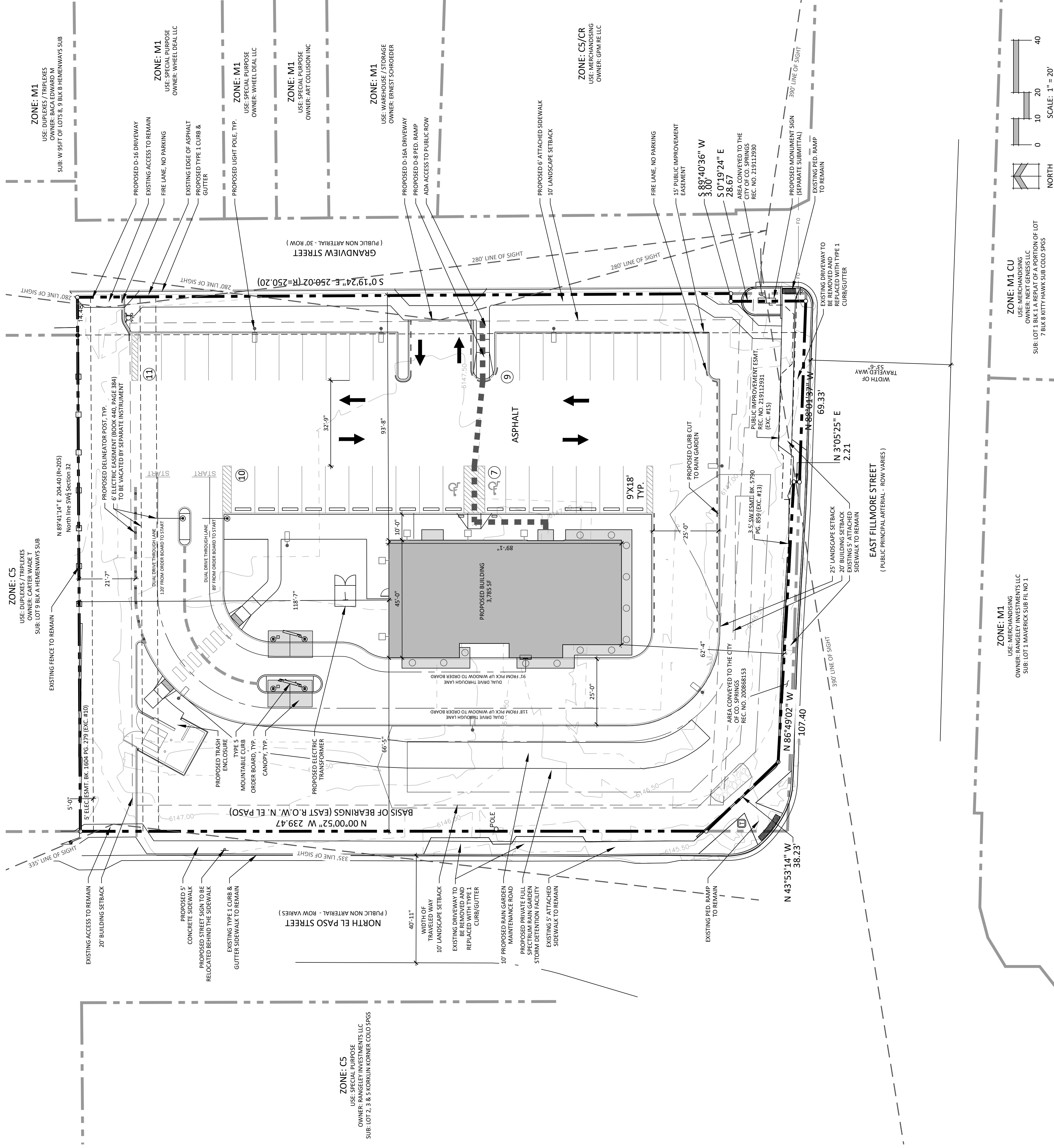


BURGERWORKS EAST FILLMORE STREET

CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN



ZONE: CS
 USE: SPECIAL PURPOSE
 OWNER: RANGELEY INVESTMENTS LLC
 SUB: LOT 2, 3 & 5 KORLIUN KORNER COLO SPRGS

ZONE: CS
 USE: DUPLEXES / TRIPLEXES
 OWNER: CARTER WABET
 SUB: LOT 9 BLK A HEMENWAYS SUB

ZONE: M1
 USE: DUPLEXES / TRIPLEXES
 SUB: W 59 FT OF LOTS 8, 9, BLK B HEMENWAYS SUB

ZONE: M1
 USE: SPECIAL PURPOSE
 OWNER: WHEEL DEAL LLC

ZONE: M1
 USE: SPECIAL PURPOSE
 OWNER: WHEEL DEAL LLC

ZONE: M1
 USE: SPECIAL PURPOSE
 OWNER: ART COLLISION INC

ZONE: M1
 USE: WAREHOUSE / STORAGE
 OWNER: ERNEST SCHROEDER

ZONE: CS/CR
 USE: SPECIAL PURPOSE
 OWNER: GRM RE LLC

ZONE: M1 CU
 USE: MERCHANDISING
 OWNER: NEAT GENESIS LLC
 SUB: LOT 1 BLK 1 A REPEAT OF A PORTION OF LOT 7 BLK 8 KITTY HAWK SUB COLO SPRGS

ZONE: M1
 USE: MERCHANDISING
 OWNER: RANGELEY INVESTMENTS LLC
 SUB: LOT 1 MAVERICK SUB FL NO 1

ZONE: M1
 USE: MERCHANDISING
 OWNER: RANGELEY INVESTMENTS LLC
 SUB: LOT 1 MAVERICK SUB FL NO 1

N.E.S., Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
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BURGERWORKS
 LOT 1 CPRE REPLAT
 706 EAST FILLMORE STREET

DATE: 04/25/2022
 PROJECT MGR: A. BARLOW
 PREPARED BY: B. PERKINS

PROJECT INFO
 IN ASSOCIATION WITH

STAMP
 ISSUE INFO

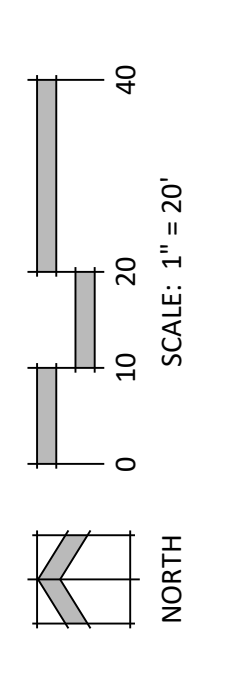
ENTITLEMENT

ISSUE / REVISION
 DATE: 07/27/2022
 BY: BP
 DESCRIPTION: PER CITY REVIEW COMMENTS
 09/06/2022 BP PER CITY REVIEW COMMENTS

SHEET TITLE
 DEVELOPMENT PLAN

SHEET NUMBER
 2 OF 14

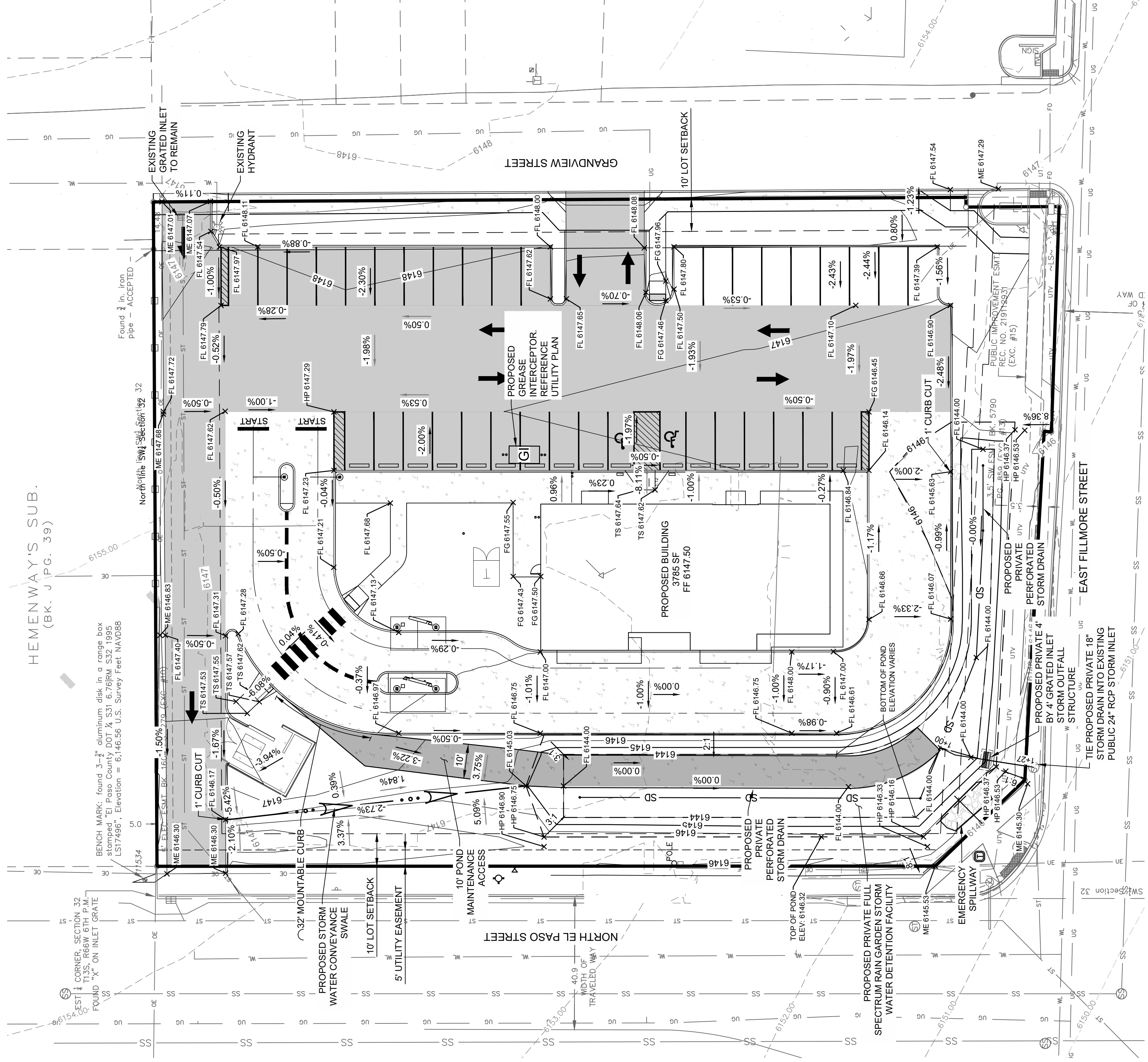
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BURGERWORKS EAST FILLMORE STREET

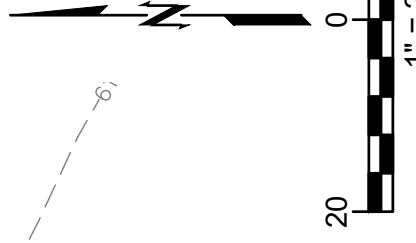
706 E FILLMORE ST

BLOCK K, THE COLORADO SPRINGS COMPANY'S SUBDIVISION OF A PART OF THE SOUTHWEST QUARTER OF THE SECTION 32, AND SOUTHEAST QUARTER SECTION 31, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, STATE OF COLORADO



GENERAL GRADING NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- REFERENCE GEOTECHNICAL ENGINEERING REPORT BY _____ DATED _____ FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, AND COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
- ADA ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE AND 2% TRANSVERSE SLOPE. ACCESSIBLE PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH ADA DESIGN GUIDELINES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- LANDSCAPE ISLANDS TO BE FILLED WITH DIRT SUITABLE FOR VEGETATION. THE CONTRACTOR WILL INSURE THAT NO PONDLING WILL OCCUR AT LANDSCAPE ISLANDS. ALL SPACE BETWEEN ISLANDS MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO WATER SHALL BE TRAPPED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND DOWNSPOUTS. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS AT THE COMPLETION OF THE PROJECT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDLING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED.



NOTES:

- ALL PROPOSED STORM INFRASTRUCTURE, INCLUDING THE RAIN GARDEN, WILL BE PRIVATE AND OWNED BY THE OVERALL DEVELOPER (BURGERWORKS LLC).
- RAIN GARDEN MAINTENANCE ACCESS TO HAVE A MAXIMUM SLOPE OF 15% LONGITUDINALLY. MAINTENANCE PATH SHALL BE CONSTRUCTED PER COLORADO SPRINGS DRAINAGE AND CRITERIA MANUAL CHAPTER 13, SECTION 5.16.

DEVELOPER
 CENTERPOINT REAL ESTATE GROUP
 ATTN: CLINT JAMESON
 4526 E. CALLE TUBERIA
 PHOENIX, AZ 85018

CIVIL ENGINEER
 WALLACE ENGINEERING
 ATTN: AARON BARNHART, PE
 8900 PYRAMID CT, SUITE 350
 ENGLEWOOD, CO 80112
 720.704.5290

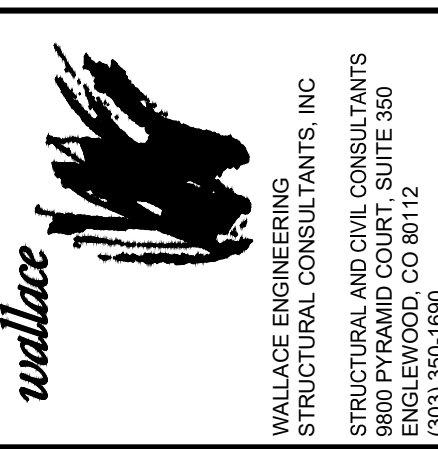
BENCHMARK
 FIMS MONUMENT VP14, ELEVATION= 6236.44' (NGVD 1929)

LEGAL DESCRIPTION
 LOT 1 BLOCK 1, WESTTECH CENTER, AN ADDITION TO THE CITY OF COLORADO, COUNTY OF EL PASO, COLORADO, AS SHOWN ON PLAT THEREOF RECORDED OCTOBER 6, 1998 IN PLAT BOOK DA AT PAGE 78 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SUCH PROPERTY ALSO BEING A REPLAT OF A PORTION OF LOT 1 BLOCK 2, WESTTECH 1 SUBDIVISION, FILING NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 1993 IN PLAT BOOK US AT PAGE 88, IN THE RECORDS OF EL PASO COUNTY, COLORADO, COUNTY OF EL PASO, STATE OF COLORADO.

BASIS OF BEARING
 WEST LINE OF SECTION 32, TOWNSHIP 13 SOUTH, RANGE 66 WEST, ASSUMED TO BEAR NORTH-88 DEGREES 41' MINUTES 57" SECONDS EAST.

CAUTION NOTICE TO CONTRACTOR

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BURGERWORKS EAST FILLMORE STREET

706 E FILLMORE ST
 BLOCK K, THE COLORADO SPRINGS COMPANY'S SUBDIVISION OF A PART OF THE SOUTHWEST QUARTER OF THE SECTION 32, AND SOUTHEAST QUARTER SECTION 31, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, STATE OF COLORADO



WALLACE ENGINEERING
 STRUCTURAL AND CIVIL CONSULTANTS
 9800 PYRAMID COURT, SUITE 350
 ENGLEWOOD, CO 80112
 (303) 859-1890

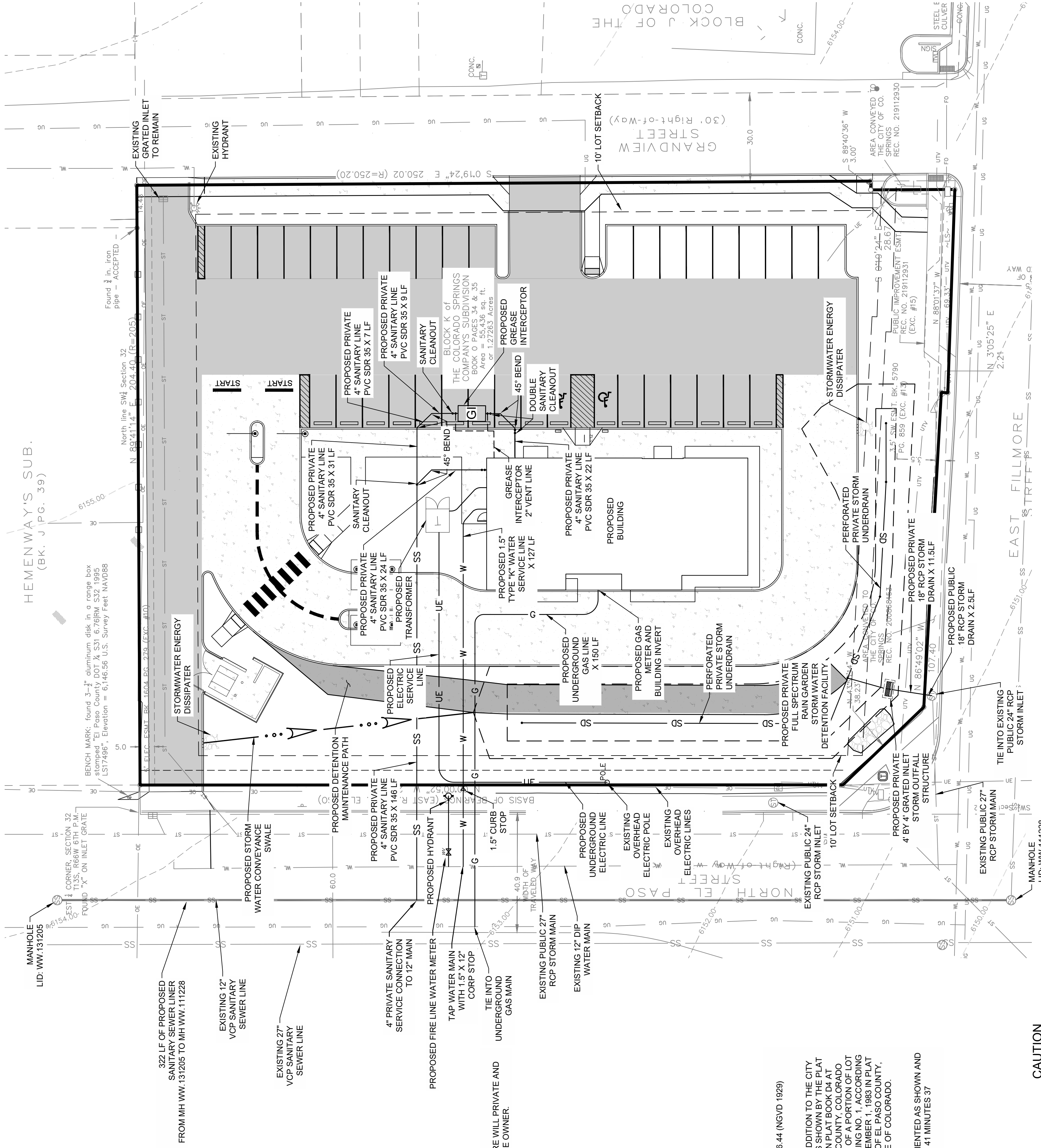
WHATABURGER EL PASO & FILLMORE

706 E FILLMORE ST

REV	DESCRIPTION	DATE

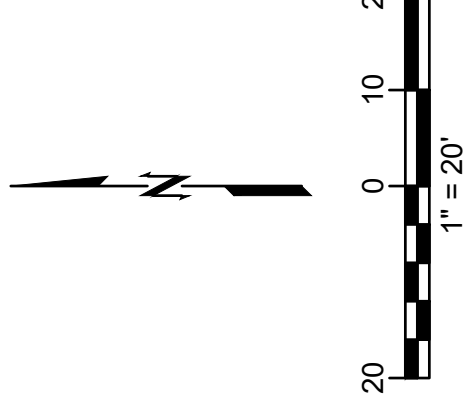
DATE 09/06/2022
 PROJECT NO. 2275013
 SHEET NAME

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
 SHEET NO.
 Sheet 4 of 14



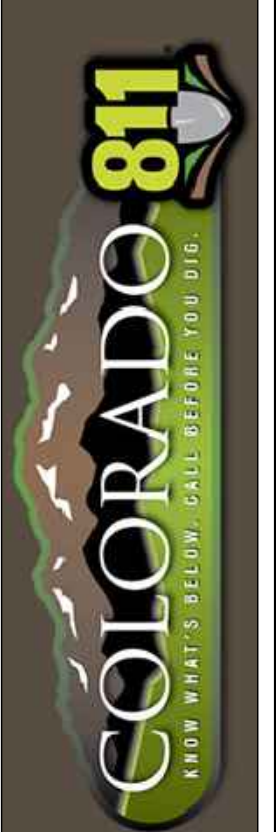
GENERAL UTILITY NOTES:

