pipe. Bury all laterals 12" underground to top of pipe.
- Pipes in shared trenches are not allowed.
- Brand all appropriate box lids with 1" minimum letters with the following abbreviations:
QC Quick Coupler
GV Gate Valve
SV# Section Valve & Corresponding Controller Station #
FC Drip Flush Cap
- All pipe under pavement to be sleeved in 4" minimum PVC class 200 extend 12" beyond each edge of pavement, sloped to drain. Install prior to paving. Sleeve wires separately in 4" min. pipe.
- All valve wire is to be 14 gauge direct burial Paige 2-wire. All wire splices shall be done with 3M DBR/Y wire splices.
- Heads will be diagrammatic. Contractor to select and install correct arcs as needed for part circle heads. Adjust radii and arc as necessary for no overspray/backwash onto adjacent buildings, walls, or fences.
- Plan has been prepared using limited on-site observation. Plan is diagrammatic and does not reflect all equipment, etc., that could be encountered during construction. All tie locations, mainline locations and lateral locations are approximate and shall require exact location by Contractor.
- Install drip emitters as described below:

1 gallon material	Rain Bird XB-05PC	1 ea.
5 gallon material	Rain Bird XB-10PC	2 ea.
Deciduous Trees (1'-1/2" - 2 1/2")	Rain Bird XB-20PC	4 ea.
Deciduous Trees (3" - 4" CAL.)	Rain Bird XB-20PC	6 ea.
Evergreen Trees (6" - 10")	Rain Bird XB-20PC	4 ea.