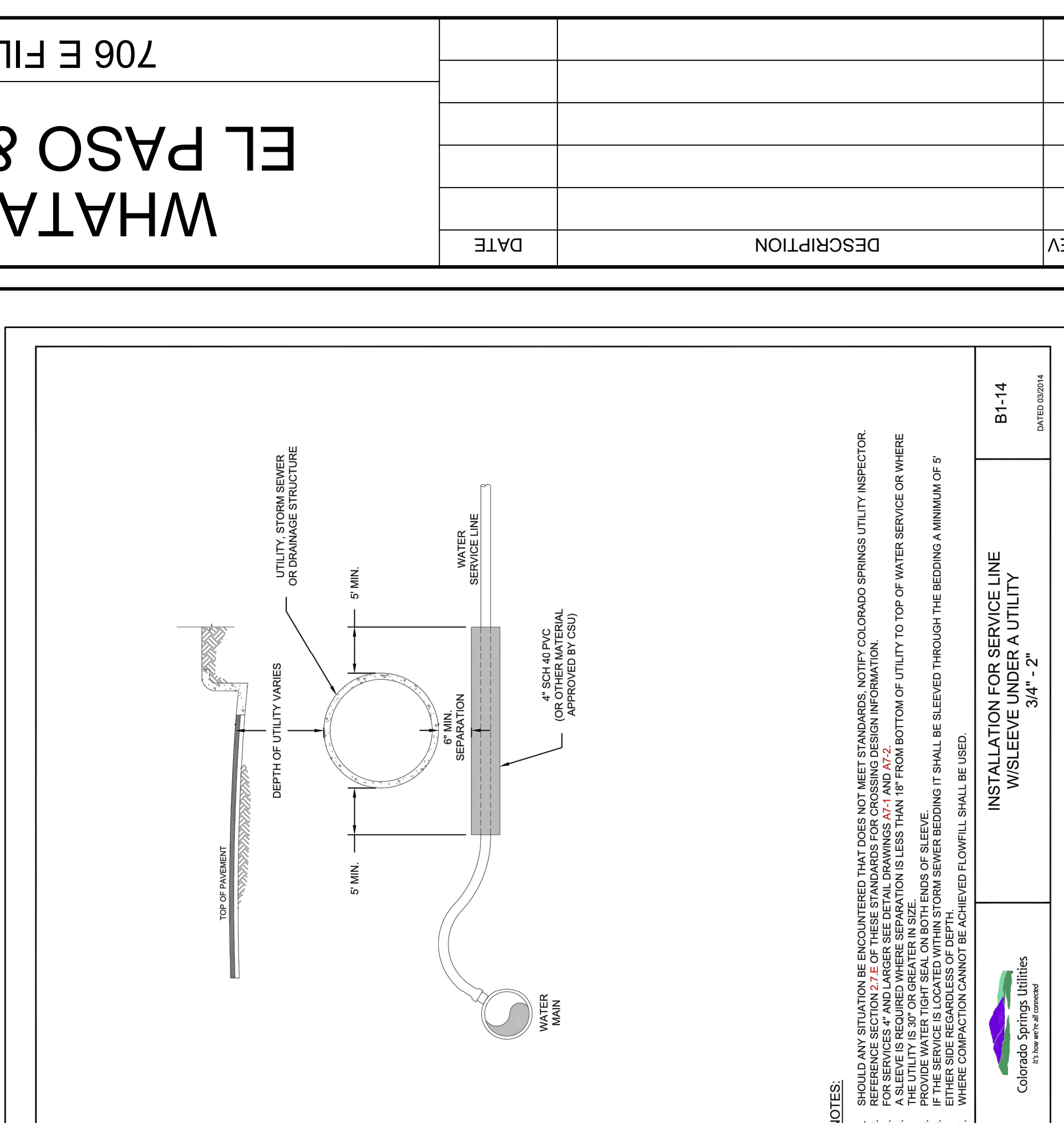
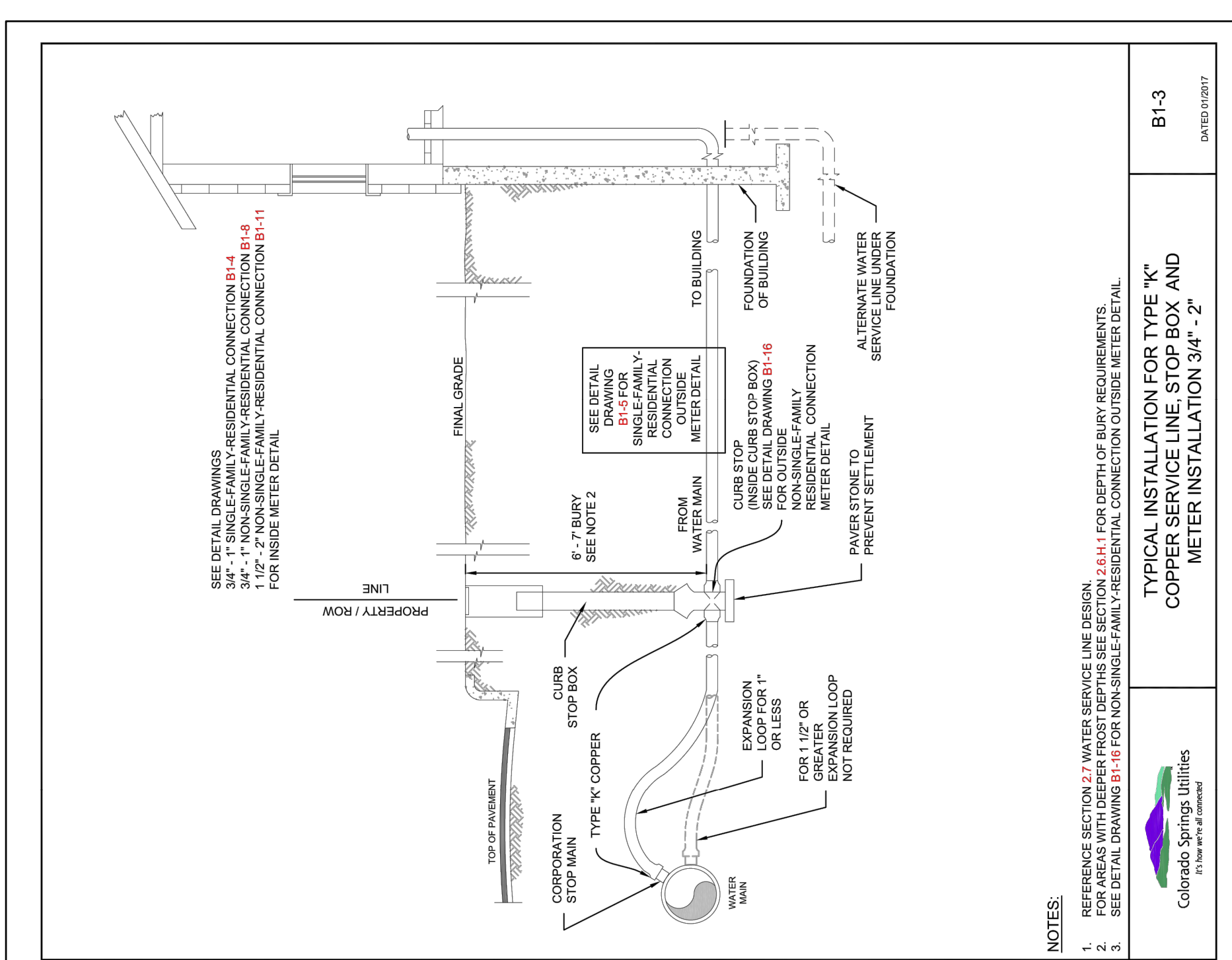
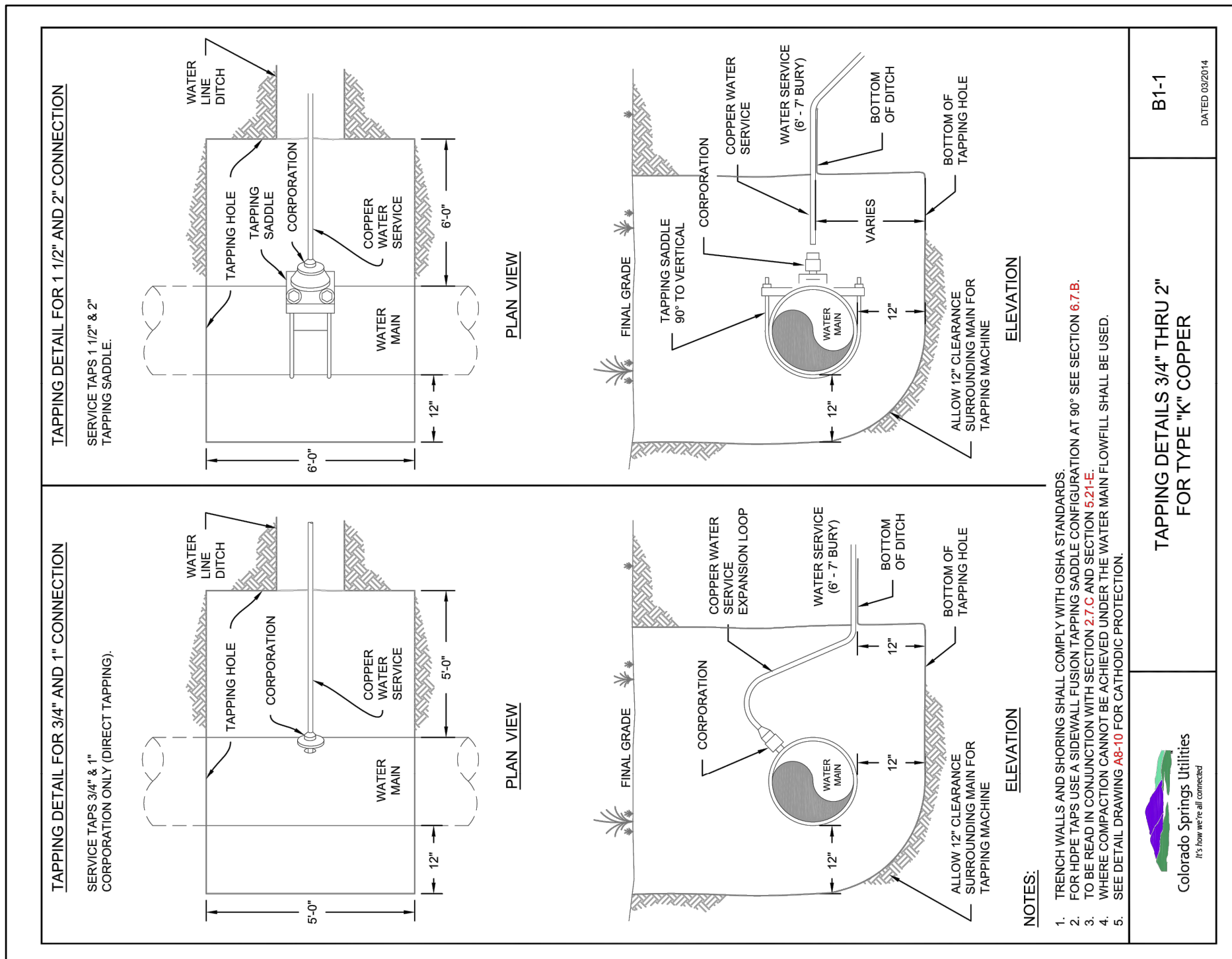
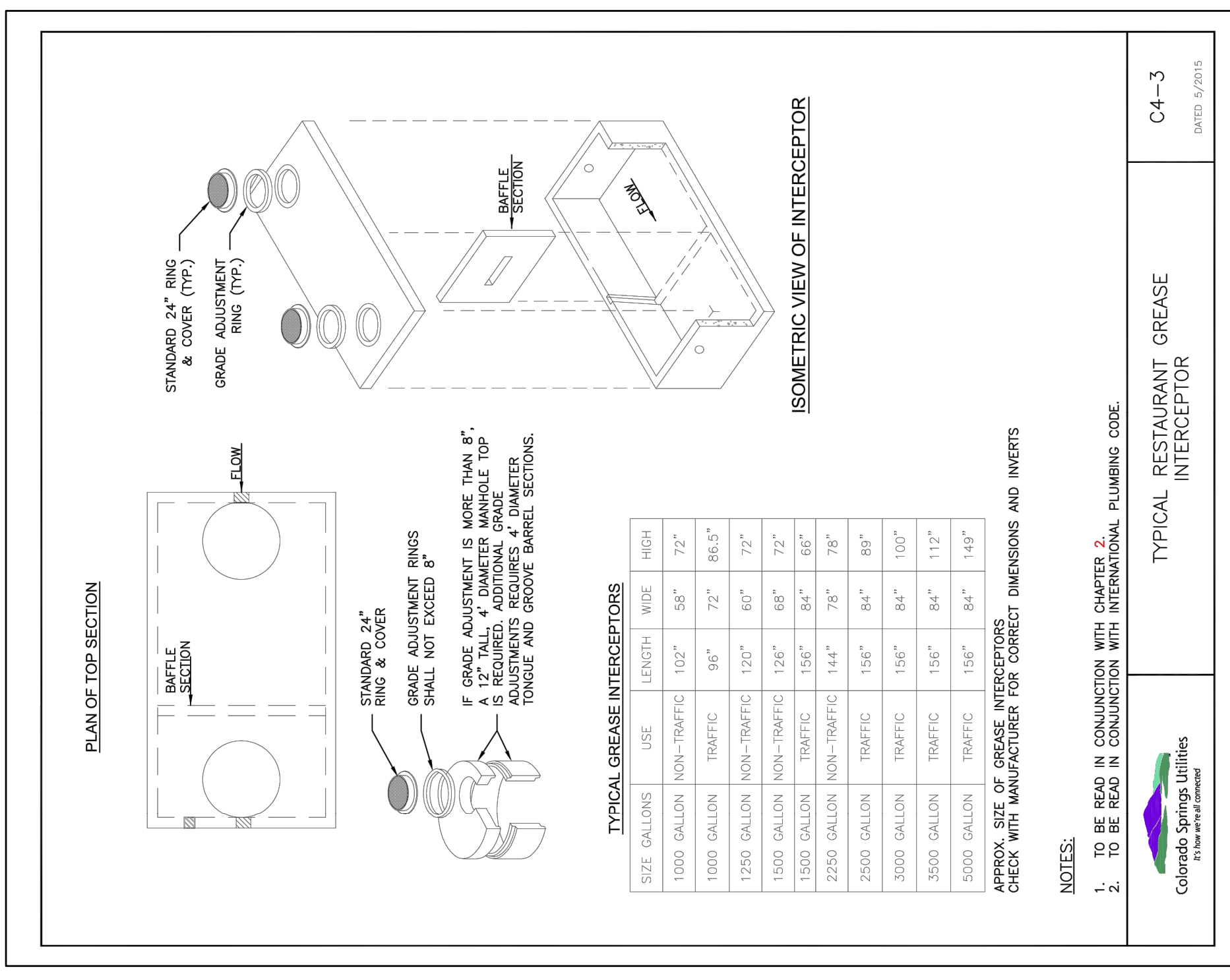
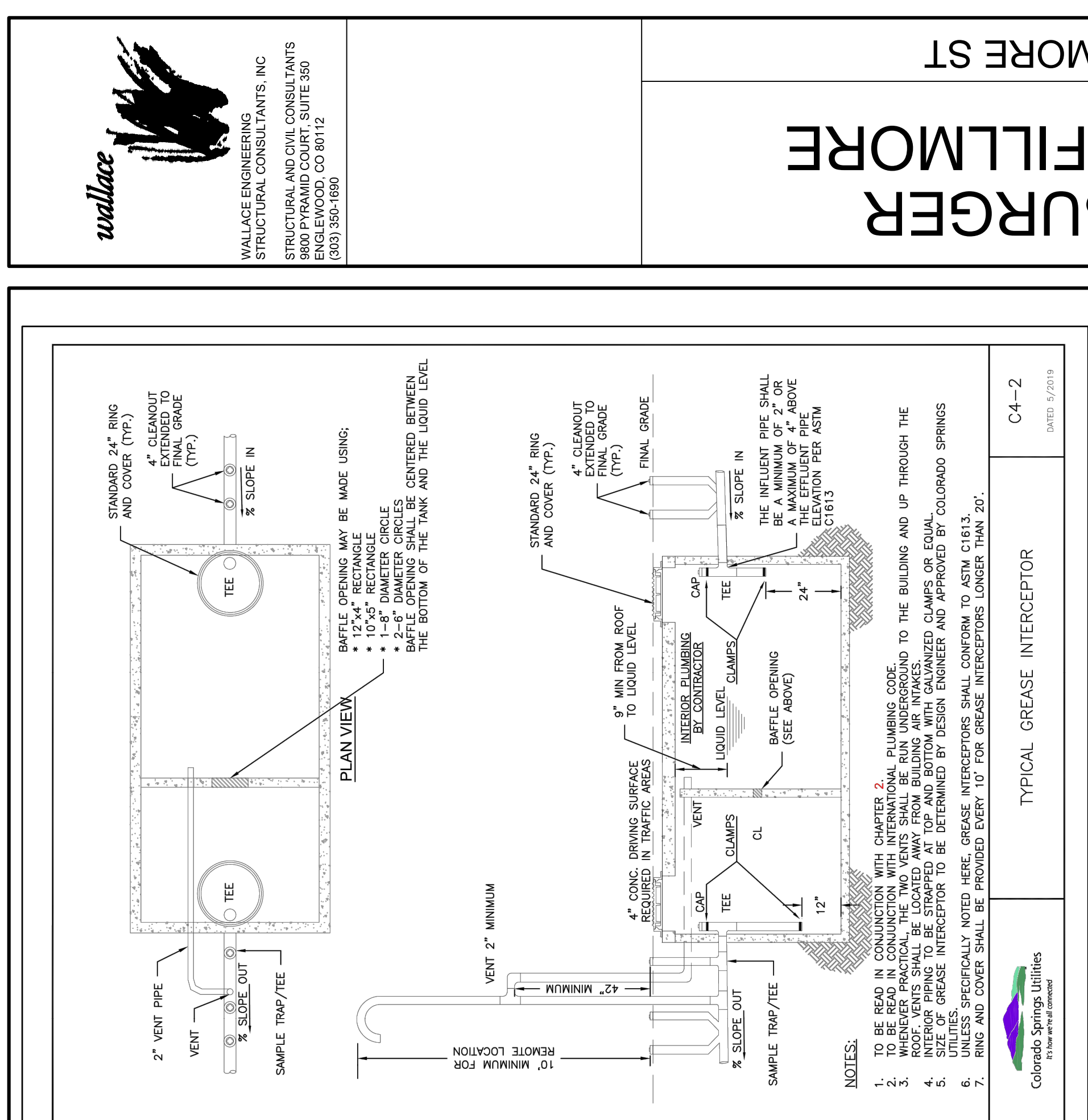
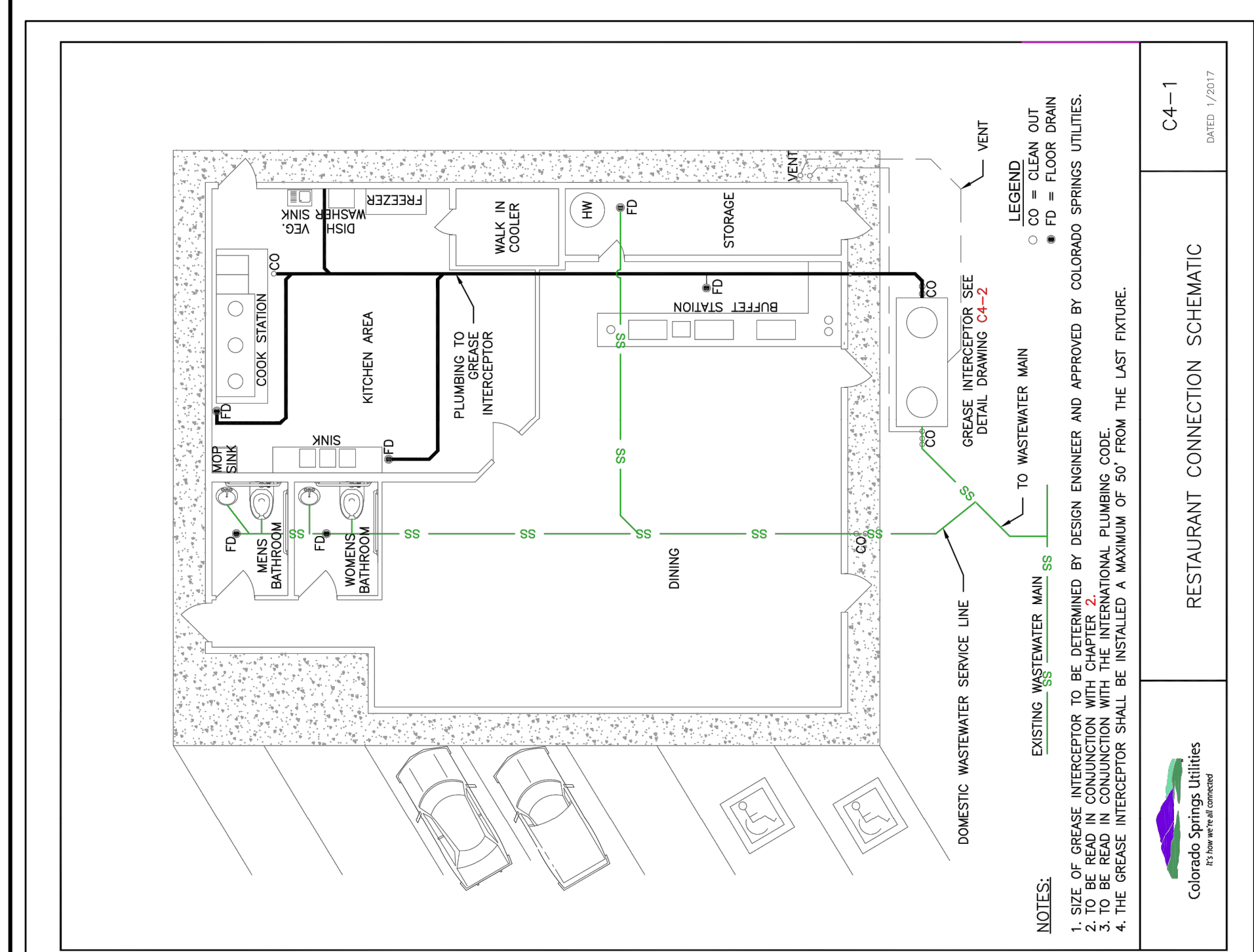
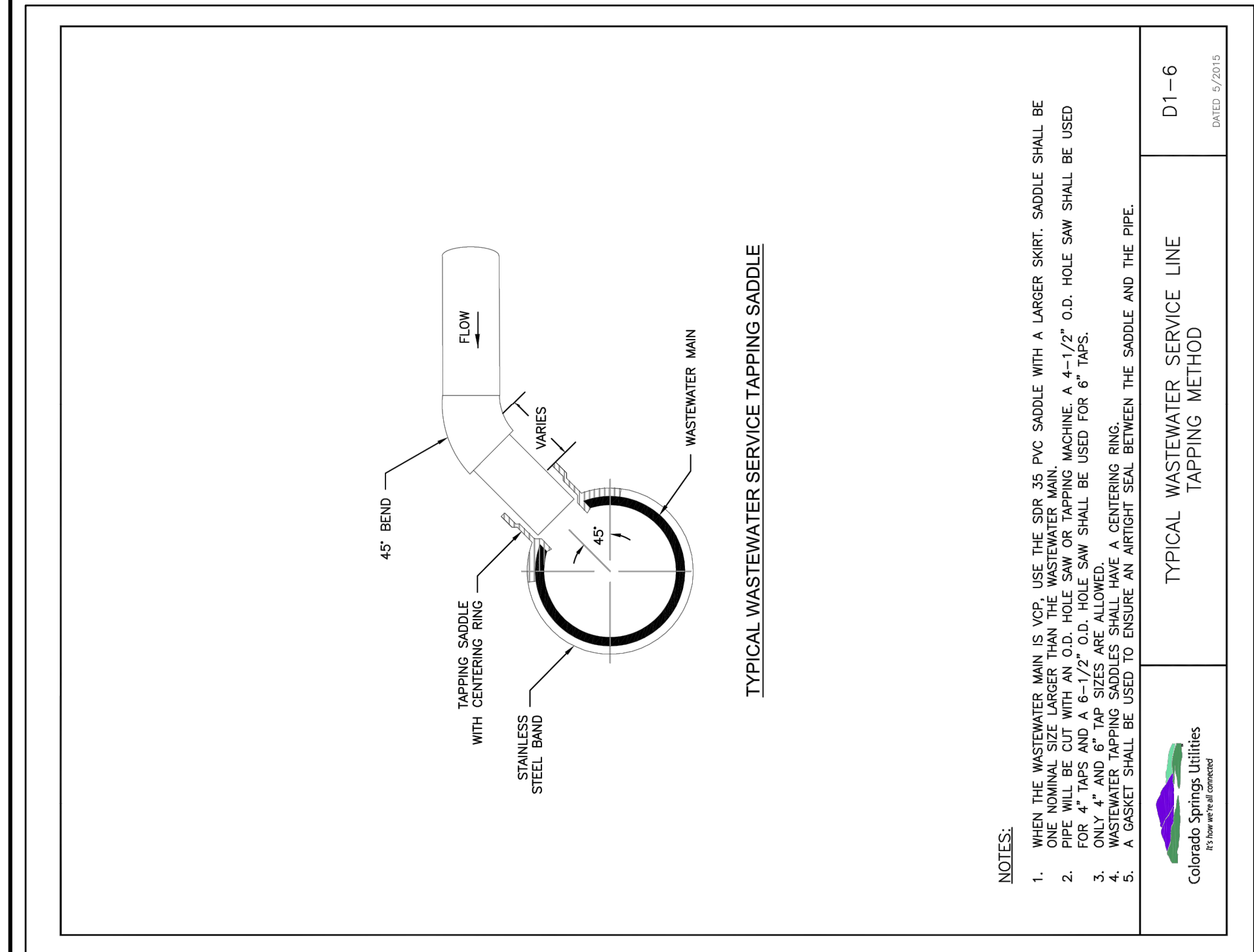
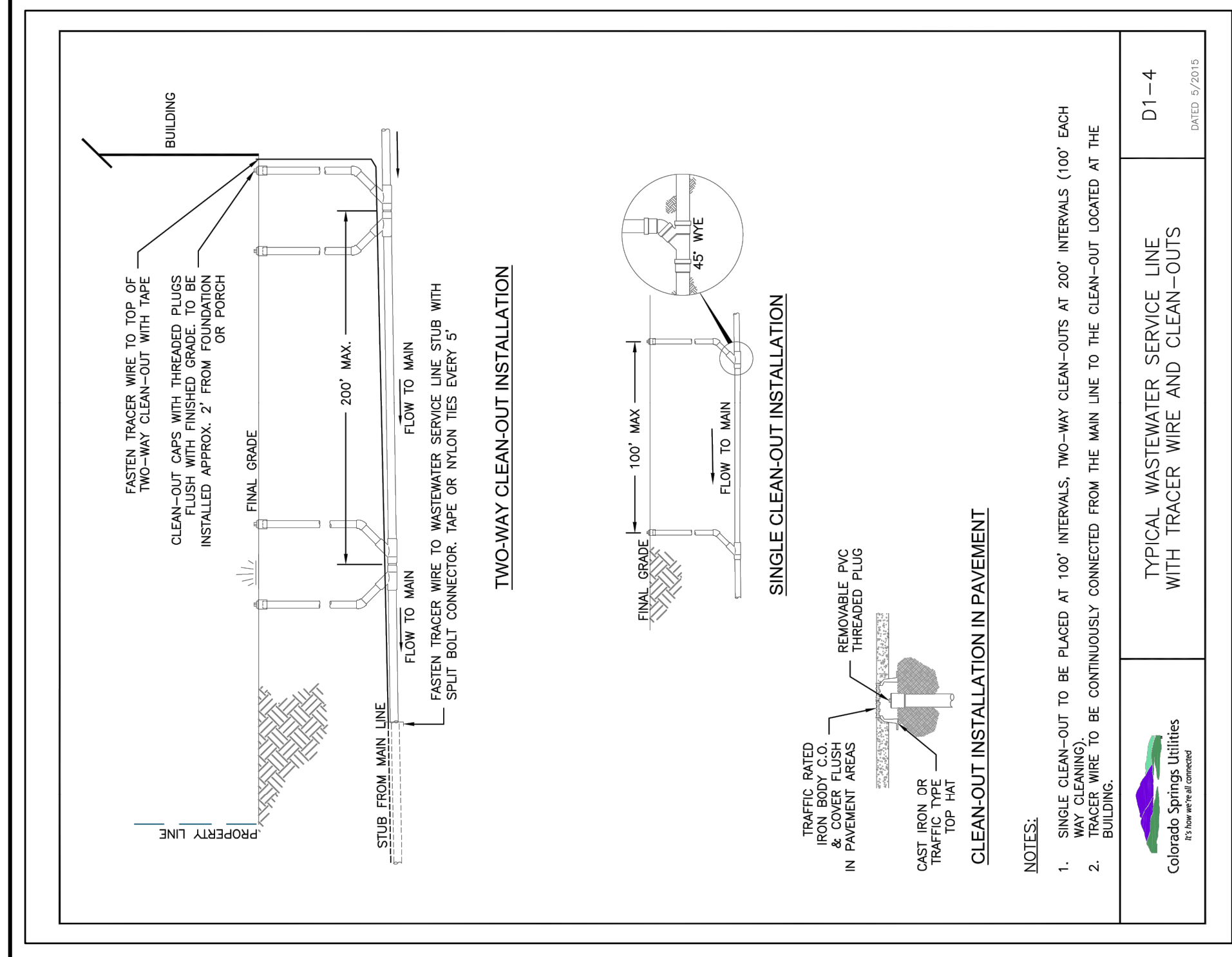
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- ALL PRIVATE AND PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR.



CAUTION
 NOTICE TO CONTRACTOR

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CAUTION
NOTICE TO CONTRACTOR

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TYPICAL RESTAURANT GREASE INTERCEPTOR

DATED: 3/2015

TAPPING DETAILS 3/4" THRU 2" FOR TYPE K COPPER

DATED: 08/2014

TYPICAL INSTALLATION FOR TYPE "K" COPPER SERVICE LINE, STOP BOX AND METER INSTALLATION 3/4" - 2"

DATED: 09/2007

INSTALLATION FOR SERVICE LINE W/SLEEVE UNDER A UTILITY

3/4" - 2"

DATED: 09/2004

BURGERWORKS EAST FILLMORE STREET

LOT 1 CPRE REPLAT

CITY OF COLORADO SPRINGS, COLORADO

FINAL LANDSCAPE PLAN

LANDSCAPE NOTES

- SOIL AMENDMENT: INCORPORATE A CURB VARIETY/AREA OF PREMIUM ORGANIC COMPOST, OR APPROVED FOLIAR, ON BULGEAS/TURF AREAS. INCORPORATE 2 CUBIC YARDS/100 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
To be applied as backfill in planting pits.
- *NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. AGRASS/GRASS SEEDS TO BE PLANTED IN COOL, SEASON GRASSES AND WEEDS. THIS LIMITING SEED WEEDS.
- ISSUANCE OF A CERTIFICATE OF OCCUPANCY: LANDSCAPE CONTRACTORS RESPONSIBILITY TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 8" OF SOIL.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTO METRIC PLAN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN PRESERVATION AREAS. FENCING SHALL BE INSTALLED AROUND VEGETATION PRIOR TO GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHALL BE MAINTAINED AROUND PRESERVATION AREAS THROUGHOUT CONSTRUCTION. FOR PRESERVATION AREAS, SEE PHOTO METRIC PLAN.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OBSTRUCTED BY LANDSCAPING.
- APPROVAL PRIOR TO INSTALLATION: ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. *ADMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL SOIL SHALL BE KEPT FREE OF WEEDS AND GRASS. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOVED STRIP, WITHOUT STEEL EDGING. USE SOLID STEEL EDGING EXCEPT WHERE NOTED OTHERWISE.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3" WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND GROWTH RATE.
- ROCK MULCH: 1.12" DIAMETER SADDLEBACK SWIRL. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL LANDSCAPE BOULDERS SHOWN ON PLAN ARE TO BE 10-12 CUBIC FEET MINIMUM. SLOAN STONE ROCK BOULDERS UNLESS OTHERWISE SPECIFIED.
- ALL LANDSCAPE BOULDERS SHALL BE INSTALLED AND PLACED IN ACCORDANCE WITH THE CITY OF COLORADO SPECIFICATIONS FOR BOULDERS. IF THESE PLANS SHOW BOULDERS TO BE INSTALLED, THEY SHALL BE INSTALLED AND PLACED IN ACCORDANCE WITH THE CITY OF COLORADO SPECIFICATIONS FOR BOULDERS. IF THESE PLANS SHOW BOULDERS TO BE INSTALLED, THEY SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ASSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PLANTING SHALL BE INSTALLED AND PLACED IN ACCORDANCE WITH THE CITY OF COLORADO SPECIFICATIONS FOR PLANTING. IF THESE PLANS SHOW PLANTING TO BE INSTALLED, THEY SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ASSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
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- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL SEWERING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL SEWERING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Aa	7	Acer x freemanii 'Jeffersred' TM / Autumn Blaze Freeman Maple	50'	30"	2" Cal.	B88	2457AD
	Tco	3	Tilia cordata / Uttelleaf Linden	45'	30"	2" Cal.	B88	45
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Jm	2	Juniperus scopulorum 'Moonglow' / Moonglow Juniper	15'	6"	6" HT	B88	12567BD
	Ppb	4	Picea pungens 'Bakeri' / Baker Blue Spruce	25'	15"	6" HT	B88	6785
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pm	11	Prunus maackii / Amur Chokecherry	25'	20"	1.5" Cal.	B88	478A
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Bm	15	Berberis thunbergii 'Monsters' TM / Gold Nugget Japanese Barberry	1'	1.5"	#5 CONT.	CONT	45A
	Bo	5	Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry	4'	3"	#5 CONT.	CONT	45A
	Cs	6	Cytisus purgans 'Spanish Gold' / Spanish Gold Broom	3.5'	5"	5 GAL.	CONT	
	Dh	14	Daphne x burkwoodii 'Carol Mackie' / Carol Mackie Daphne	4'	4"	#5 CONT.	CONT	5
	Pd	13	Potentilla fruticosa 'Davurica' TM / Prairie Snow Potentilla	2'	3"	#5 CONT.	CONT	4567S
	Spm	9	Syringia patula 'Miss Kim' / Miss Kim Lilac	6'	6"	#5 CONT.	CONT	568A
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pan	16	Picea abies 'Nidiformis' / Nest Spruce	4'	5"	#5 CONT.	CONT	785
	Pmw	26	Pinus mugo 'White Bud' / White Bud Mugo Pine	4'	4"	#5 CONT.	CONT	1256D
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Bb	11	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	3'	3"	#1 CONT.	CONT	1235D

Percent Signature Trees** : Signature Trees: 27
 (60% minimum - Policy 311.3K) Total No. of Trees: 27 = 100% Signature Trees

Percent Signature Shrubs** : Signature Shrubs: 77
 (60% minimum - Policy 311.3K) Total No. of Shrubs: 104 = 94% Signature Shrubs

GROUND COVER LEGEND

- ROCK COBBLE
2" - 4" Arkansas Tan River Rock
1,084 sf
- ROCK MULCH
1.12" Saddleback Swirl
Shrub Planting Bed
5,896 sf
- DEFENTION SEED MIX
Century Conversation District All Purpose Mix
Big Bluestem - 20%
Western Wheatgrass - 20%
Green Needlegrass - 10%
Sideoats Grama - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM
Hydroseed @ 19.3 PLS/Acre
3,623 sf

- EL PASO COUNTY LOW GROW SEED MIX
Custom El Paso County Low Grow Mix
Sideoats Grama - 20%
Western Wheatgrass - 20%
Green Needlegrass - 10%
Sideoats Grama - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM
Hydroseed @ 19.3 PLS/Acre
5,906 sf

ENTITLEMENT

DATE: 04/29/2022
 PROJECT MGR: A. BARLOW
 PREPARED BY: B. PERKINS

FINAL LANDSCAPE PLAN NOTES

DATE: 07/27/2022
 PER CITY REVIEW COMMENTS: BP
 DATE: 09/06/2022
 PER CITY REVIEW COMMENTS: BP

6 OF 14

CPC DP 22-00095

LANDSCAPE REQUIREMENTS

Landscape Setbacks

Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/Foot Req./Prov.	No. of Trees Req./Prov.
Fillmore Street	Principal Arterial	35' / 35'	188'	1 / 20'	10 / 8
N El Paso Street	Non-Arterial	10' / 10'	224'	1 / 30'	8 / 6
Grandview Street	Non-Arterial	10' / 10'	209'	1 / 30'	7 / 6

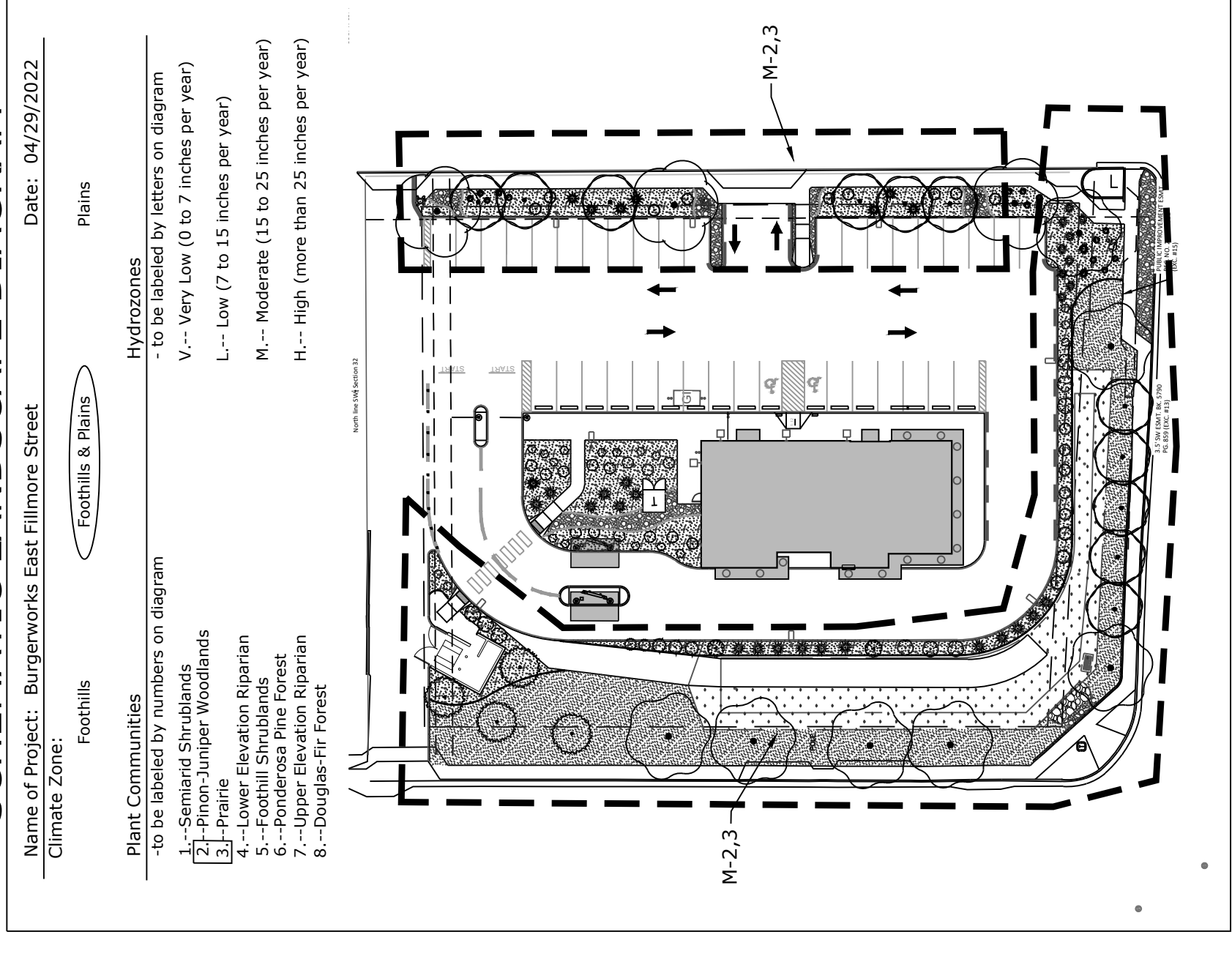
Internal Landscaping

Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required/Provided	Internal Trees (1/500 SF) Required/Provided
55,436 S.F.	5%	2,772 / 2,772	6 / 4

Motor Vehicle Lots

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required/Provided	Plant Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)
37	3 / 3	MV	65	181'

SCHEMATIC LANDSCAPE DIAGRAM





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619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