Evergreen Trees (11" - 14")	Rain Bird XB-20PC	6 ea.
- See sheet 12.0 for irrigation details.

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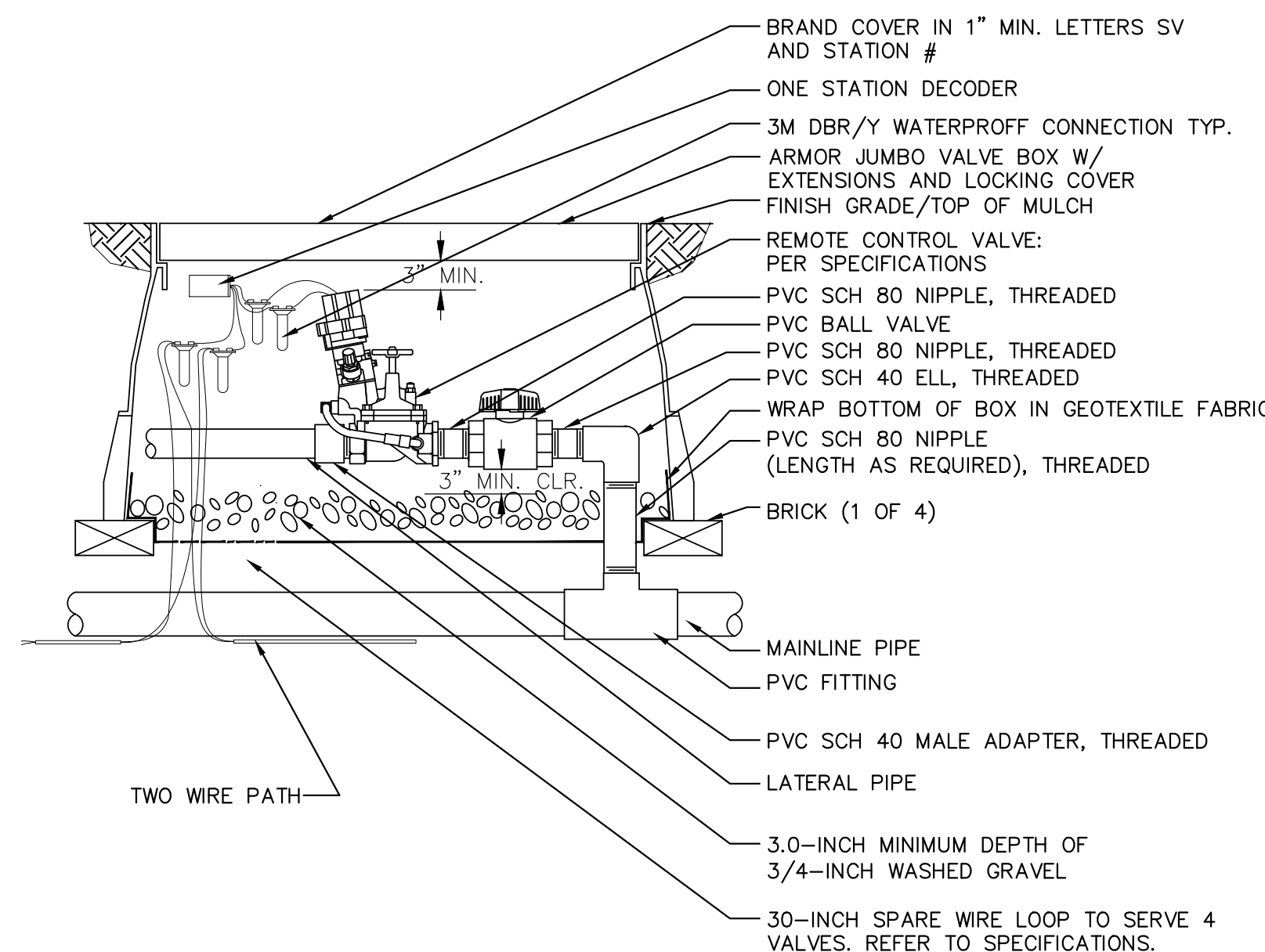
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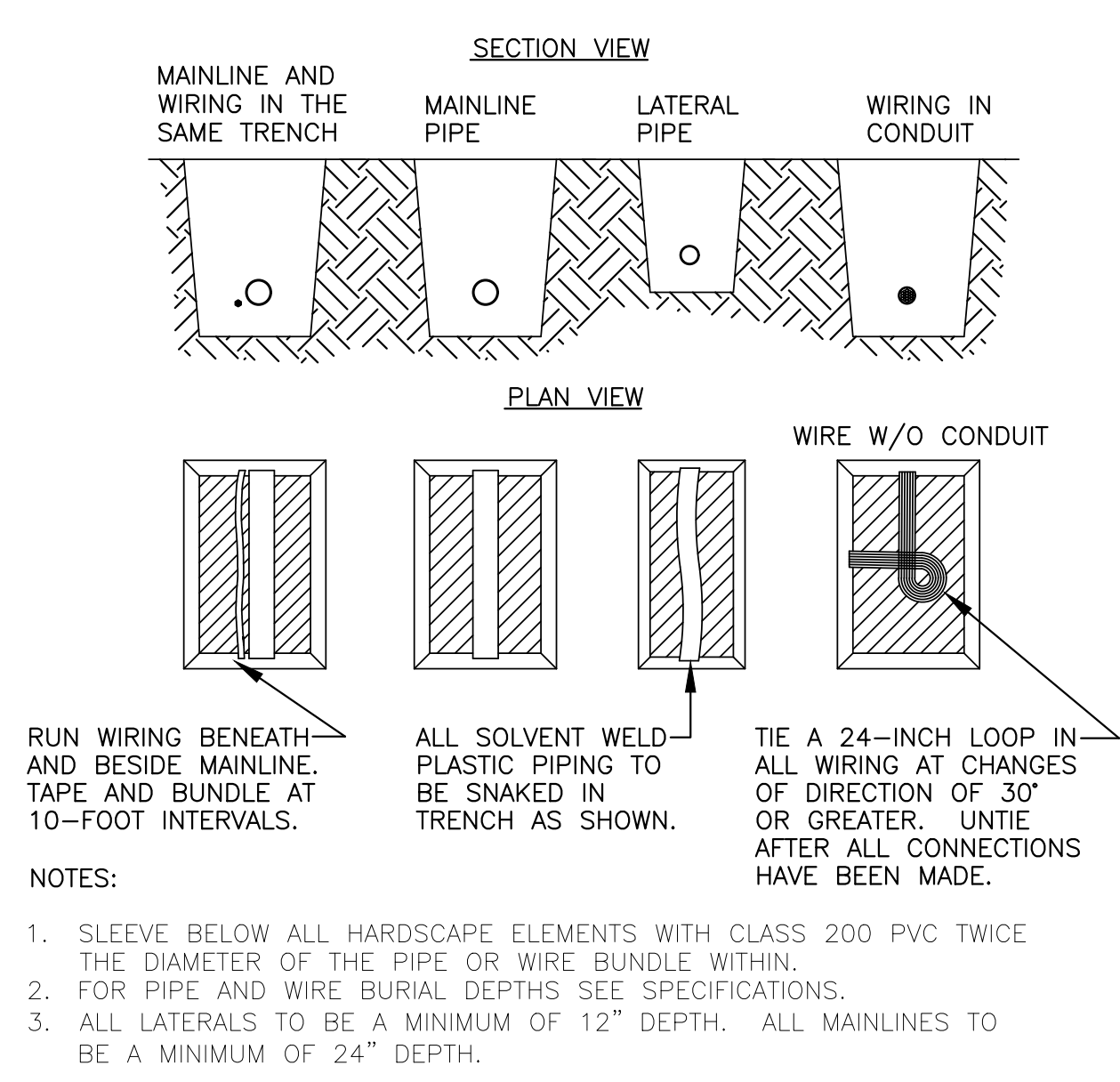
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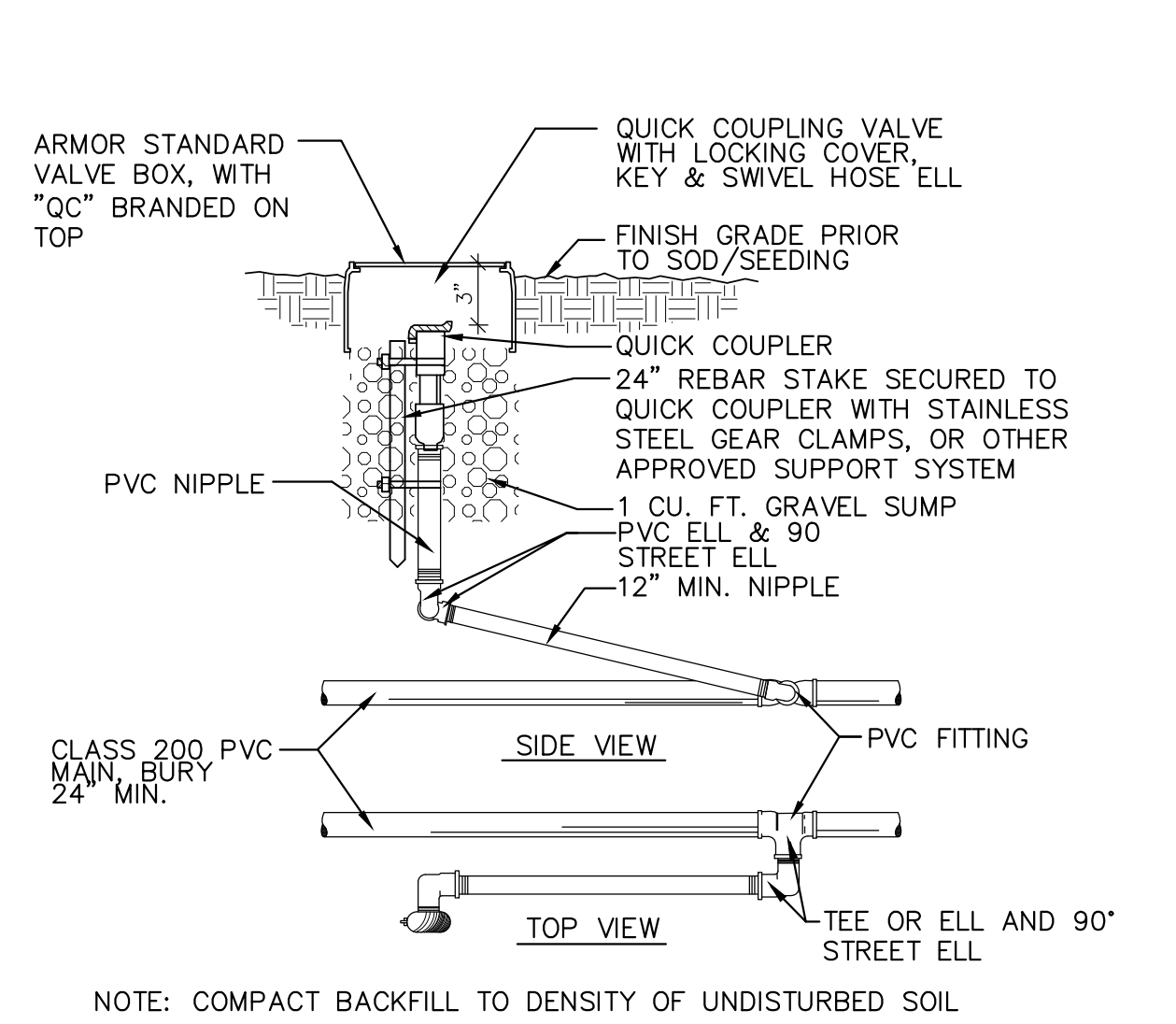
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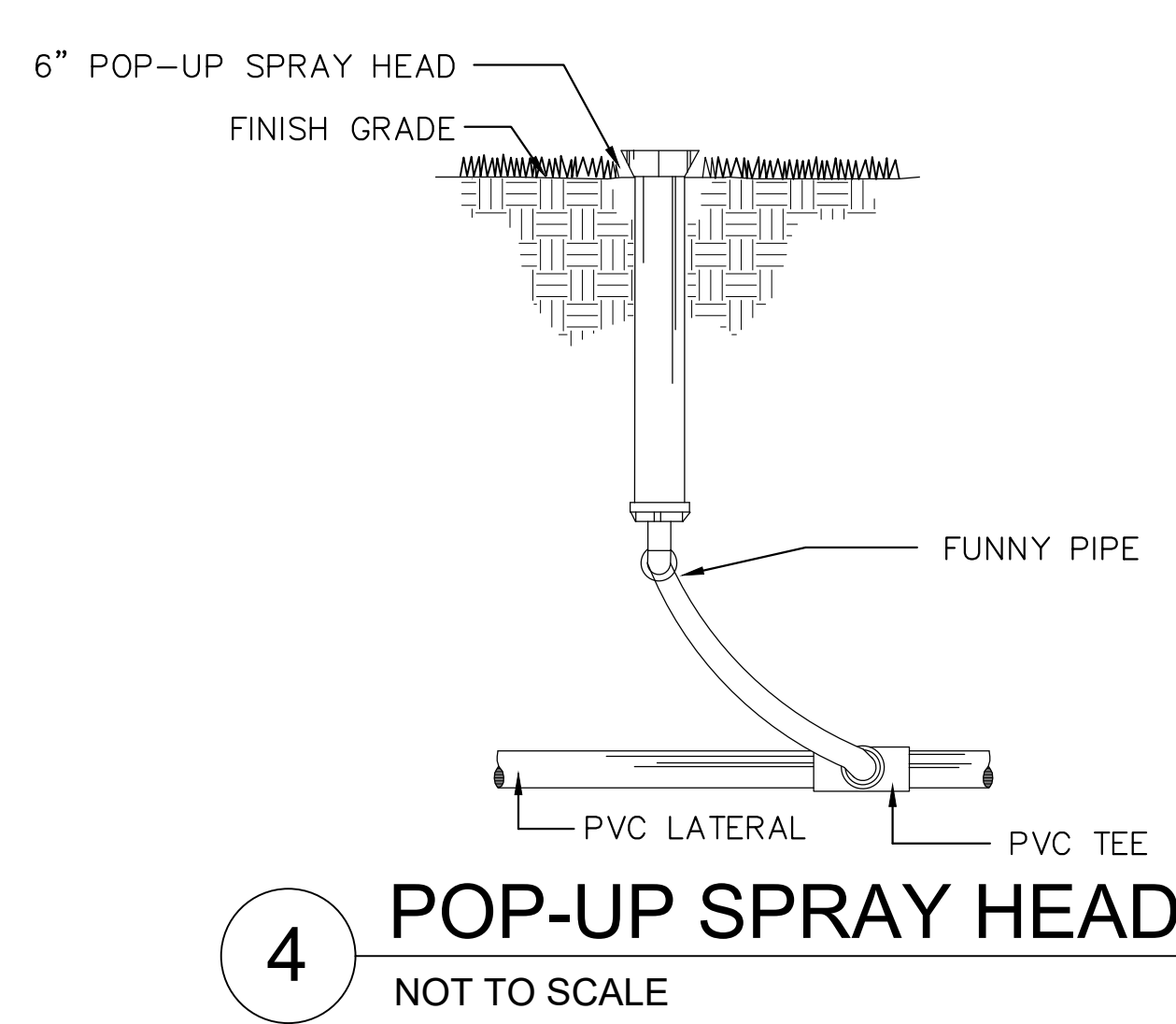
1 AUTOMATIC SECTION VALVE
NOT TO SCALE



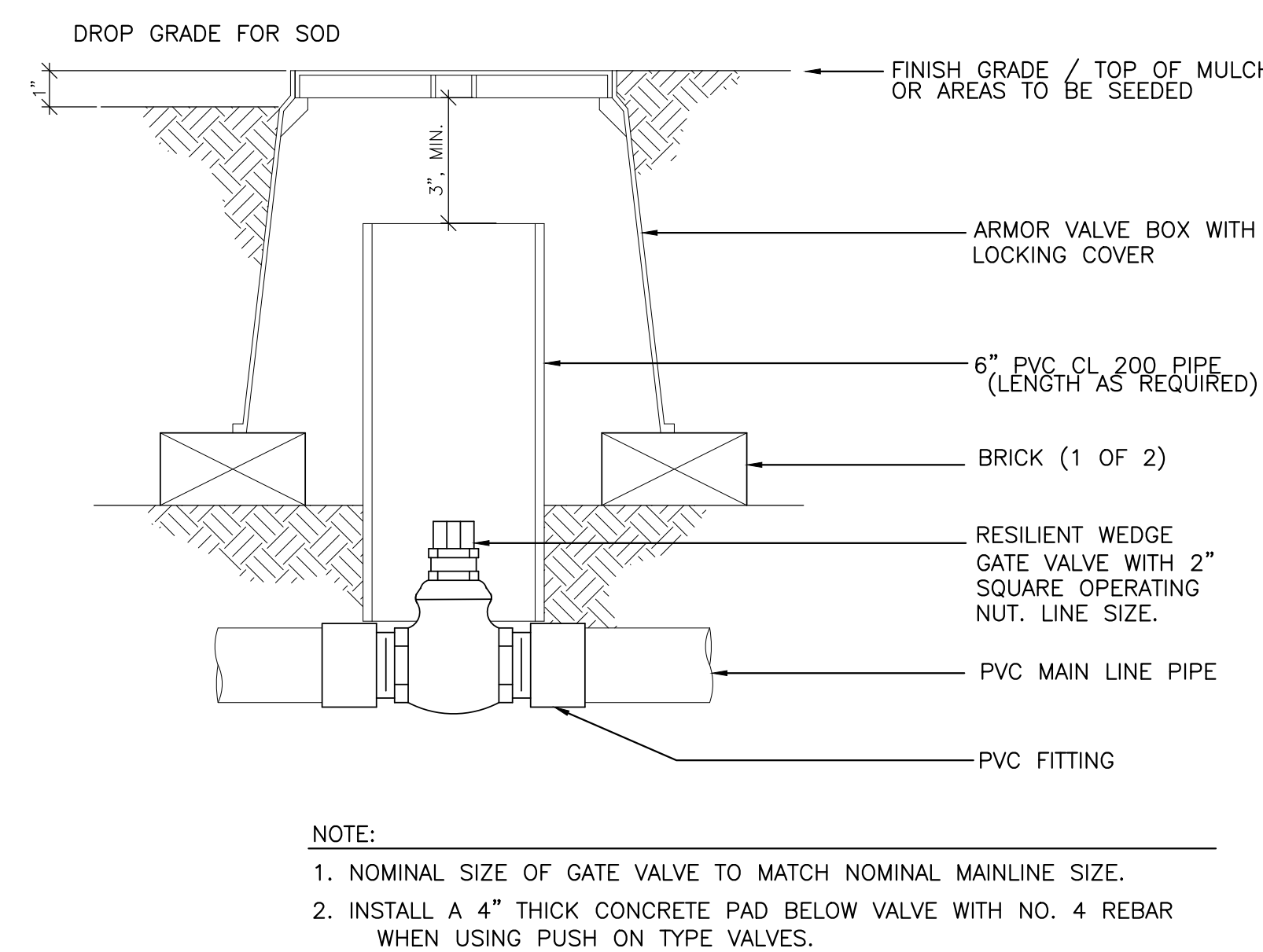
2 PIPE AND WIRE TRENCHING
NOT TO SCALE



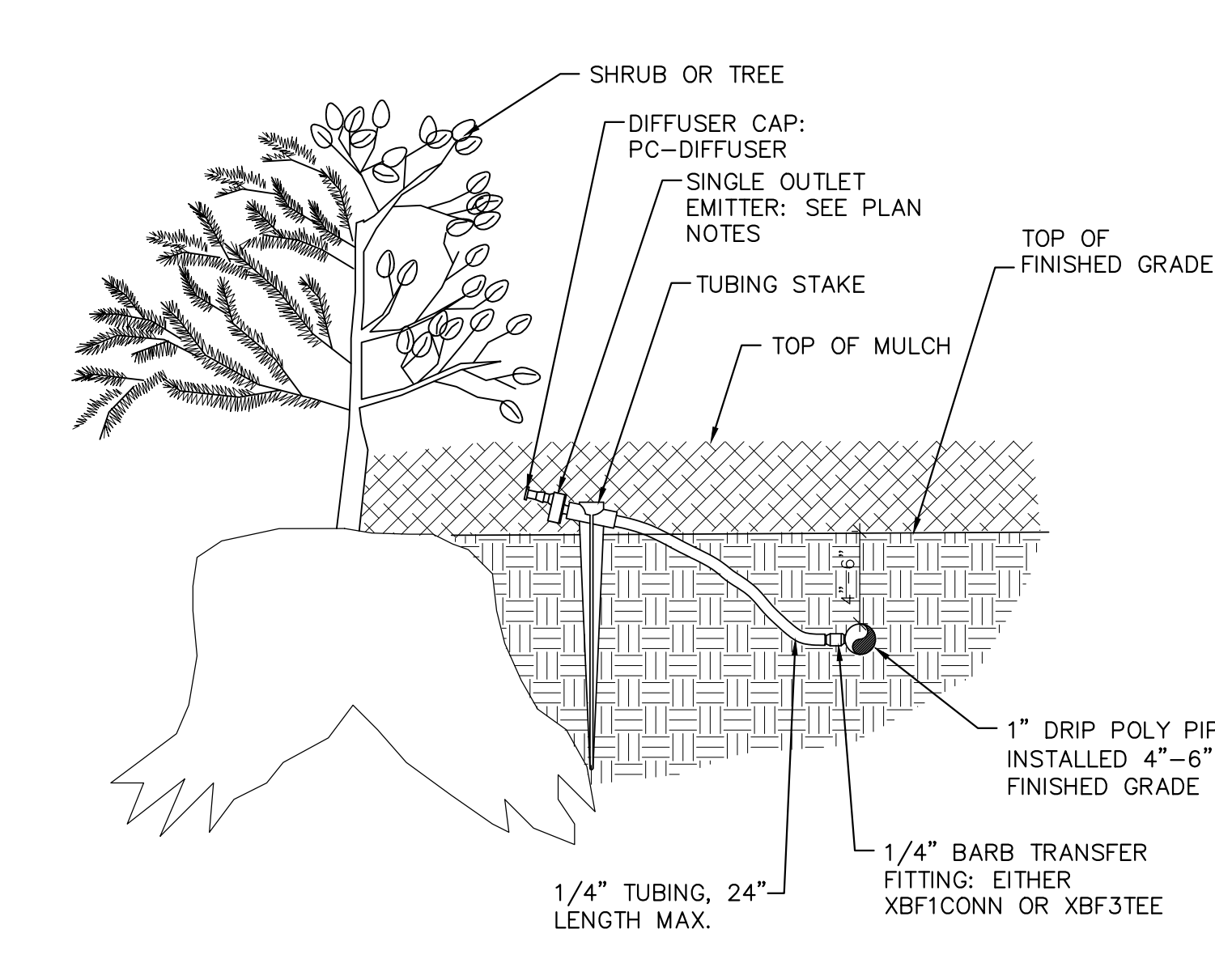
3 QUICK COUPLER
NOT TO SCALE