BURGERWORKS

LOT 1 CPRE REPLAT
706 EAST FILLMORE STREET

PROJECT INFO
DATE: 04/25/2022
PROJECT MGR: A. BARLOW
PREPARED BY: B. PERKINS

STAMP

ENTITLEMENT

DATE:	DESCRIPTION:
07/27/2022	PER CITY REVIEW COMMENTS
09/06/2022	PER CITY REVIEW COMMENTS

ISSUE / REVISION

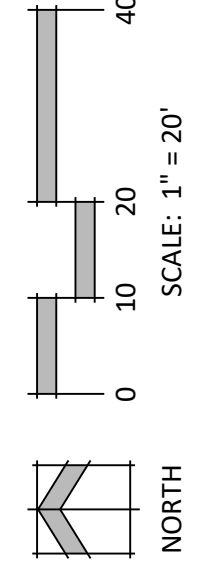
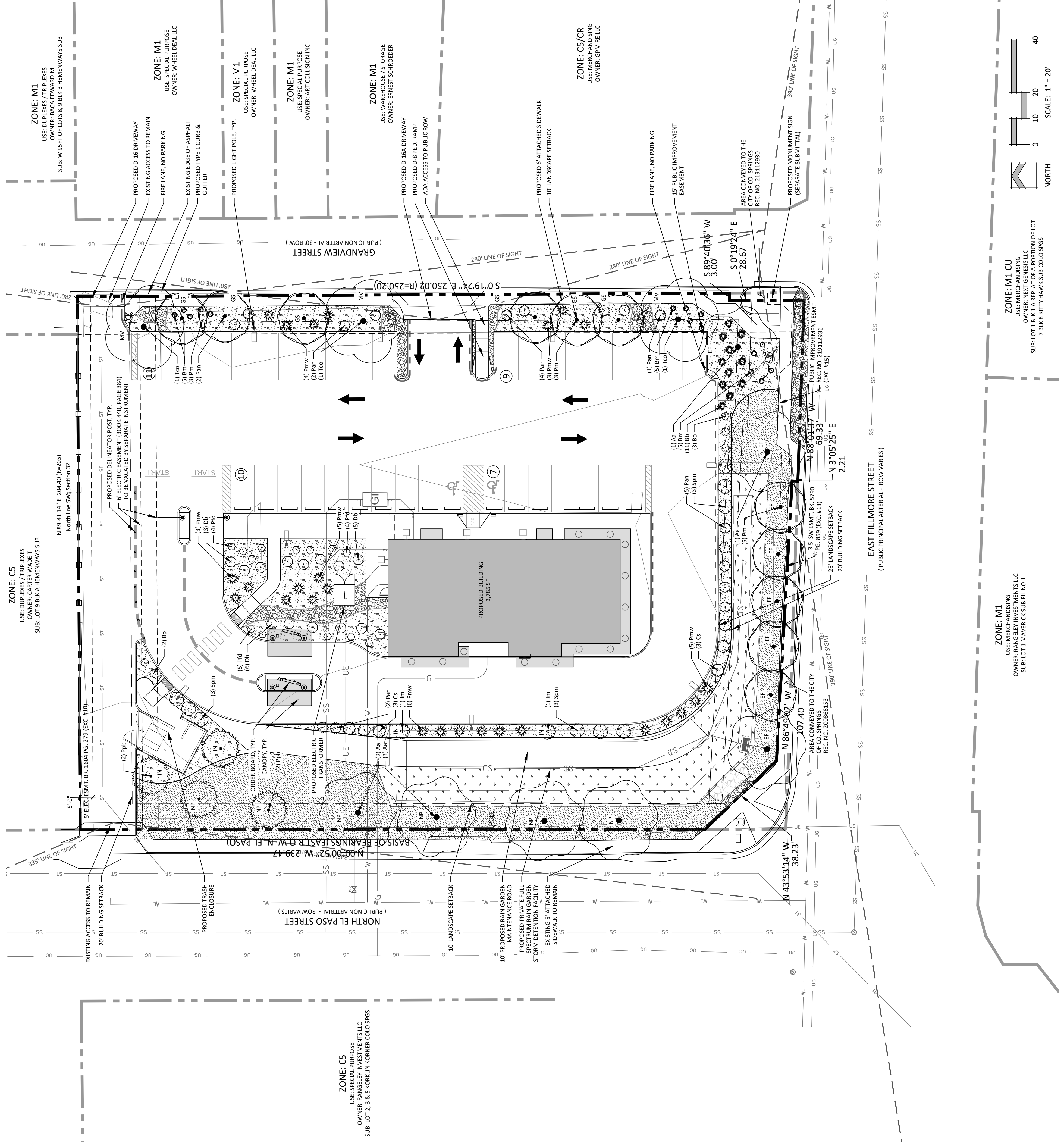
FINAL LANDSCAPE PLAN

SHEET TITLE

7

7 OF 14

CPC DP 22-00095



ZONE: M1 CU
USE: MERCHANDISING
OWNER: NEAT GENESIS LLC
SUB: LOT 1 BLK 1 A REPEAT OF A PORTION OF LOT 7 BLK 8 KITTY HAWK SUB COLO SP65

ZONE: M1
USE: MERCHANDISING
OWNER: RANGELEY INVESTMENTS LLC
SUB: LOT 1 MAVERICK SUB FIL NO 1

ZONE: C5
USE: SPECIAL PURPOSE
OWNER: RANGELEY INVESTMENTS LLC
SUB: LOT 2, 3 & 5 KORLIUN KORNER COLO SP65



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

BURGERWORKS

LOT 1. CPRE REPLAT

706 EAST FILLMORE STREET

DATE: 04/29/2022
PROJECT MGR: A. BARLOW
PREPARED BY: B. PERKINS

ENTITLEMENT

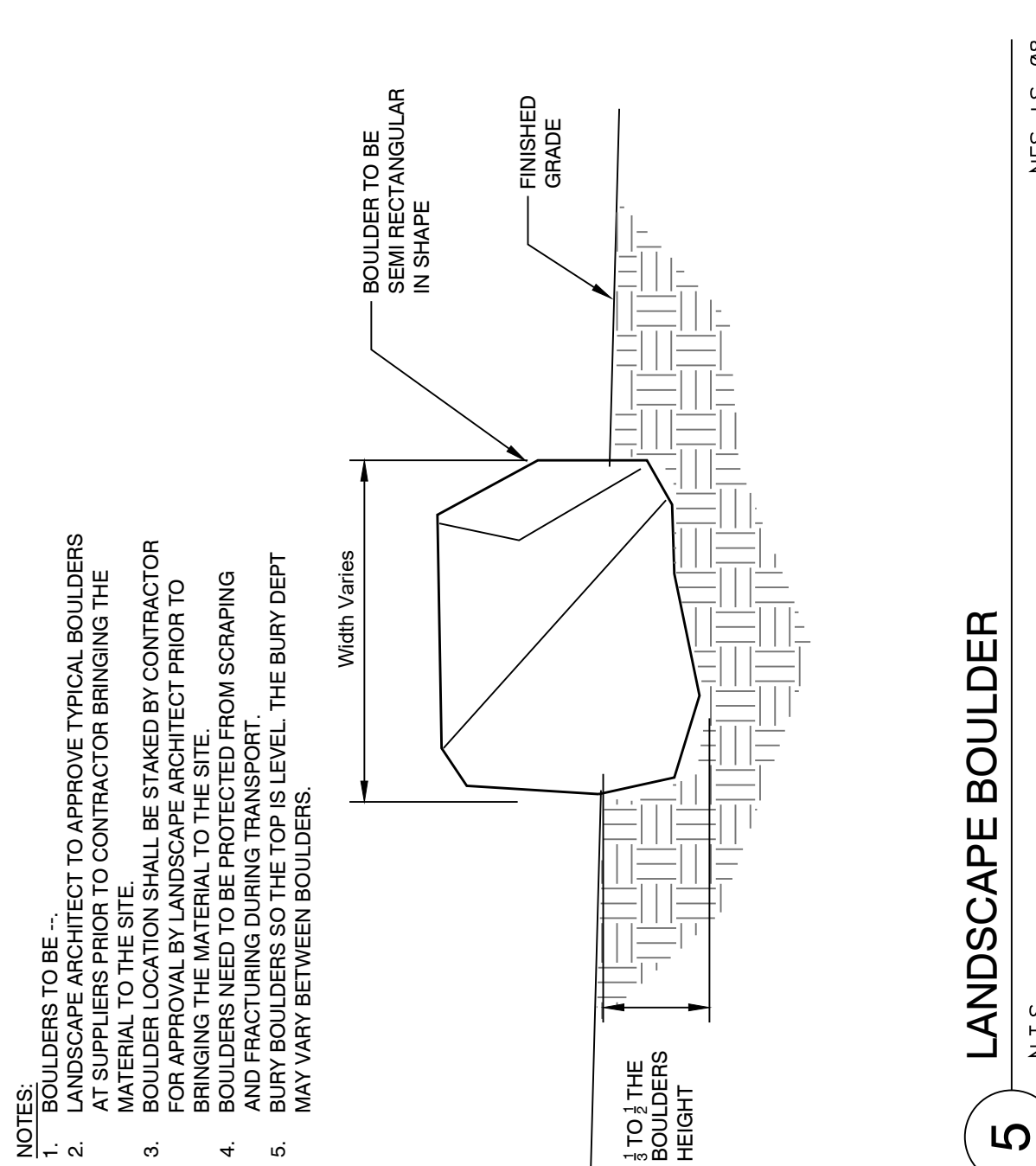
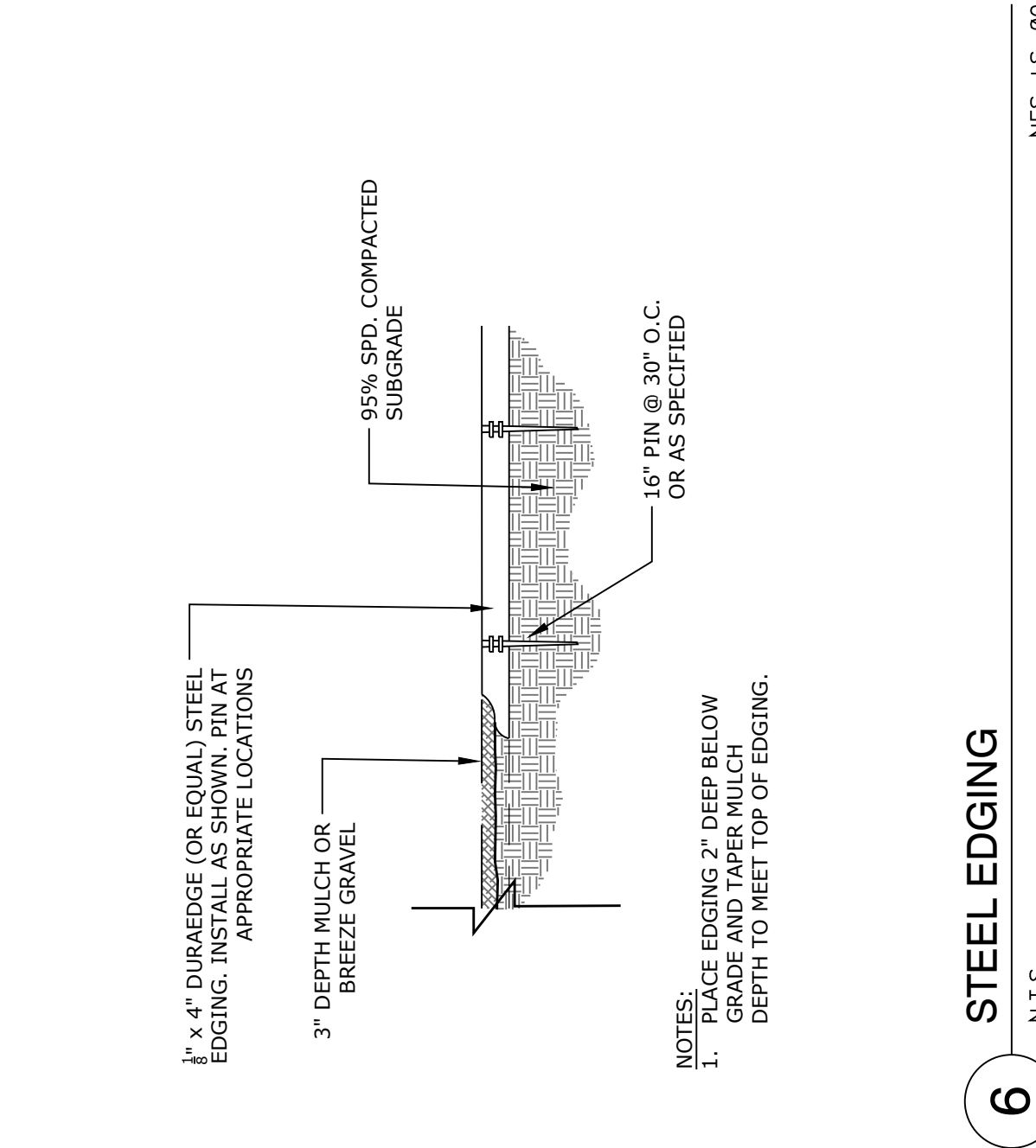
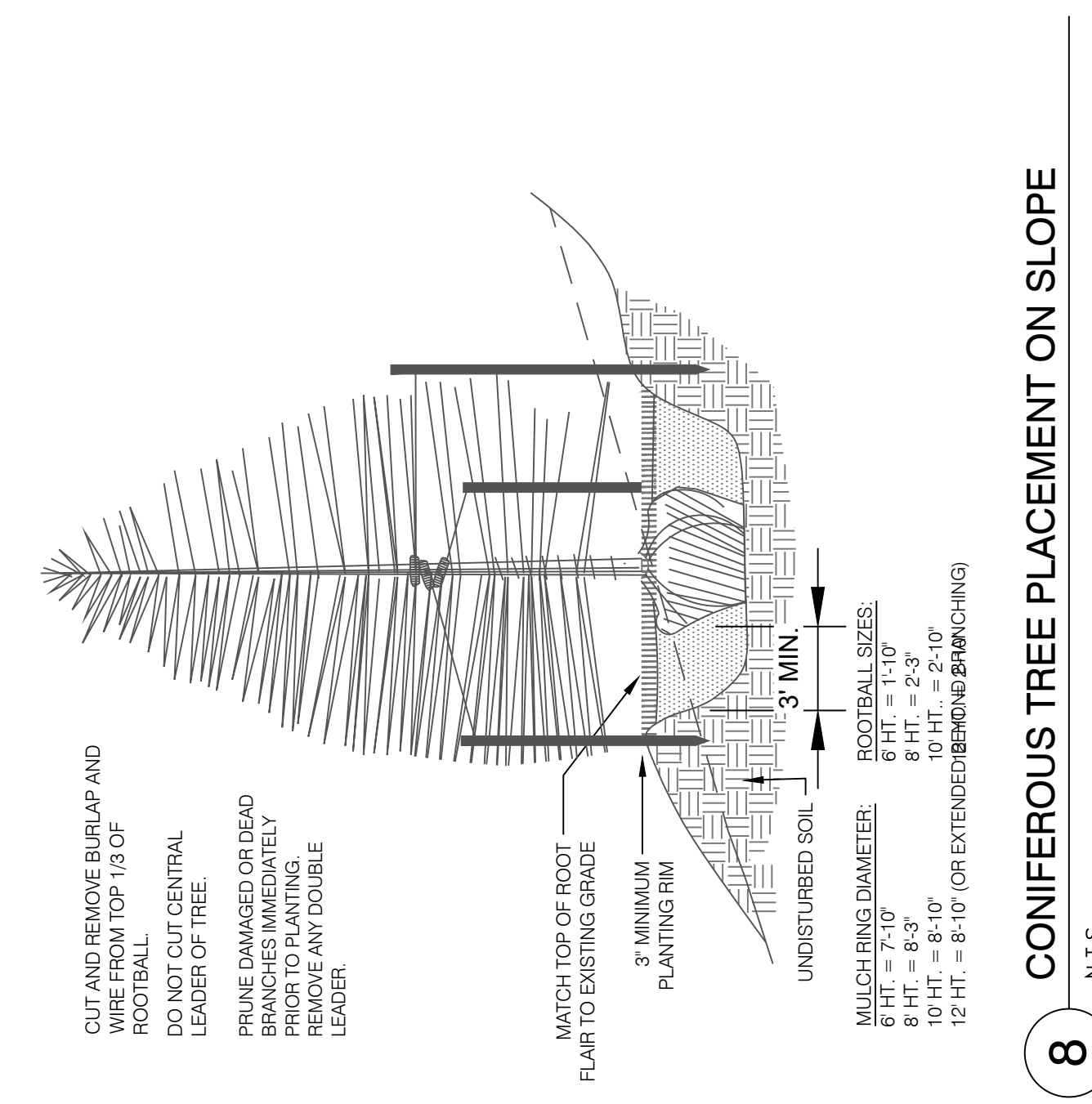
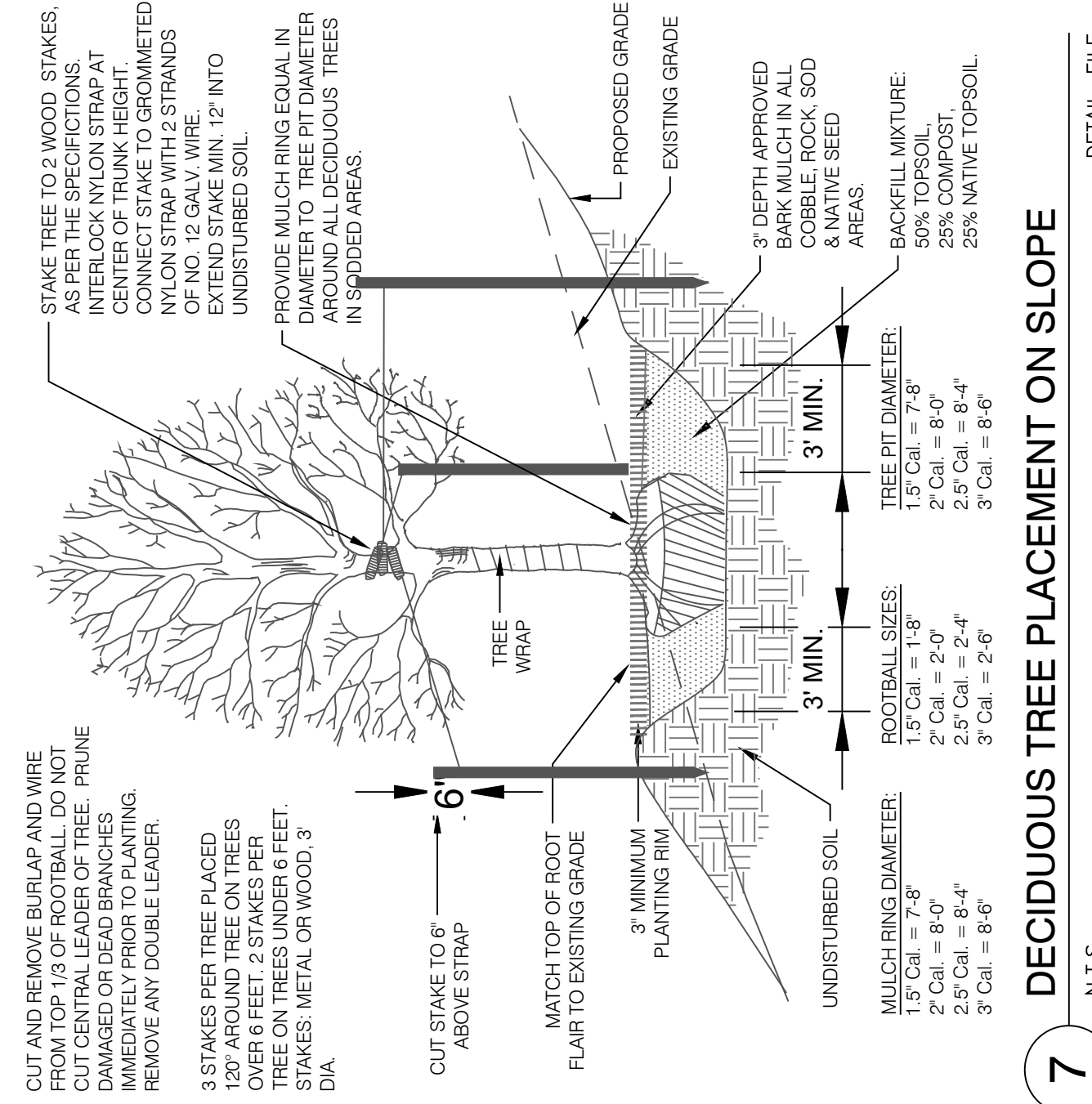
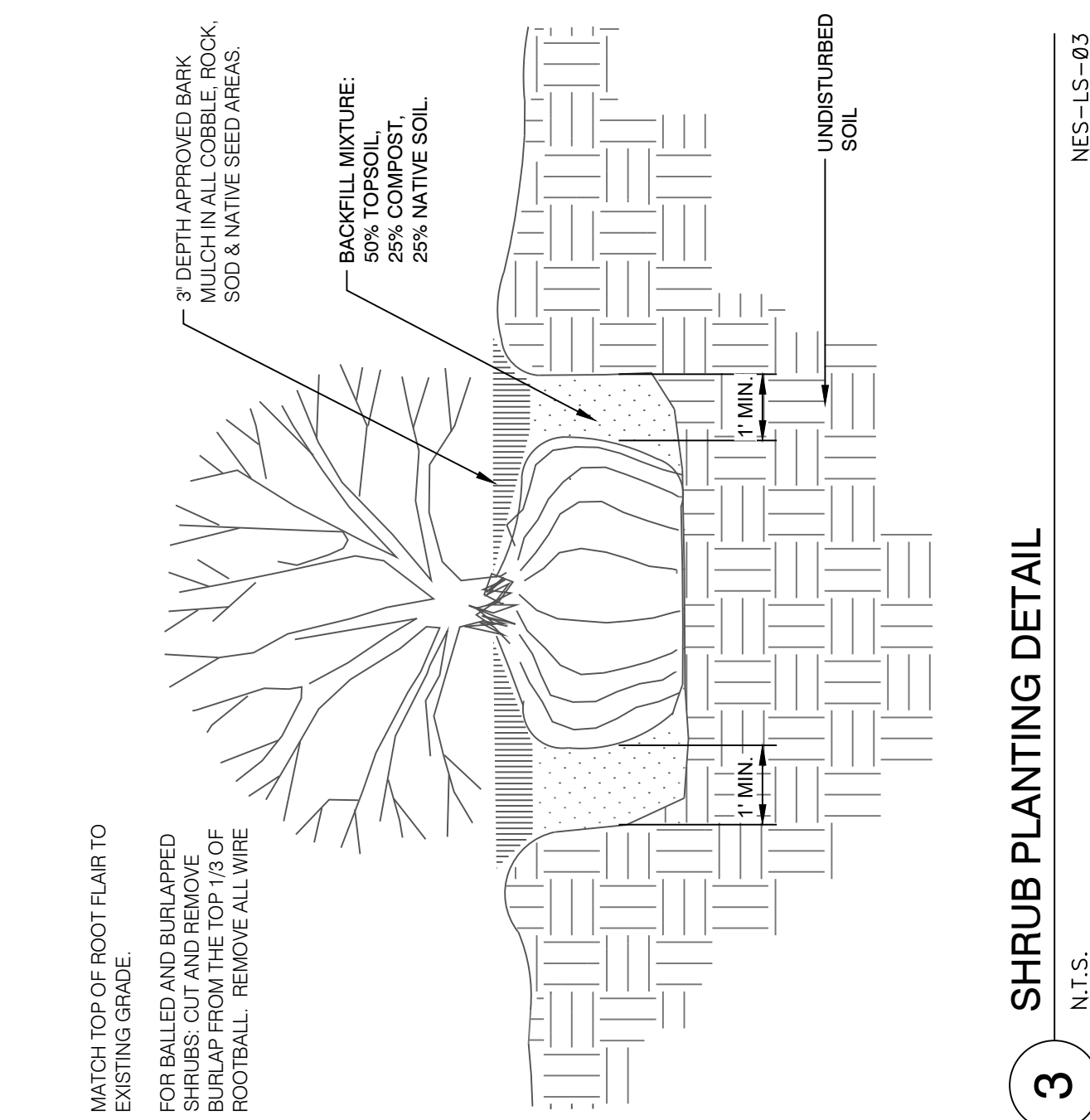
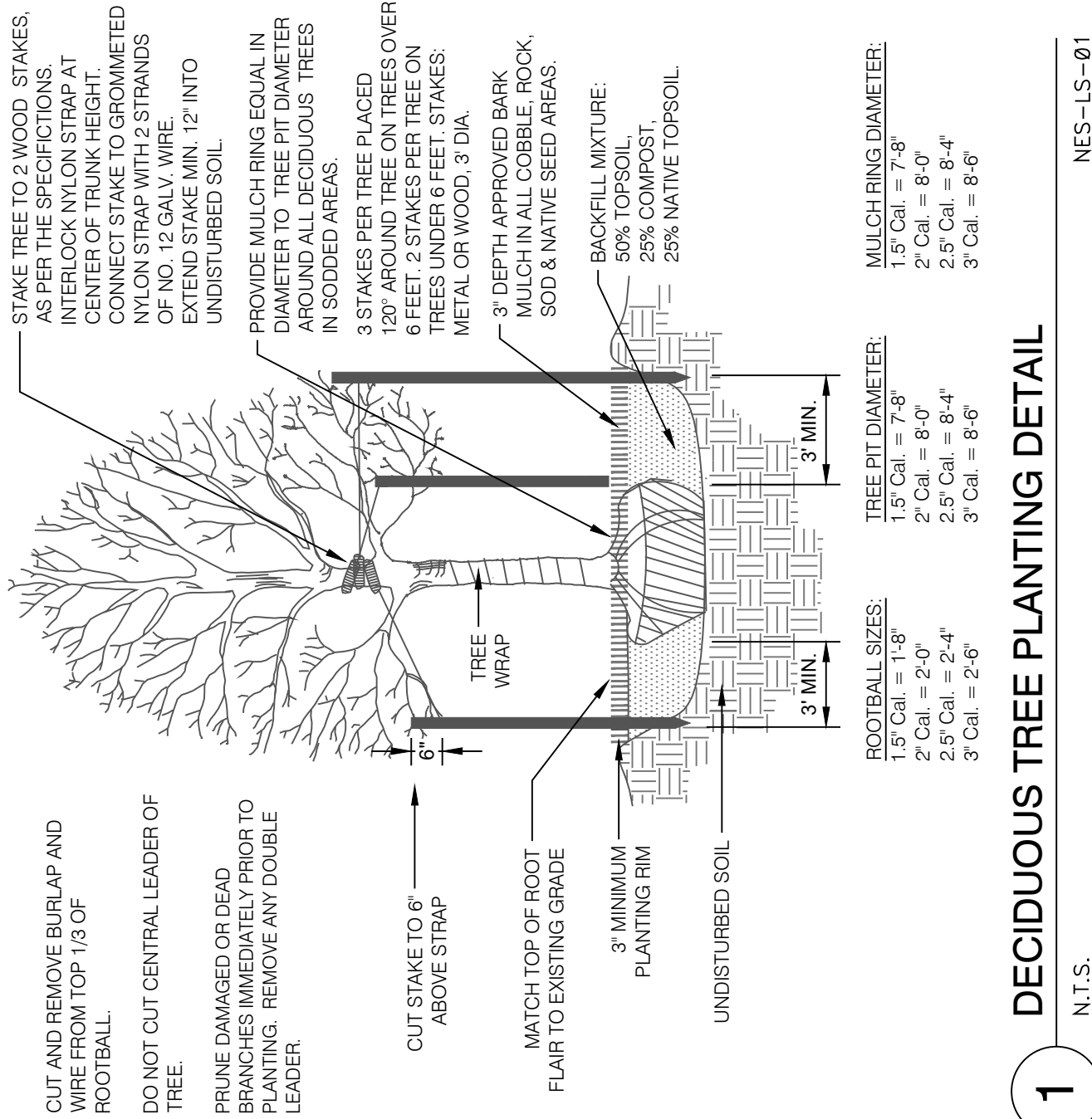
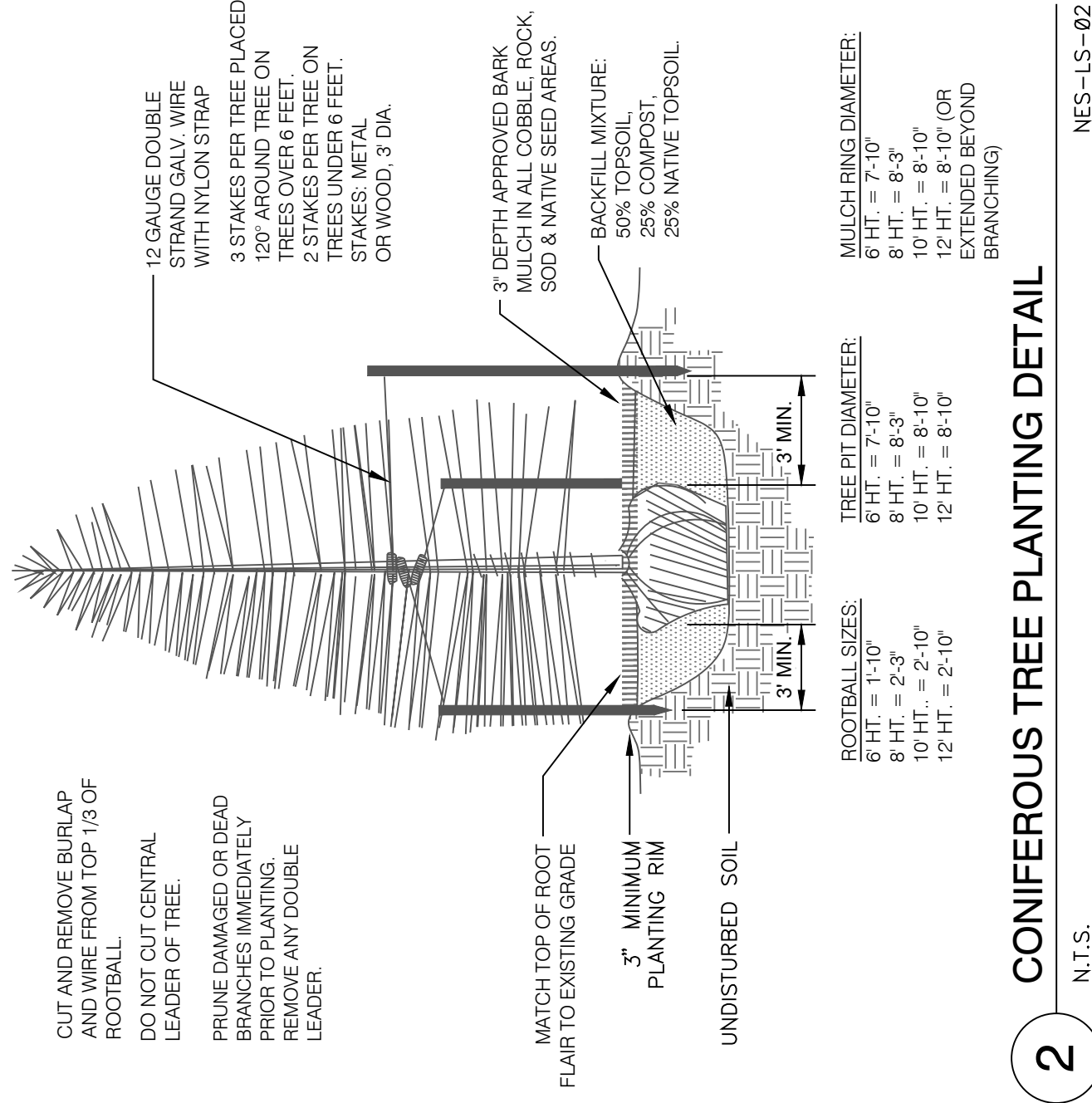
DATE:	BY:	DESCRIPTION:
07/27/2022	BP	PER CITY REVIEW COMMENTS
09/06/2022	BP	PER CITY REVIEW COMMENTS