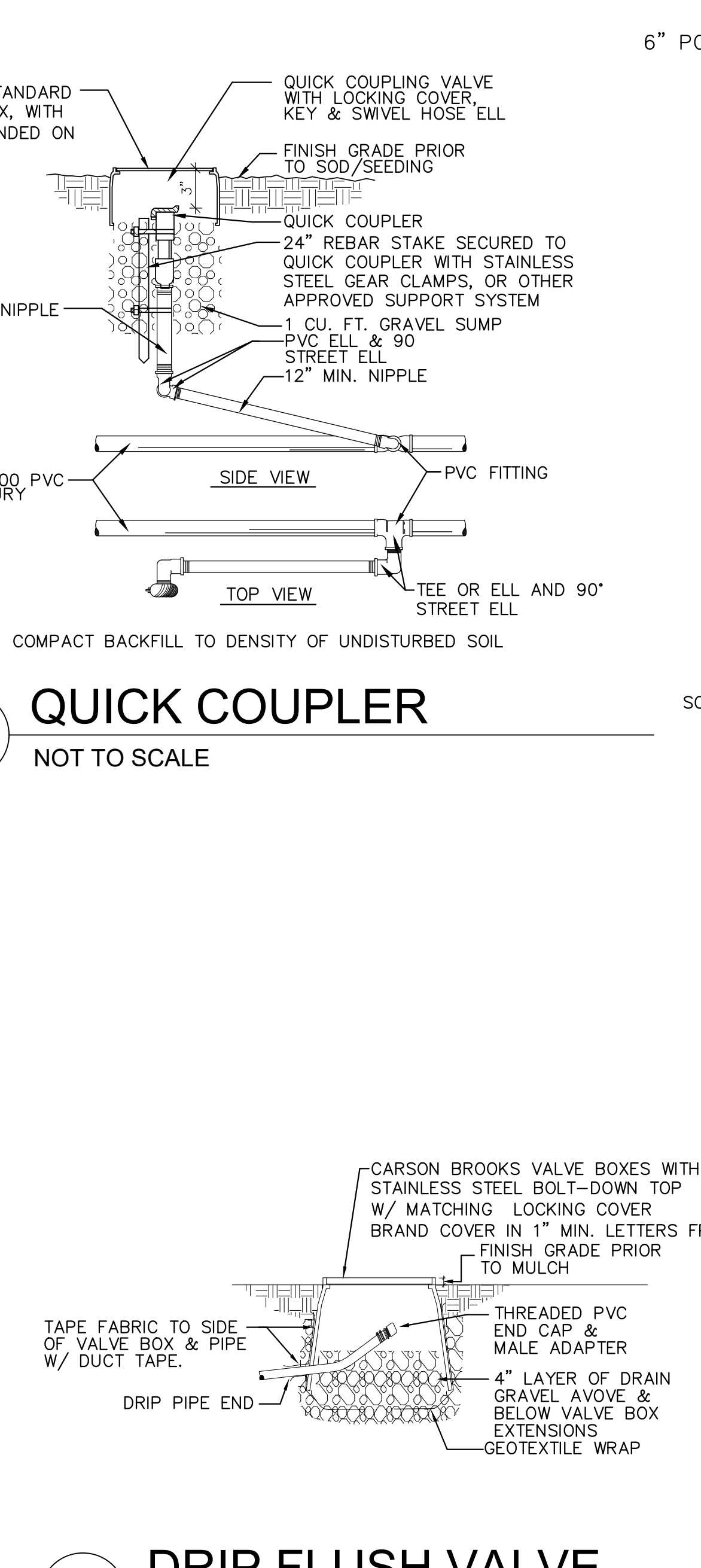
4 POP-UP SPRAY HEAD
NOT TO SCALE



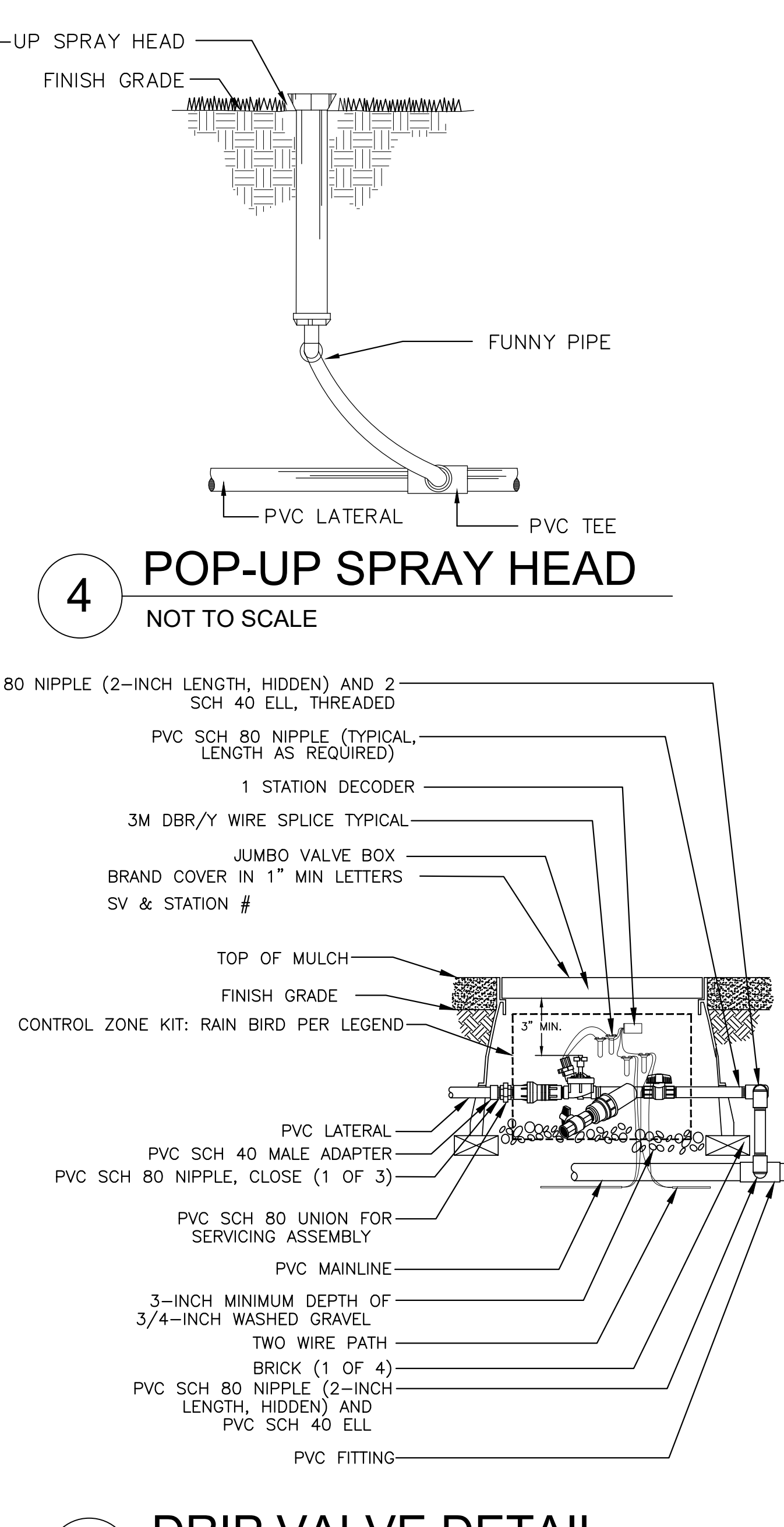
5 ISOLATION GATE VALVE
NOT TO SCALE



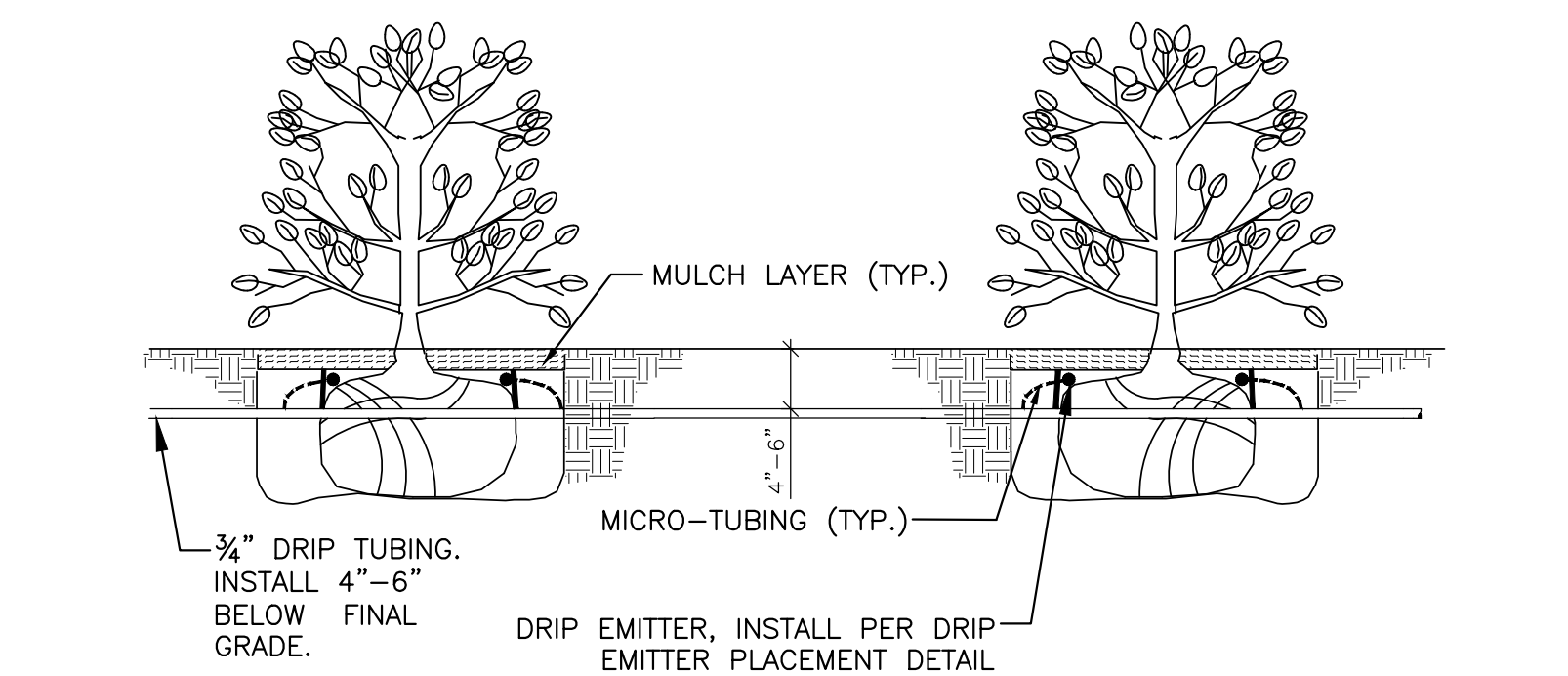
6 DRIP EMITTER PLACEMENT
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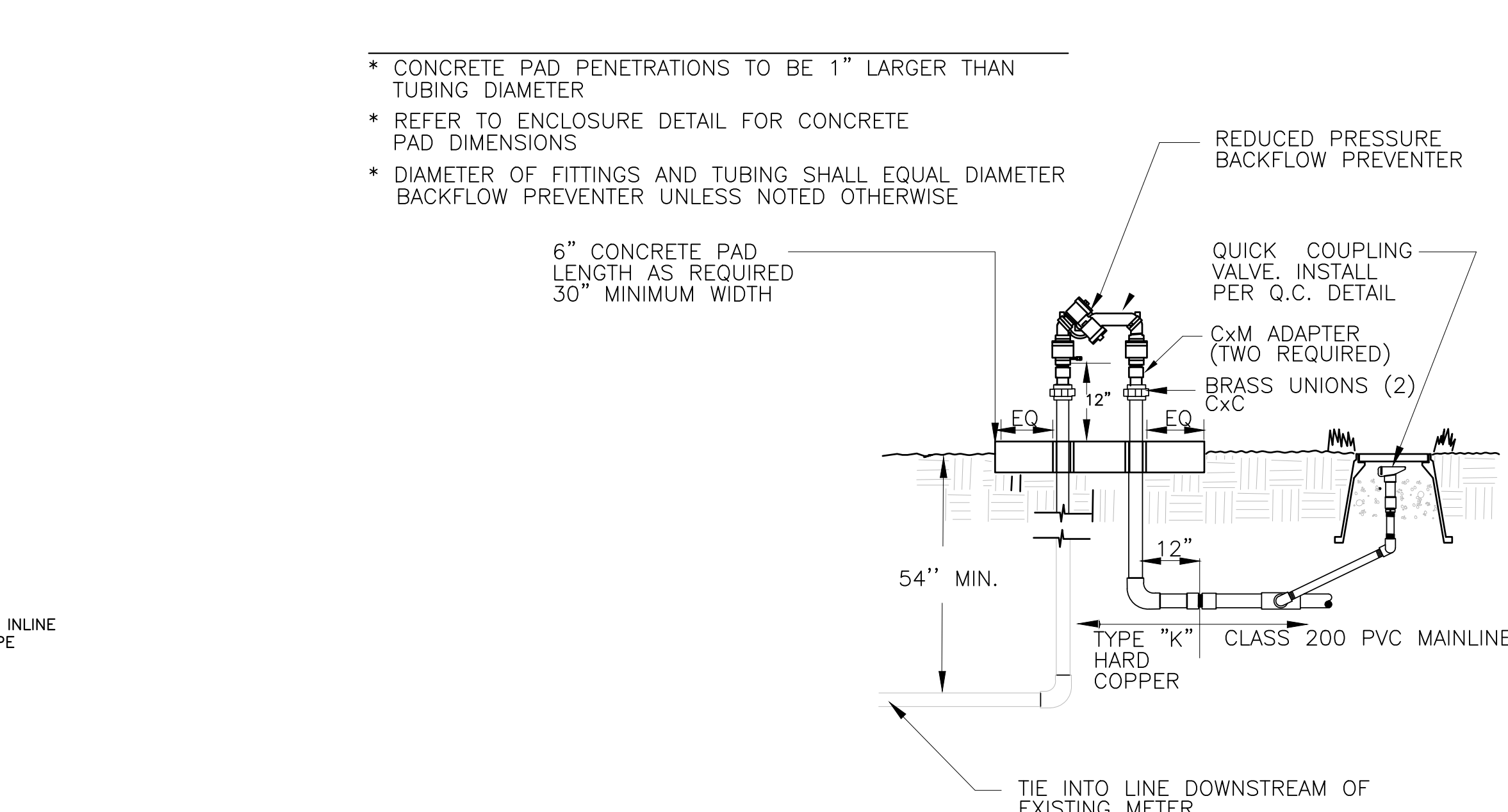
7 DRIP FLUSH VALVE
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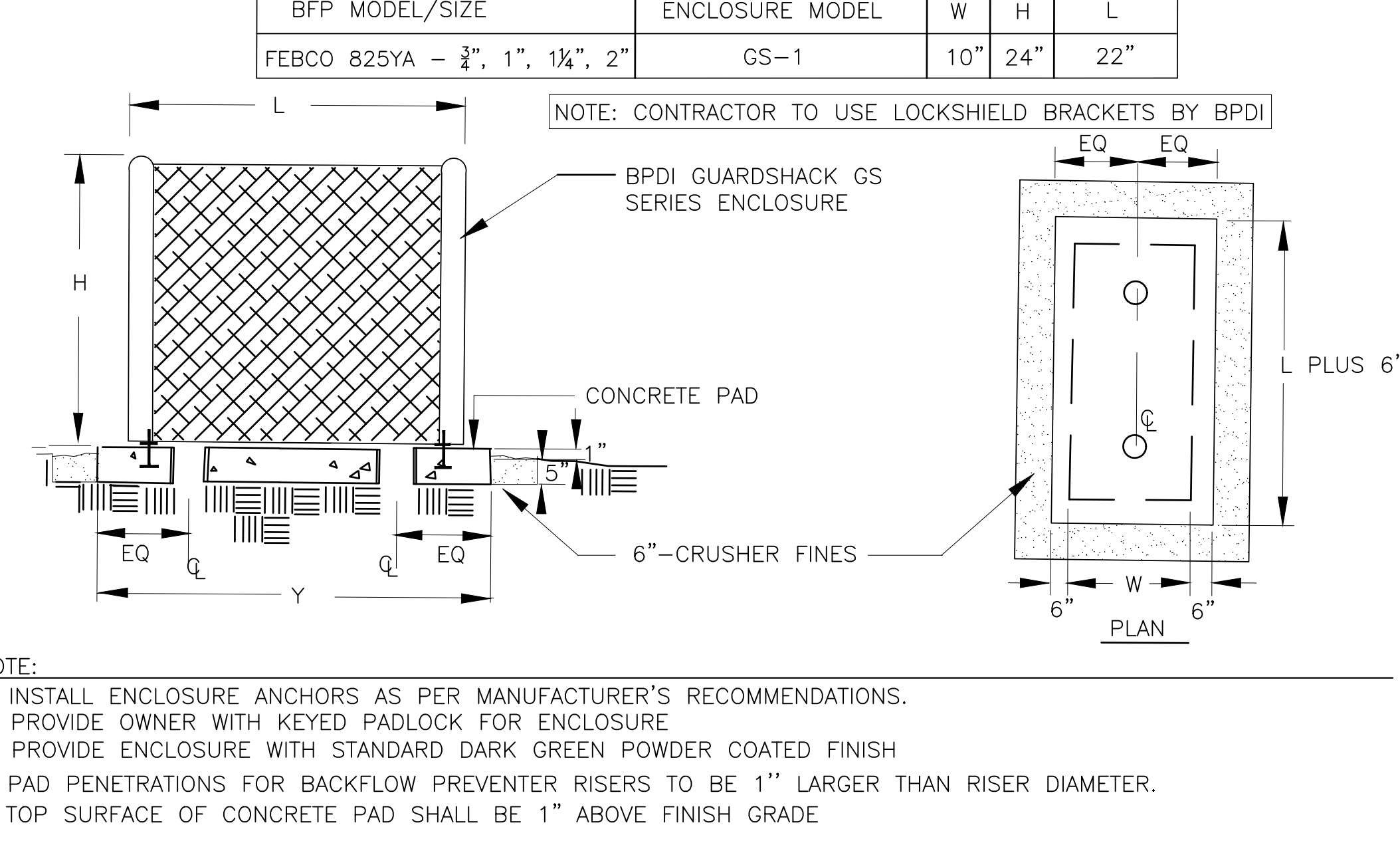
8 DRIP VALVE DETAIL
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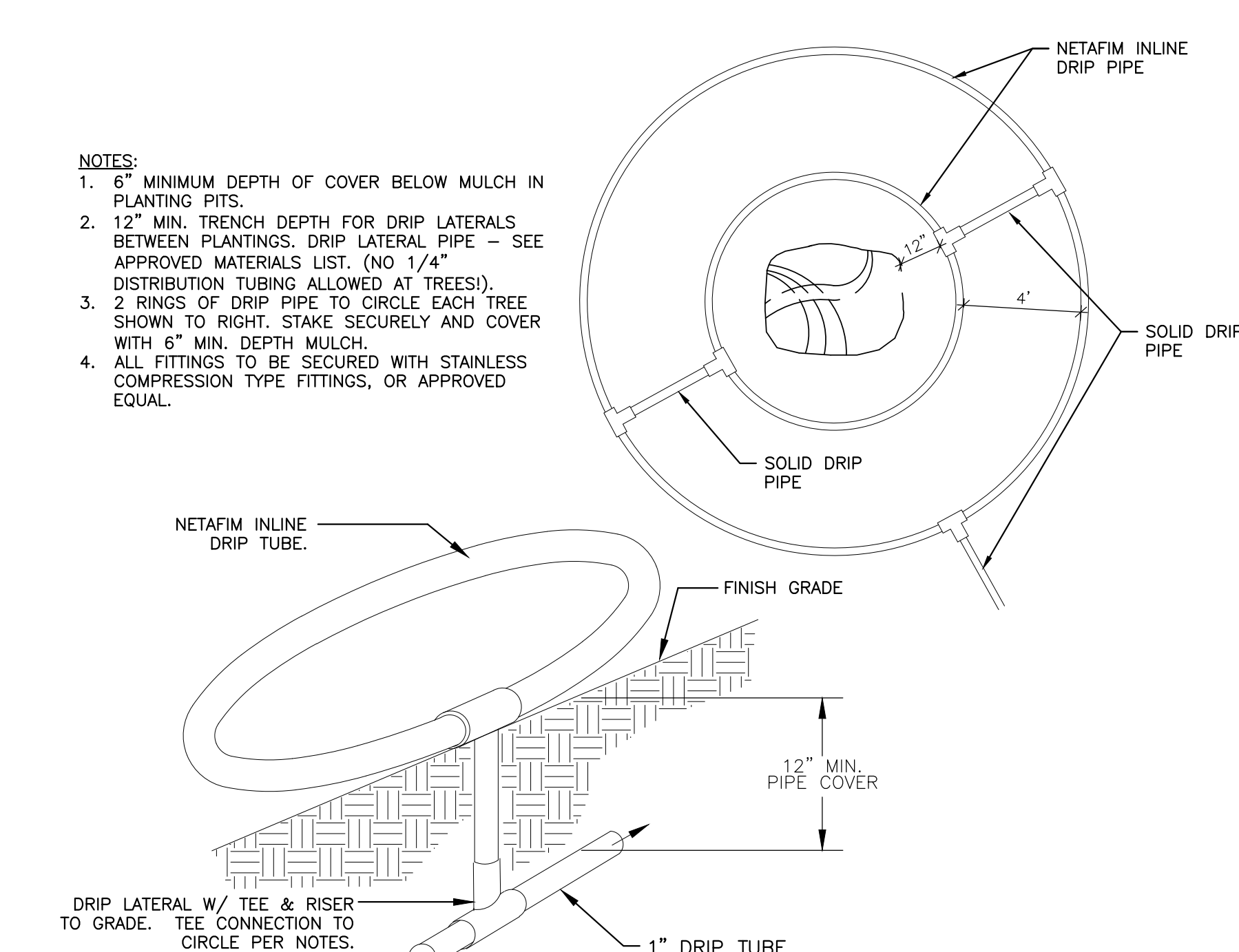
9 SHRUB/TREE EMITTER PLACEMENT
NOT TO SCALE



10 BACKFLOW PREVENTER
NTS



11 BACKFLOW ENCLOSURE
NTS



12 DRIP RINGS AT TREES IN NATIVE SEED
NOT TO SCALE