FINAL LANDSCAPE PLAN DETAILS

8

8 OF 14

CPC DP 22-00095



- NOTES:
1. BOULDERS TO BE...
2. LANDSCAPE ARCHITECT TO APPROVE TYPICAL BOULDERS AT SUPPLIER PRIOR TO CONTRACTOR BRINGING THE BOULDER TO SITE.
3. BOULDER LOCATION SHALL BE STAKED BY CONTRACTOR FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BRINGING THE MATERIAL TO THE SITE.
4. BOULDERS NEED TO BE PROTECTED FROM SCRAPING AND FRACTURING DURING TRANSPORT. BOULDER SHOULD BE COVERED WITH NET. THE BURY DEPT MAY VARY BETWEEN BOULDERS.

BURGERWORKS EAST FILLMORE STREET

LOT 1 CPRE REPLAT

CITY OF COLORADO SPRINGS, COLORADO

FINAL IRRIGATION PLAN



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

BURGERWORKS
LOT 1 CPRE REPLAT
706 EAST FILLMORE STREET

DATE: 04/20/2022
PROJECT MGR: A. BARLOW
PREPARED BY: B. PERKINS

PROJECT INFO

ENTITLEMENT

DATE: 07/27/2022
BY: BP
DESCRIPTION: PERMITS REVIEW COMMENTS

DATE: 09/06/2022
BY: BP
DESCRIPTION: PER CITY REVIEW COMMENTS

ISSUE / REVISION

FINAL IRRIGATION PLAN

9

9 OF 14

CPC DP 22-00095

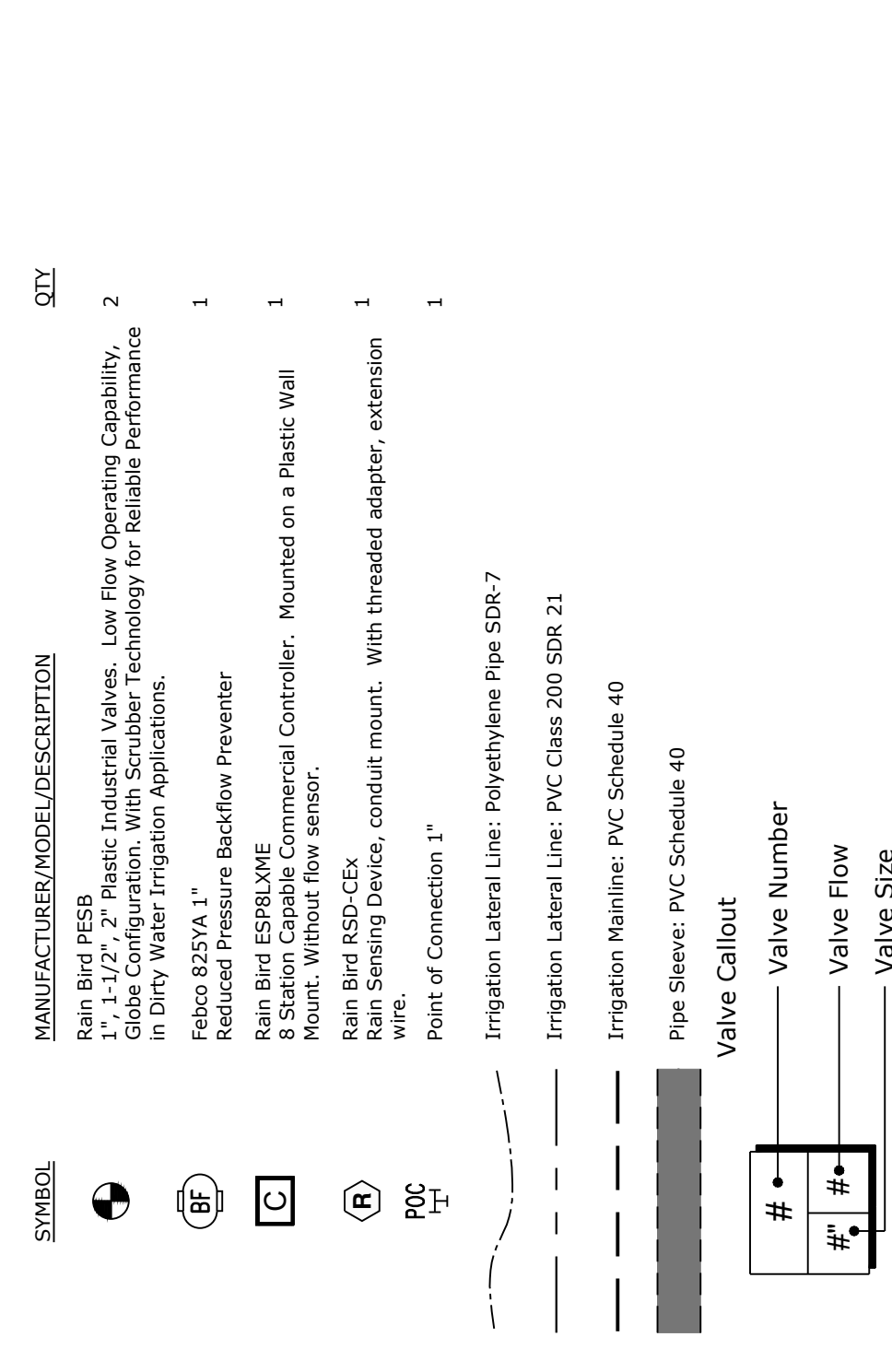
SHEET TITLE

SHEET NUMBER

PLAN FILE #

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
⊕	Hunter MP Corner PROS-06-PRS40-CV Hunter Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, T=Inquiside adj arc 45-105.	1	40
⊕	Hunter MP1000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	2	40
⊕	Hunter MP3000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	8	40
⊕	Hunter MP3500 PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LB=light brown adjustable arc, 90-210.	1	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
⊖	Rain Bird XCZ-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3/8" - 1/2" spg.	3	
⊖	Rain Bird HDCCFCAP Engine Fish Valve cap in compression fitting coupler.	4	
⊖	Tree Ring Knapex DripLine 3/8" @ 12" spacing	25	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
⊖	Rain Bird PESB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2	
⊖	Fabco 825VA 1" Reduced Pressure Backflow Preventer	1	
⊖	Rain Bird ESPRLMVC Rain Bird Commercial Controller. Mounted on a Plastic Wall Mount. Without flow sensor.	1	
⊖	Rain Bird BSD-CEX Rain Bird Sensing Device, conduit mount. With threaded adapter, extension wire.	1	
⊖	Point of Connection 1"	1	



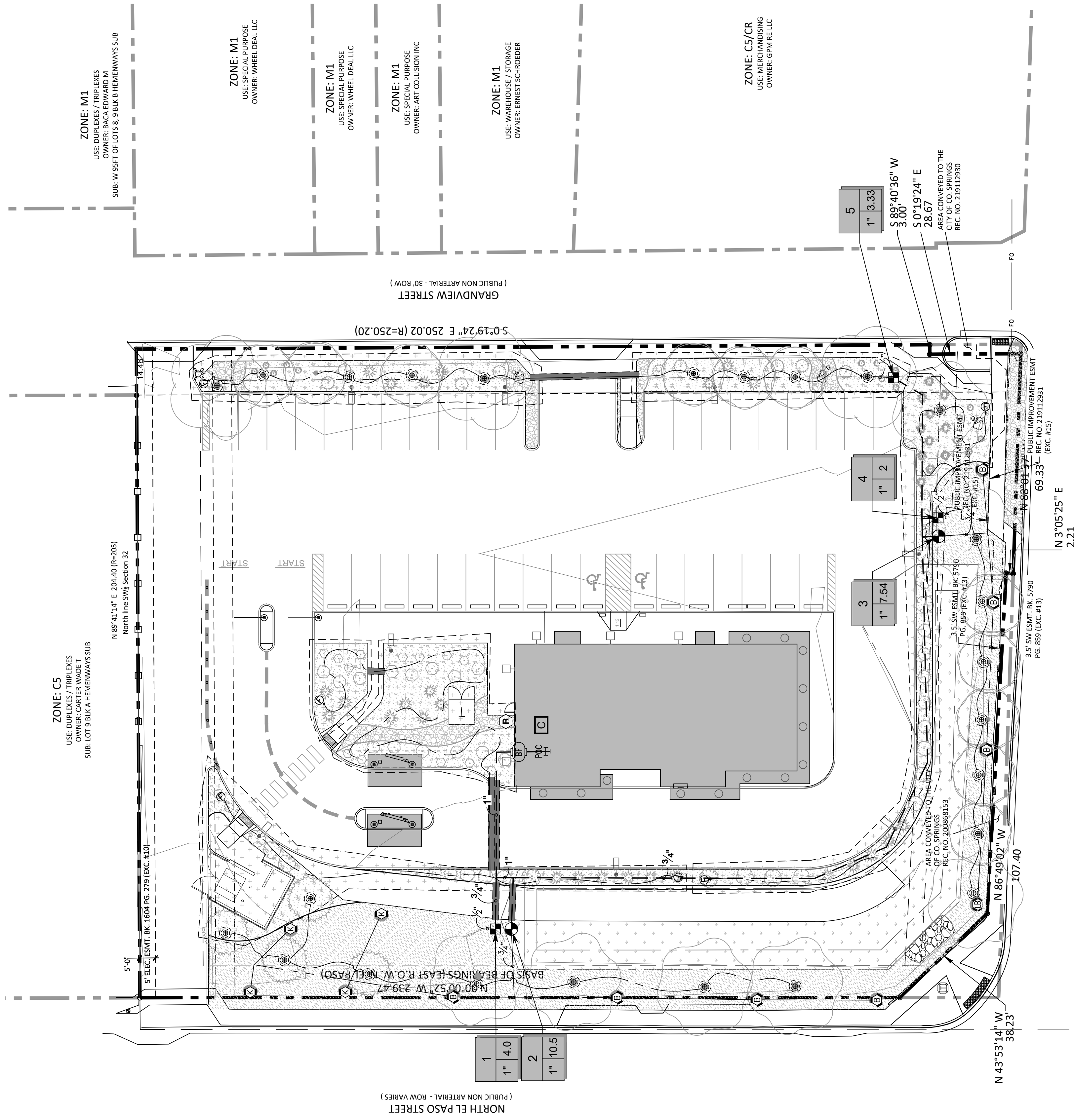
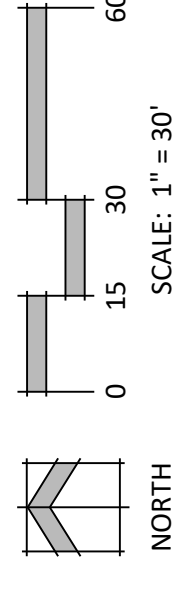
CRITICAL ANALYSIS

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R.O.C. NUMBER: 01
Worker Source Information:
FLOW AVAILABLE
Flow Available at POC: 18.2 GPM
PRESSURE AVAILABLE
Static Pressure at POC: 80 PSI
Pressure Available: 80 PSI
DESIGN ANALYSIS
Maximum Station Flow: 10.5 GPM
Flow Available at POC: 18.2 GPM
Residual Flow Available: 7.7 GPM
Pressure Req. at Critical Station: 43.24 PSI
Loss for Friction: 1.22 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 10.95 PSI
Critical Station Pressure at POC: 67.65 PSI
Residual Pressure Available: 12.37 PSI

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI @ POC	PRECIP
Unknown	Rain Bird PESB	1"	Turf Rotary	7.54	43.2	0.15 in/h
Unknown	Rain Bird PESB	1"	Turf Rotary	10.5	43.8	0.16 in/h
Unknown	Rain Bird XCZ-100-PRF	1"	Drip Emmitter	3.33	36.8	0.4 in/h
Unknown	Rain Bird XCZ-100-PRF	1"	Area for Drip Emitters	4.0	34.8	0.35 in/h

TOTAL IRRIGATED AREA = 15,419 SF



ZONE: C5
USE: DUPLEXES / TRIPLEXES
OWNER: BACA EDWARD M
SUB: LOT 3 BULK W/HEMWAYS SUB

ZONE: M1
USE: SPECIAL PURPOSE
OWNER: WHEEL DEAL LLC

ZONE: M1
USE: SPECIAL PURPOSE
OWNER: WHEEL DEAL LLC

ZONE: M1
USE: SPECIAL PURPOSE
OWNER: WHEEL DEAL LLC

ZONE: M1
USE: SPECIAL PURPOSE
OWNER: ART COLLISION INC

ZONE: M1
USE: WAREHOUSE / STORAGE
OWNER: ERNEST SCHROEDER

ZONE: C5/GR
USE: MERCHANDISING
OWNER: GPM/RE LLC

EAST FILLMORE STREET
(PUBLIC PRINCIPAL ARTERIAL - ROW VARIES)

NORTH EL PASO STREET
(PUBLIC NON ARTERIAL - ROW VARIES)

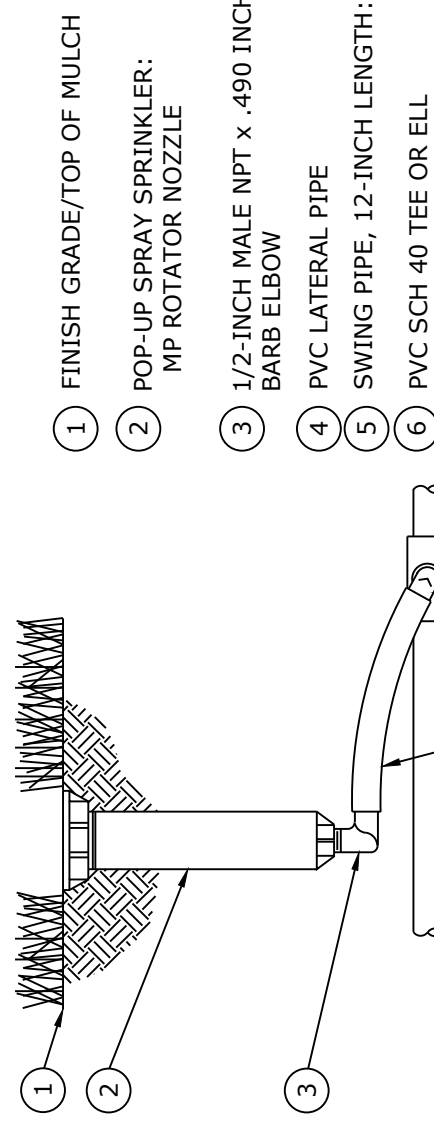
ZONE: C5
USE: SPECIAL PURPOSE
OWNER: BRANGLE INVESTMENTS LLC
SUB: LOT 2, 3 & 5 KORNIIN KORNER COLO SPS



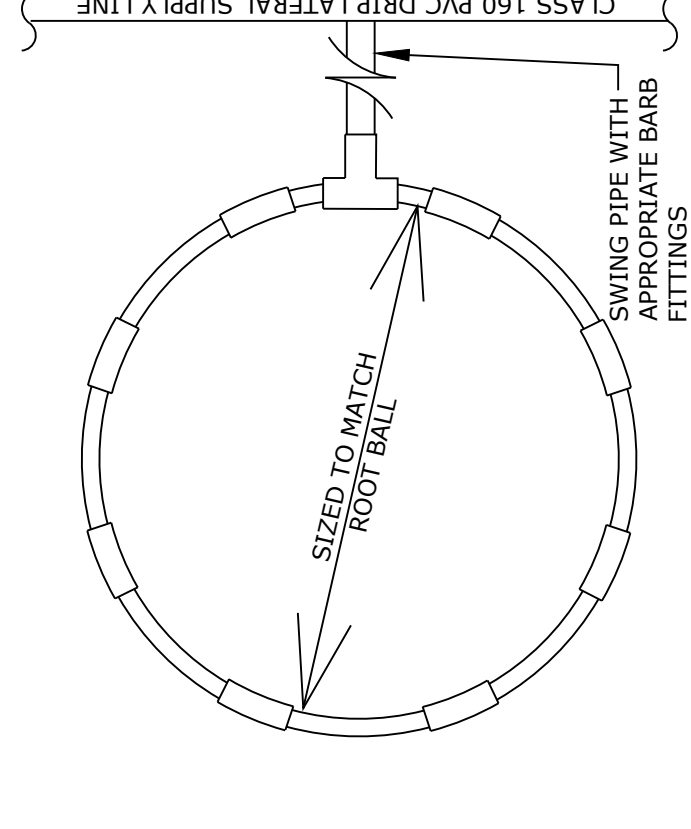
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IRRIGATION NOTES

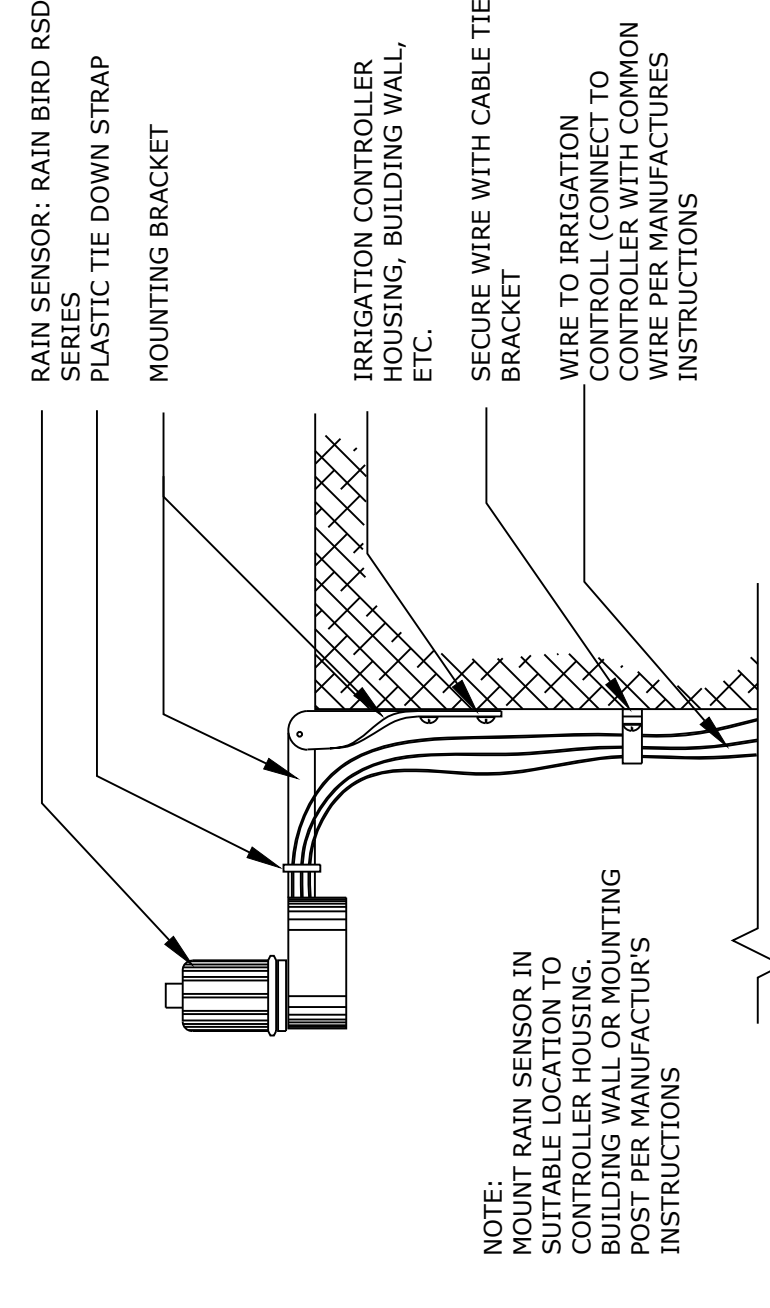
- CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT, AT METER.
- PLUMBING CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND FEBCO 825YA BACK FLOW PREVENTER OR APPROVED EQUAL.
- CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 18" BELOW FINISH GRADE.
- ALL VALVE BOXES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4 PER BOX). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, WIRES, AND VALVE.
- IRRIGATION CONTROL WIRE SHALL BE COMMON TRENCH WITH MAINLINE AND SHALL HAVE SEPARATE SLEEVE WERE CROSSING ALL HARD CONSTRUCTION.
- CONTRACTOR TO UTILIZE 12" POP-UP SPRAY BODIES FOR ALL NATIVE/SEEDED AREAS.
- THE CONTRACTOR SHALL ADJUST ALL VALVES AND SPRAY NOZZLES FOR OPTIMUM COVERAGE.
- CONTRACTOR SHALL TAPE CLOSED ALL SIEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.
- CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.
- INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM. COORDINATE FINAL LOCATION WITH OWNER AND LANDSCAPE ARCHITECT. EXTEND ALL CONTROL WIRING FROM IRRIGATION CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.
- THIS SYSTEM IS DESIGNED AT 80 PSI STATIC WATER PRESSURE AND 36 GPM. **THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.**
- DRAWINGS ARE DIAGRAMMATIC. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONFLICTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
- MINIMUM PIPE SIZE SHALL BE 3/4". IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS THE UNSIZED PIPE SHALL BE THE SAME SIZE AS THE TWO SIZED SECTIONS.
- MINIMUM PIPE SLEEVING SHALL BE 3" FOR ALL LATERALS AND MAIN LINE.
- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AT THE START OF 2020 WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM THIS SPRING.
 - WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME).
 - ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW LANDSCAPES.
 - SPRINKLER PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO OPERATE AT ANY TIME OF DAY BEFORE MAX 1 LAND AFTER OCTOBER 11.
 - SPRINKLERS CAN BE OPERATED FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.



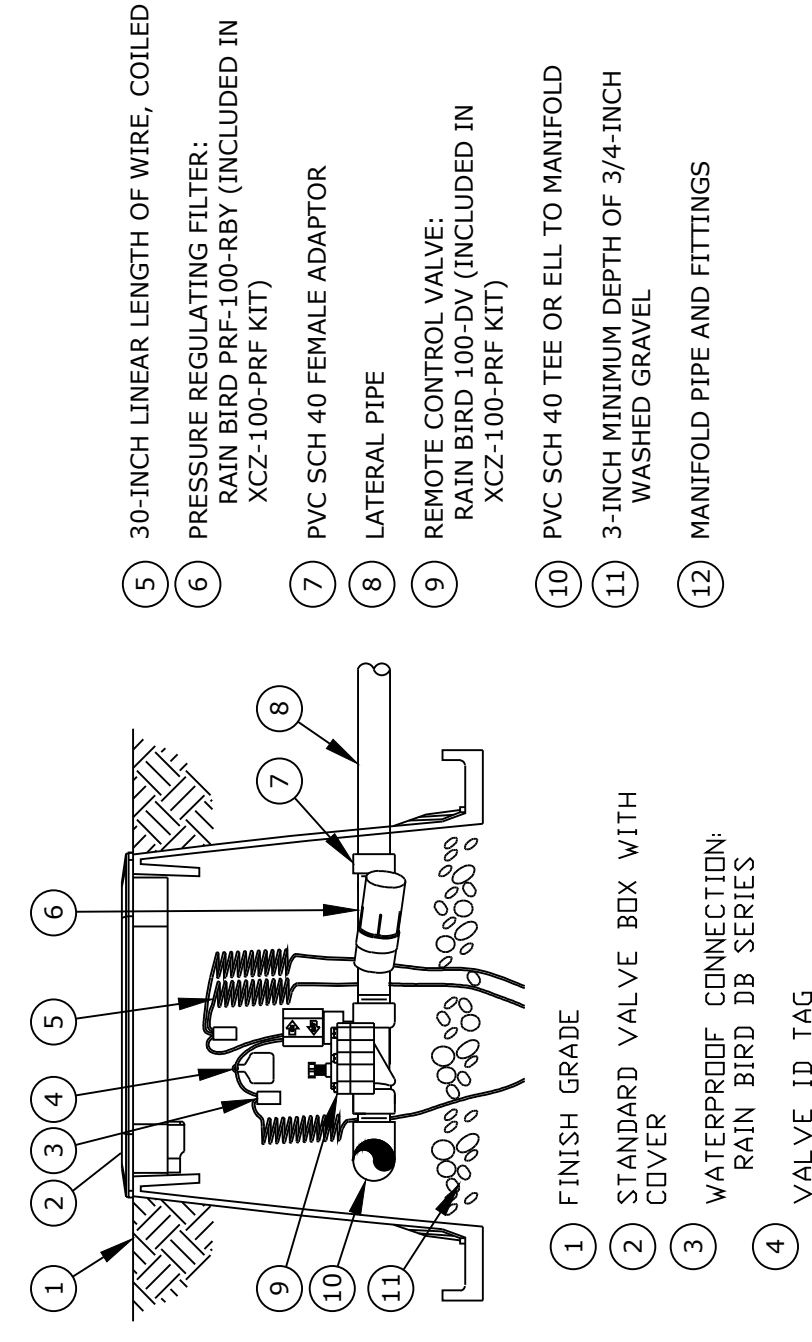
3 POP-UP SPRINKLER
SCALE: NOT TO SCALE



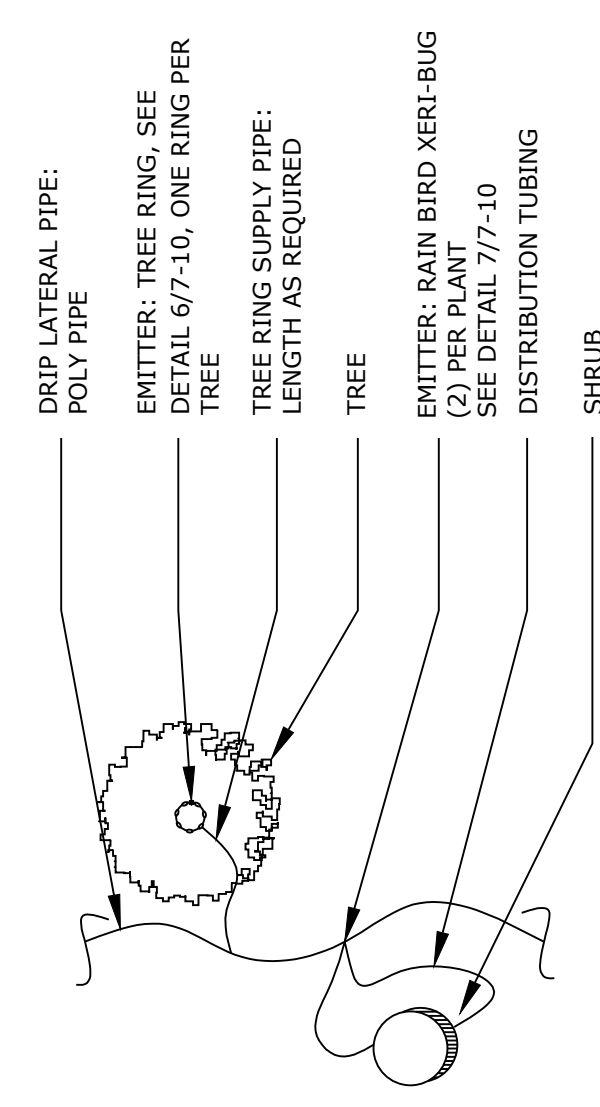
6 TREE RING (TYP.)
SCALE: NOT TO SCALE



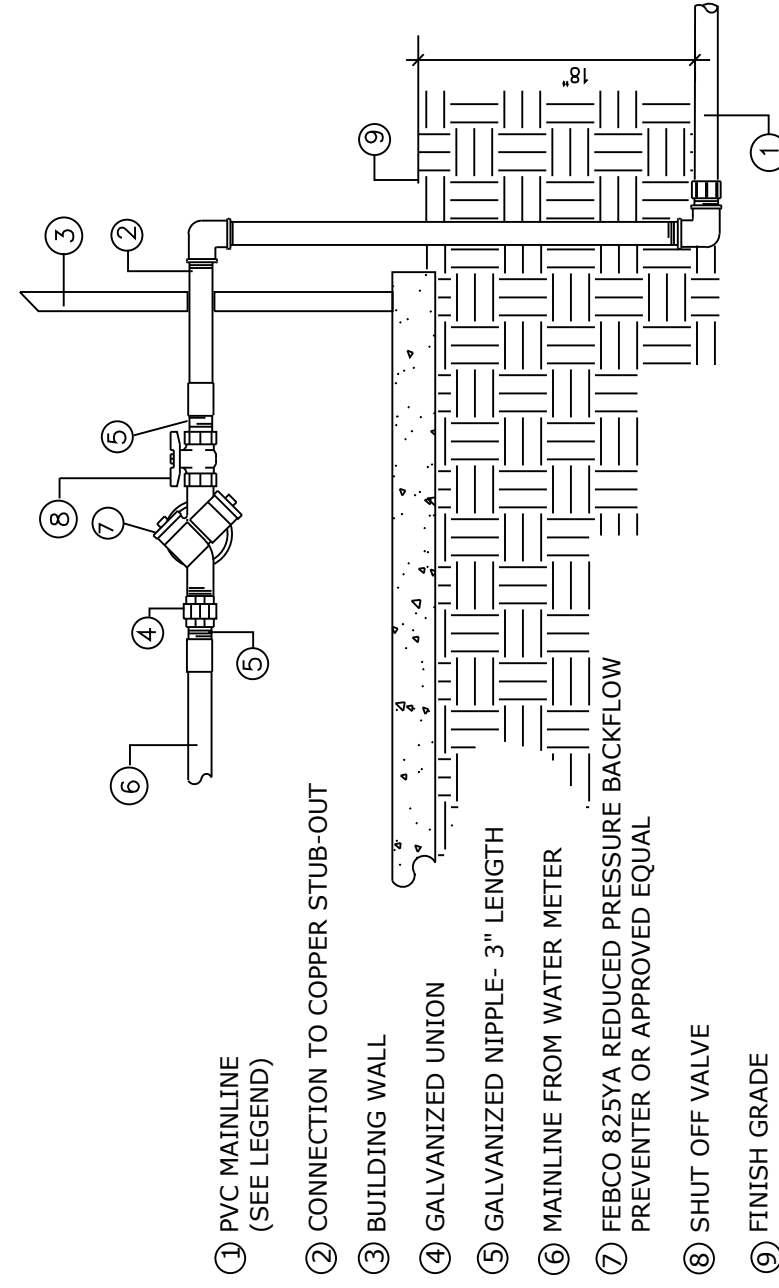
9 RAIN SENSOR ASSEMBLY
SCALE: NOT TO SCALE



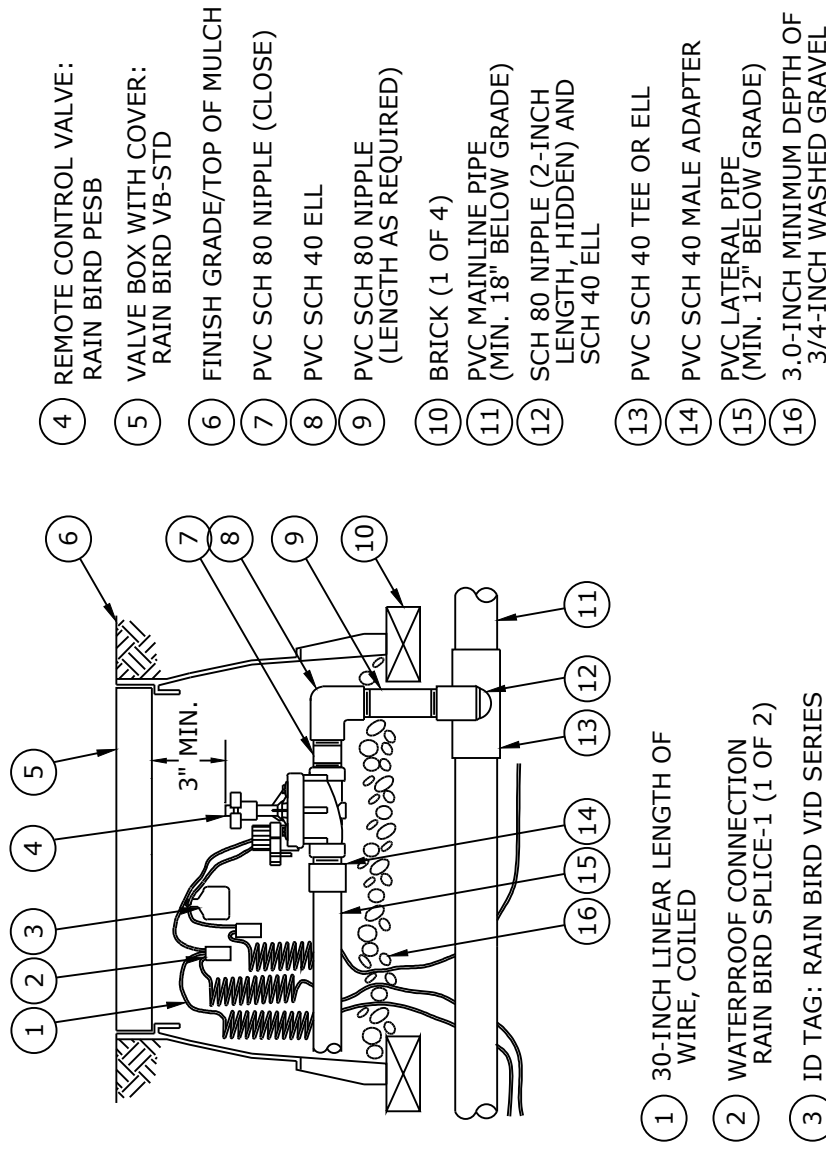
2 AUTOMATIC DRIP VALVE & FILTER ASSEMBLY
SCALE: NOT TO SCALE



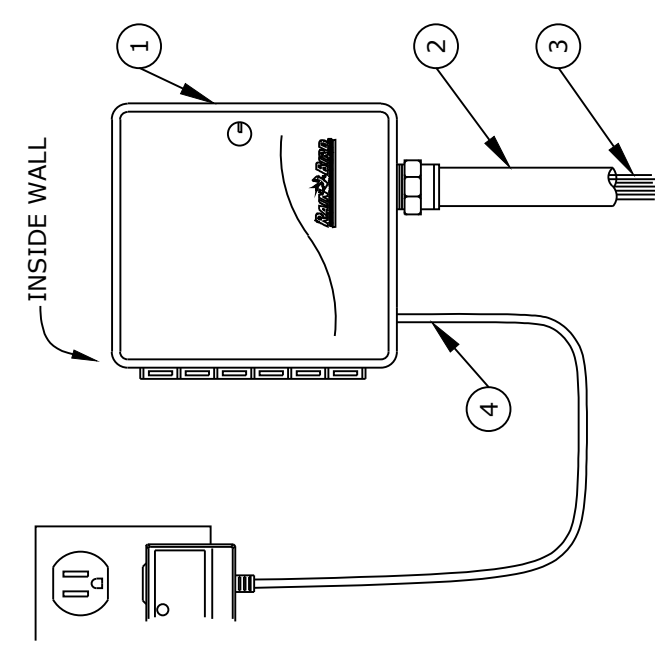
5 TYPICAL DRIP EMITTER PLACEMENT
SCALE: NOT TO SCALE



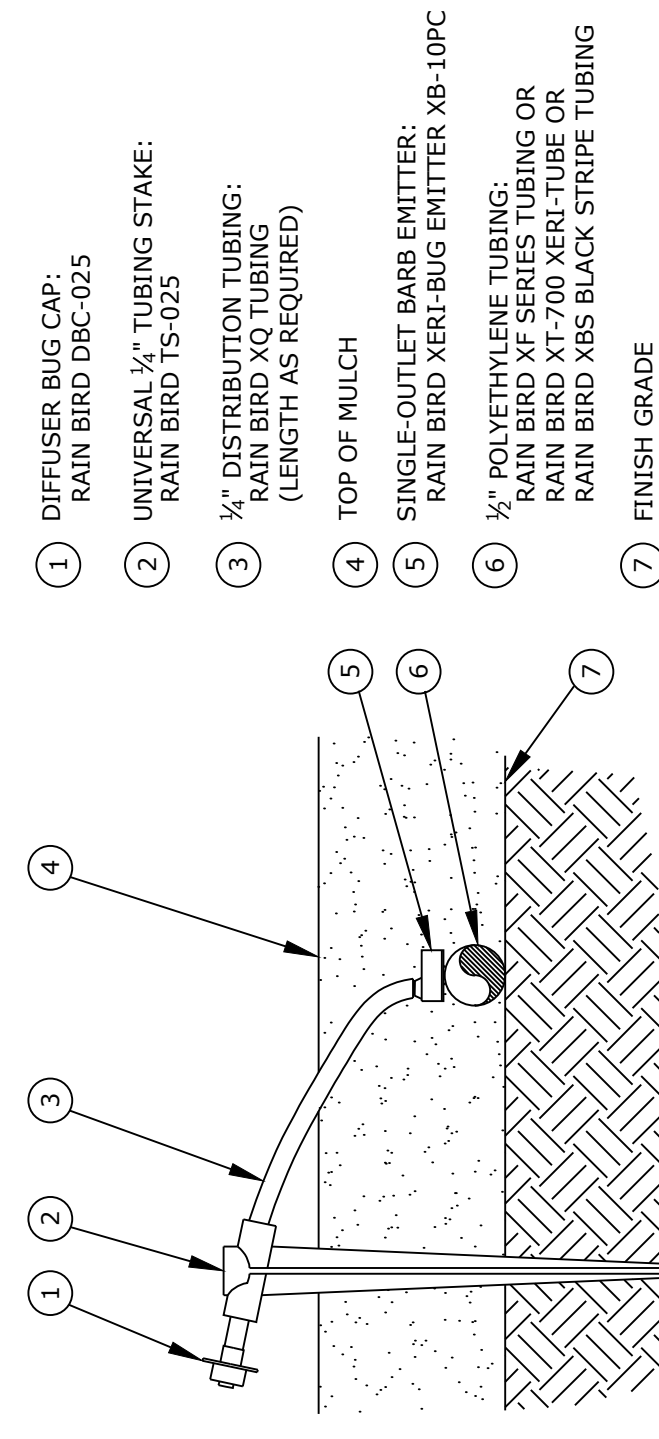
8 R.P. BACKFLOW PREVENTER
N.T.S.



1 AUTOMATIC VALVE ASSEMBLY
SCALE: NOT TO SCALE



4 WALL MOUNT AUTOMATIC CONTROLLER
SCALE: NOT TO SCALE



7 DRIP EMMITER (TYP.)
N.T.S.

- REMOTE CONTROL VALVE: RAIN BIRD PESH
- VALVE BOX WITH COVER: RAIN BIRD VB-STD
- FINISH GRADE/TOP OF MULCH
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE (MIN. 18" BELOW GRADE) LENGTH, HIDDEN) AND SCH 40 ELL
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION: RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- HYBRID CONTROLLER: RAIN BIRD ESP
- 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS
- WIRES TO REMOTE CONTROL VALVES
- 117 VAC, 60 HZ EXTERNAL PLUG-IN TRANSFORMER
- NOTES: CONTROLLER SHALL BE MOUNTED SECURELY TO WALL USING APPROPRIATE FASTENERS FOR WALL TYPE. ALL EXPOSED CONDUIT SHALL BE EXT. T. OR EQUAL AND APPROVED PER LOCAL CODES. ALL CONDUIT CONNECTIONS SHALL BE MADE USING WATERTIGHT CONNECTORS.
- DIFFUSER BUG CAP: RAIN BIRD DBC-025
- UNIVERSAL 1/2" TUBING STAKE: RAIN BIRD TS-025
- 1/2" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH AS REQUIRED)
- TOP OF MULCH
- SINGLE-OUTLET BARB EMITTER: RAIN BIRD XERI-BUG EMITTER XB-10PC
- 1/2" POLYETHYLENE TUBING: RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
- FINISH GRADE
- NOTES: 1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING. 2. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS: XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH

BURGERWORKS

LOT 1 CPRE REPLAT
706 EAST FILLMORE STREET

ENTITLEMENT

DATE:	BY:	DESCRIPTION:
07/27/2022	BP	PER CITY REVIEW COMMENTS
09/06/2022	BP	PER CITY REVIEW COMMENTS

FINAL IRRIGATION PLAN DETAILS

10

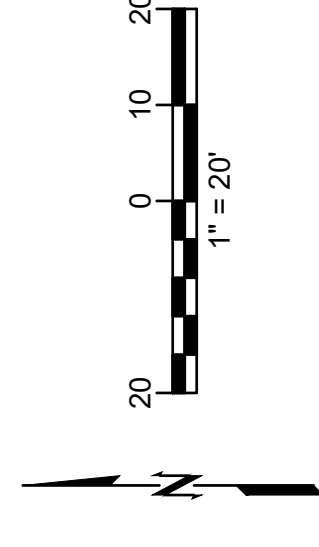
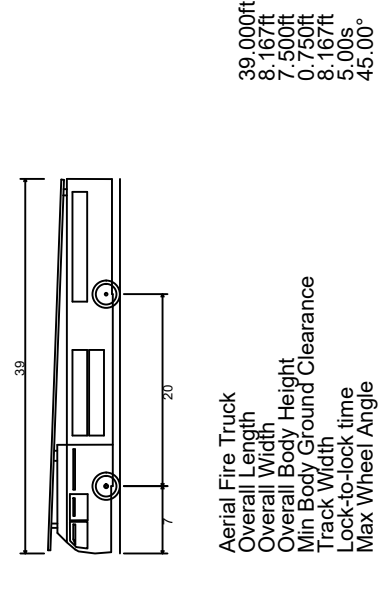
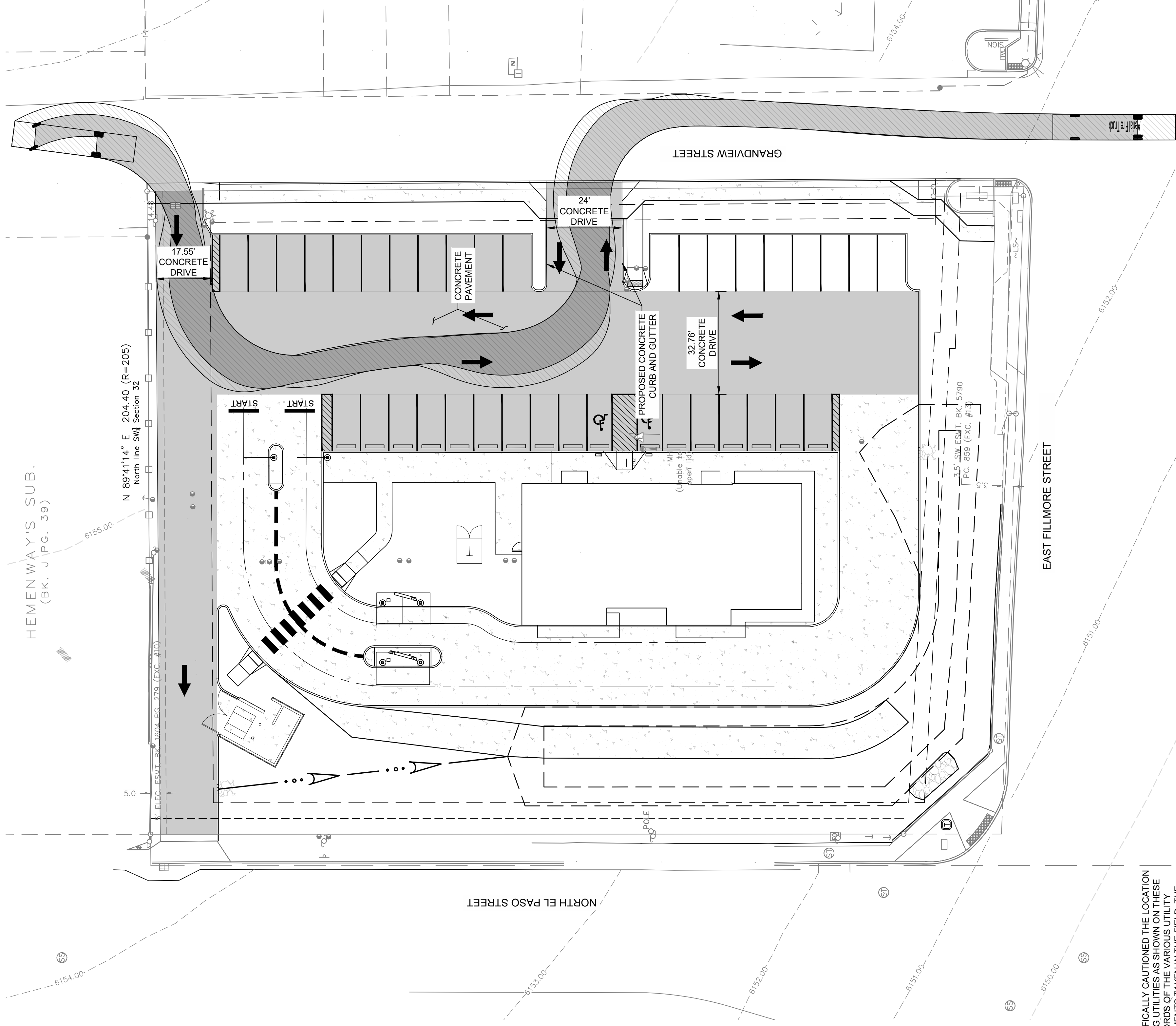
10 OF 14

CPC DP 22-00095

BURGERWORKS EAST FILLMORE STREET

706 E FILLMORE ST

BLOCK K, THE COLORADO SPRINGS COMPANYS SUBDIVISION OF A PART OF THE SOUTHWEST QUARTER OF THE SECTION 32, AND SOUTHEAST QUARTER SECTION 31, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, CITY OF COLORADO SPRINGS, STATE OF COLORADO



**CAUTION
NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



WHATABURGER
EL PASO & FILLMORE

706 E FILLMORE ST

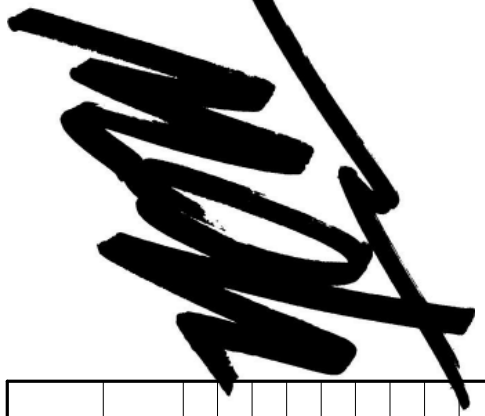


WALLACE ENGINEERING
STRUCTURAL CONSULTANTS, INC.
STRUCTURAL AND CIVIL CONSULTANTS
8900 PYRAMID COURT, SUITE 350
DENVER, CO 80231
(303) 385-1899

REV	DATE	DESCRIPTION

DATE DESCRIPTION

DATE: 09/06/2022
 PROJECT NO.: 2275013
 SHEET NAME: FIRE TRUCK TURN EXHIBIT
 SHEET NO.: 11 of 14



YOW Architects, PC
 Architecture & Planning
 115 S. Weber Colorado Springs, Colorado 719-475-8133

WHATABURGER
 710 E FILLMORE ST
 COLORADO SPRINGS, CO 80907

Project Number
21.119
 Date
 09/01/2022
 Drawn By
 MKG
 Checked By
 YOW
A2.1
 Scale
 As Indicated
 EXTERIOR ELEVATIONS

KEYNOTES

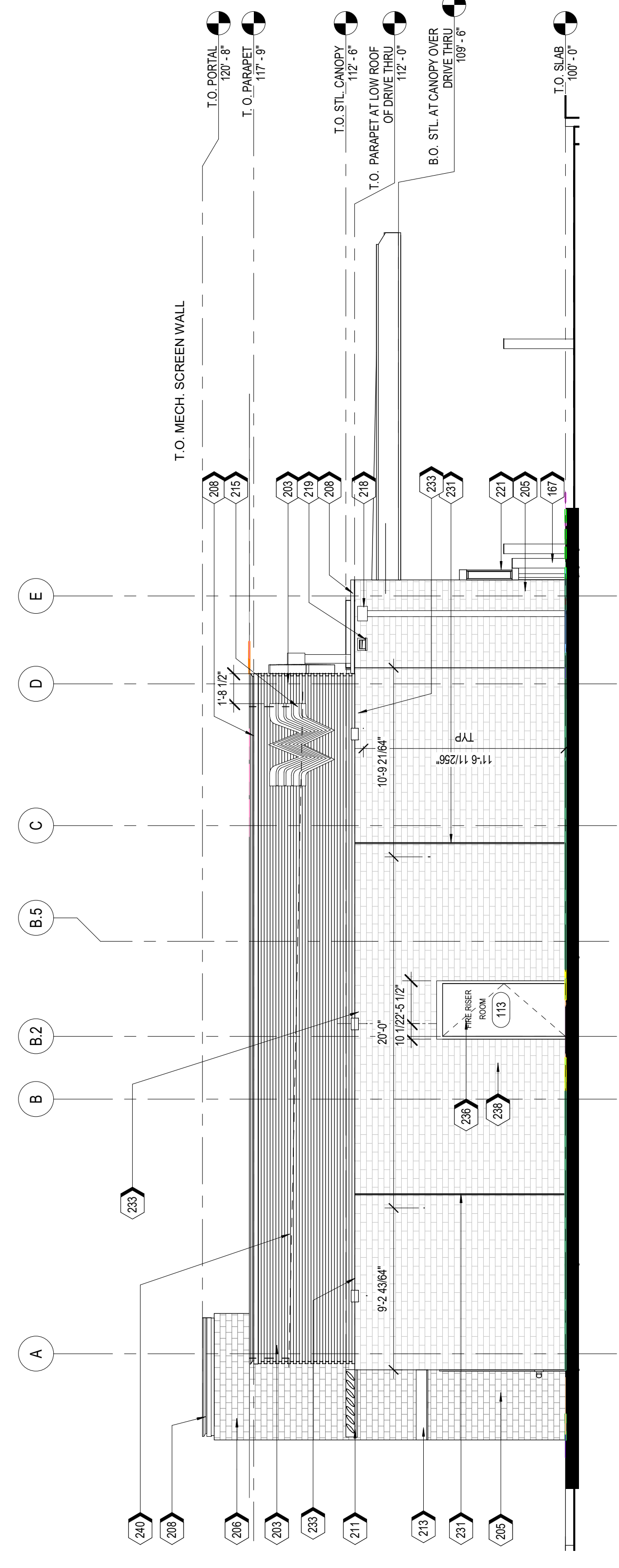
- 167 PRE POLARIS: REAL SHIELD URBAN BRONZE PANTONE 2338 XCC. RE D33S1
- 202 MP: PRE-FINISHED CORRUGATED METAL PANEL
- 203 BR-01: BRICK VENEER
- 204 BR-02
- 208 MC-01: PRE-FINISHED METAL COPING
- 209 SS-01: ALUMINUM STOREFRONT SYSTEM
- 211 ENTRY PORTAL CANOPY, PAINT PT-5
- 213 SERVICE DOOR CANOPY, PAINT PT-5
- 215 ILLUMINATED SIGNAGE BY OTHERS, S.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
- 218 CONDUCTOR HEAD AND DOWNSPOUT, PAINT PT-5, COORDINATE SIZE WITH PLUMBING PLANS, RE B3AS.4
- 219 OVERFLOW SCUPPER
- 221 DRIVE-THRU WINDOW
- 231 MASONRY EXPANSION JOINT
- 233 EXTERIOR LIGHT FIXTURE, RE ELECTRICAL
- 234 RTU RE MECHANICAL
- 238 RISER SIGN (PER 2015 IFC CHAPTERS - APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS AND SHALL BE CONSTRUCTED WITH A MINIMUM 3/8" STROKE. THE COLORS OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND.)
- 237 BUILDING ADDRESS (HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10" A.F.G.)
- 238 GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
- 239 EMERGENCY STEP LIGHT, RE ELECTRICAL
- 240 DASHED LINE INDICATES TOP OF DECK

NOTES

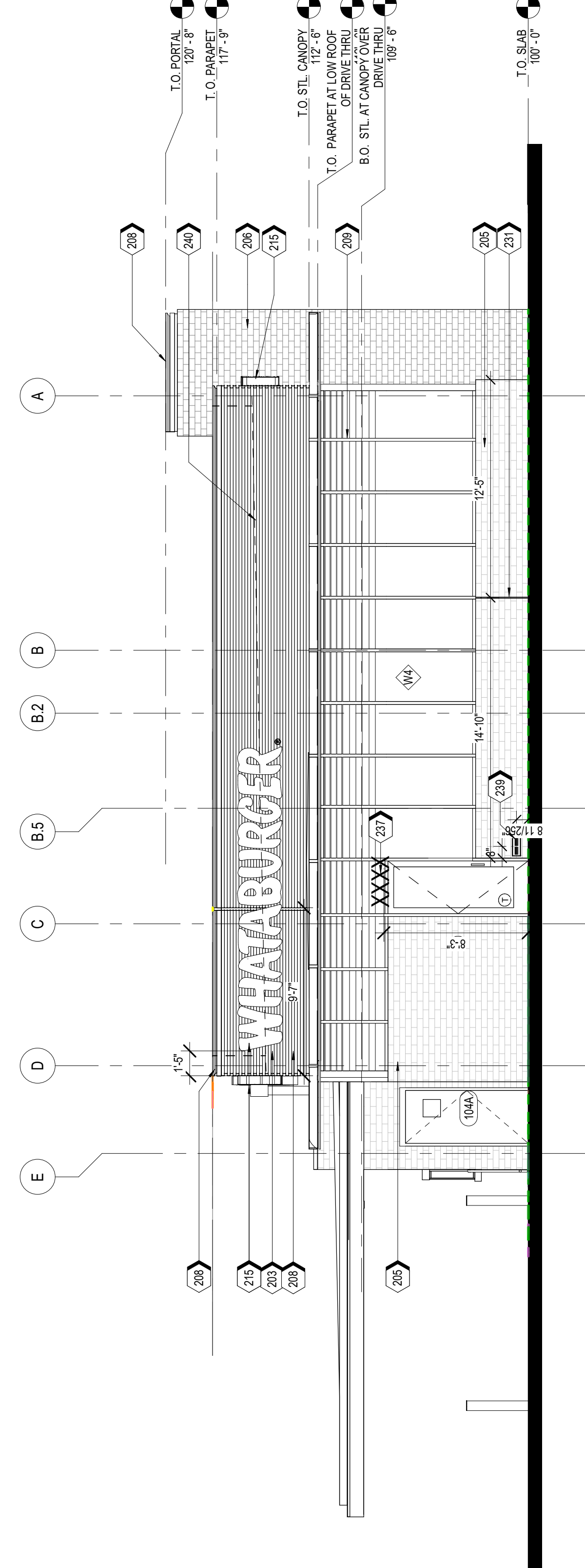
- 1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

CODE TO EXT. MATERIALS

GL-01	VISION GLASS BASIS OF DESIGN: SUNGUARD SNR 43, CLEAR SHADING COEFFICIENT (SC): .XX EXTERIOR REFLECTION: 28% U-FACTOR: .29 WINTER / .27 SUMMER
GL-02	OPAQUE GLASS BASIS OF DESIGN: SUNGUARD SNR 43
GL-03	SIMULATED ACID ETCHED 1108543 GLASS
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OULCASTLE FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 24 GA. STEEL COLOR: LEAD-COTE
MP-02	PRE-FINISHED METAL FLASHING 0.080" THICK COLOR: LEAD-COTE TO MATCH MP-01
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" X 8" X 12" COLOR: PARK AVENUE
BR-02	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" X 8" X 12" COLOR: DUSKIN
MO-01	MORTAR MANUFACTURER: BASALITE-SOLOMON COLOR: STANDARD GRAY, VERY MATCH TO DEVELOPMENT STANDARD
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEAD-COTE TO MATCH MP-01
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: MS-8 FINISH: PAINTED SW 6277 SPECIAL GRAY

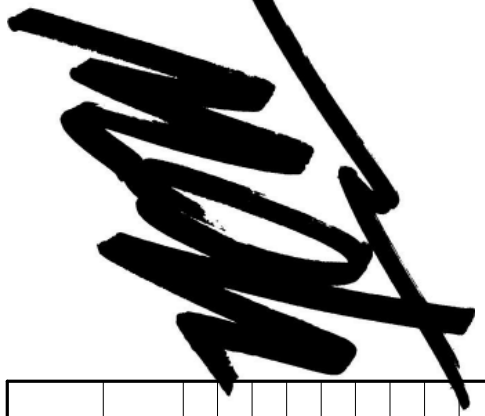


A2 NORTH ELEVATION
 3/16" = 1'-0"



A1 SOUTH ELEVATION
 3/16" = 1'-0"

AVERAGE FINISHED GRADE: 6147.50



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 EXTERIOR ELEVATIONS

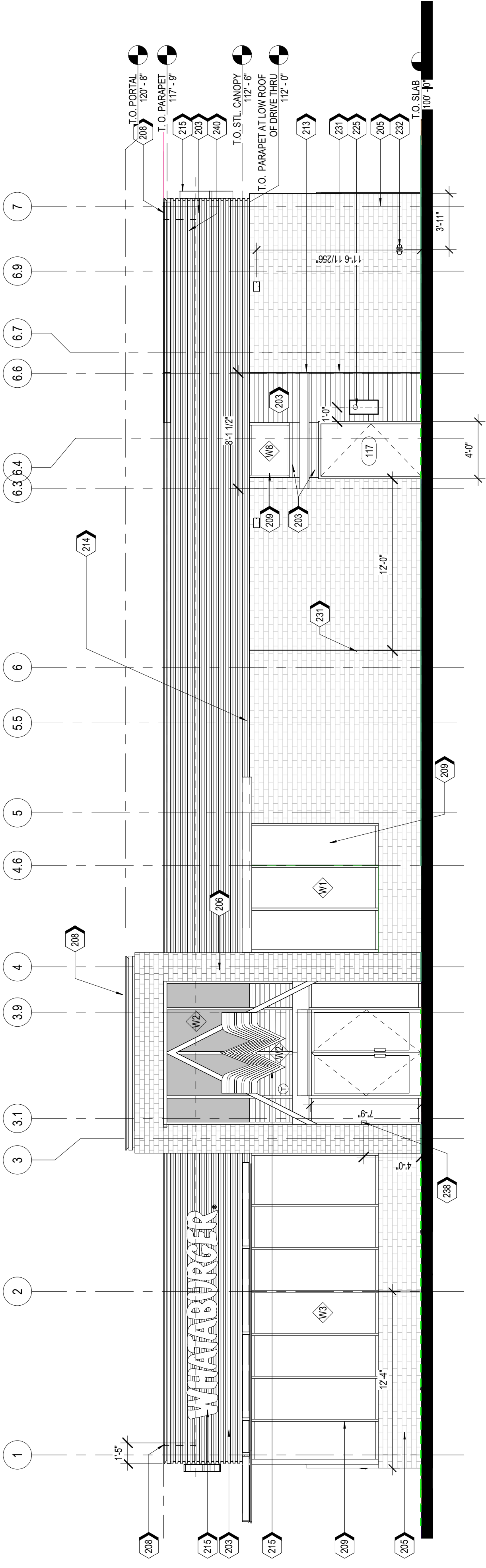
KEYNOTES

- 170 GLASS PANEL, RE: 6145.1
- 203 MP-01, PRE-FINISHED CORRUGATED METAL PANEL
- 206 BR-01, BRICK VENEER
- 208 MC-01, PRE-FINISHED METAL COPING
- 209 SS-01, ALUMINUM STOREFRONT SYSTEM
- 213 SERVICE DOOR CANOPY, PAINT PT-5
- 214 SUN SHADE CANOPY, SEE A69
- 215 ILLUMINATED SIGNAGE BY OTHERS, S.C. TO PROVIDE FLWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
- 218 CONDUCTOR HEAD AND DOWNSPOUT, PAINT PT-5, COORDINATE SIZE WITH PLUMBING PLANS, RE: 6145.4
- 219 OVERFLOW SCUPPER
- 221 DRIVE-THRU WINDOW
- 225 STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
- 231 MASONRY EXPANSION JOINT
- 232 FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
- 233 EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
- 234 GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE DETERMINED BY LOCAL CODES
- 240 DASHED LINE INDICATES TOP OF DECK
- 242 GAS METER, RE: MEP

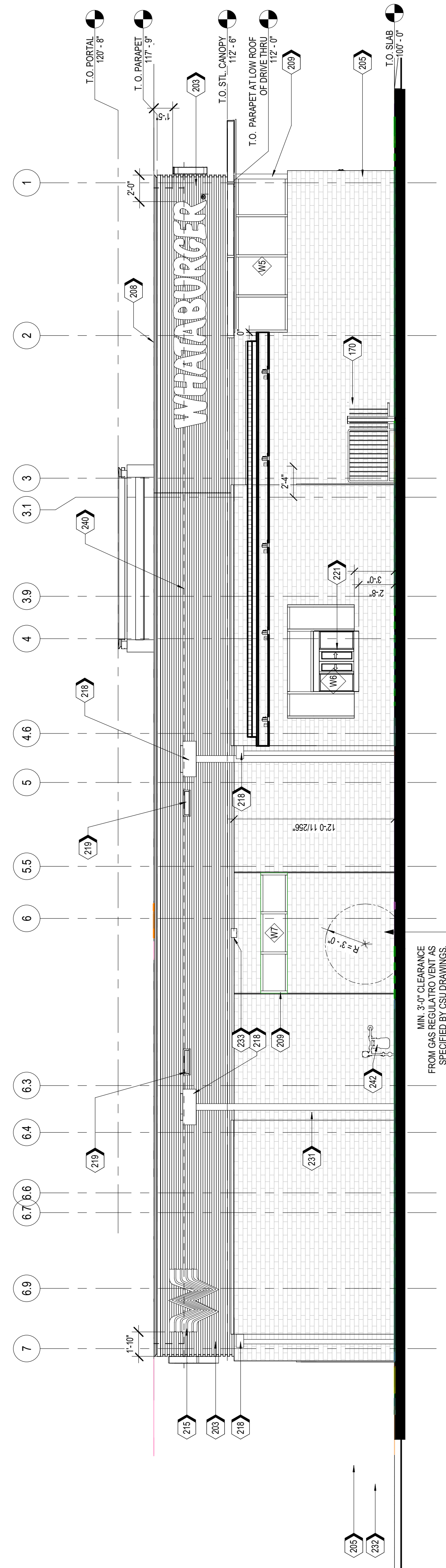
NOTES
 1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

CODE TO EXT. MATERIALS

- GL-01 VISION GLASS
 BASIS OF DESIGN: SUNGUARD SNR 43, CLEAR
 SHADING COEFFICIENT (SC): .XX
 EXTERIOR REFLECTION (R): 28%
 U-FACTOR: .29 WINTER / .27 SUMMER
- GL-02 OPACOLE GLASS
 BASIS OF DESIGN: SUNGUARD SNR 43
- GL-03 SIMULATED ACID ETCHED 1/808#3 GLASS
- SS-01 STOREFRONT SYSTEM
 BASIS OF DESIGN: OUDCASTLE
 FINISH: CLEAR ANODIZED
- MP-01 METAL PANEL
 MANUFACTURER: BERRIDGE
 STYLE: BR-12 PANEL
 24 GA. STEEL
 COLOR: LEAD-COTE
- MP-02 PREFINISHED METAL
 FLASHING 0.080" THICK
 COLOR: LEAD-COTE
 TO MATCH MP-01
- BR-01 BRICK
 MANUFACTURER: ACME
 STYLE: UTILITY
 SIZE: 4" X 8" X 12"
 COLOR: PARK AVENUE
- BR-02 BRICK
 MANUFACTURER: ACME
 STYLE: UTILITY
 SIZE: 4" X 8" X 12"
 COLOR: DOESNIN
- MO-01 MORTAR
 MANUFACTURER: BASALITE-SOLOMON
 COLOR: STANDARD GRAY, VERIFY MATCH TO DEVELOPMENT STANDARD
- MC-01 METAL COPING
 MANUFACTURER: BERRIDGE
 STYLE: SHADOWLINE COPING, REVEAL COPING
 COLOR: LEAD-COTE TO MATCH MP-01
- PT-5 PAINT
 BASIS OF DESIGN:
 MANUFACTURER: SHERWIN WILLIAMS
 STYLE: SW 6277 SPECIAL GRAY
 SHEEN: FLAT
- MS-01 METAL SOFFIT
 MANUFACTURER: BERRIDGE
 STYLE: HS-8
 FINISH: PAINTED SW 6277 SPECIAL GRAY



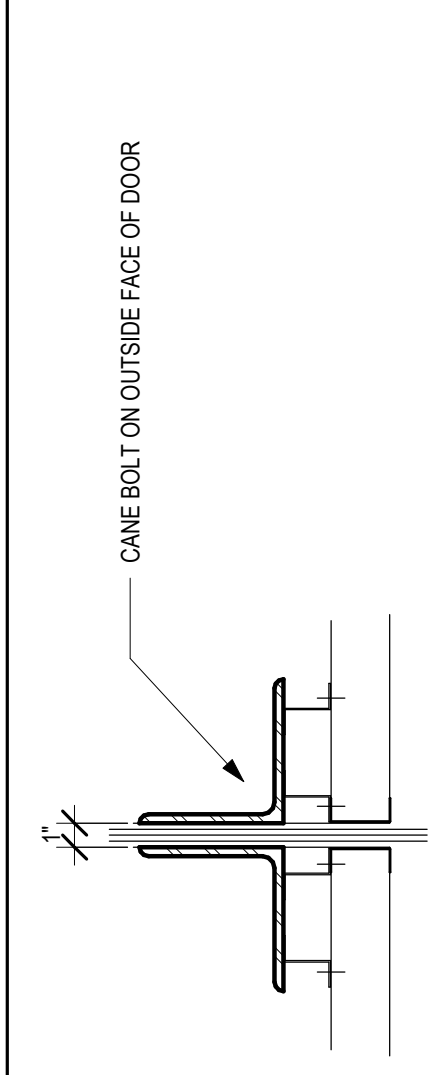
A2
 EAST ELEVATION
 3/16" = 1'-0"



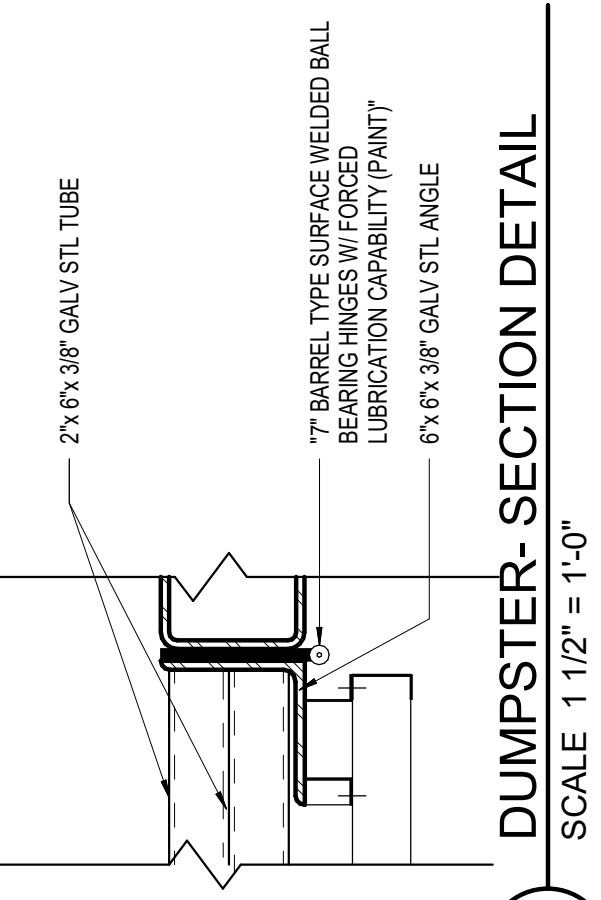
A1
 WEST ELEVATION
 3/16" = 1'-0"

AVERAGE FINISHED GRADE: 6147.50

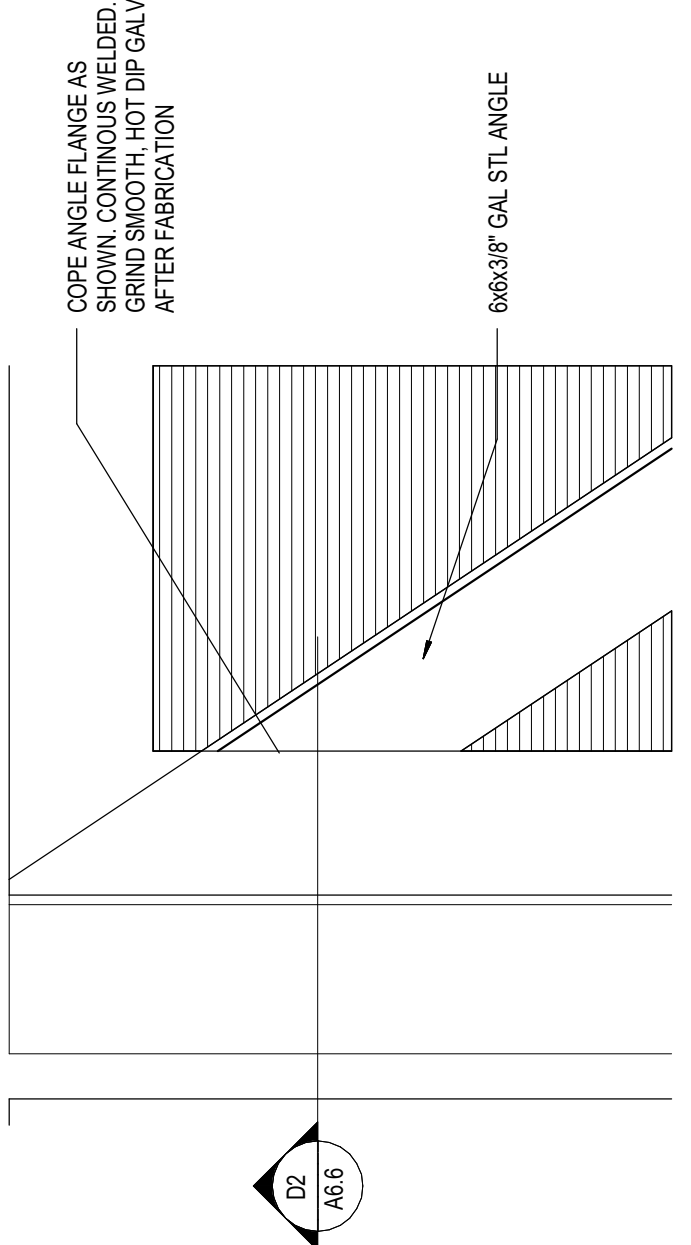
MIN. 3'-0" CLEARANCE FROM GAS METER TO DRIVE THRU WINDOW AS SPECIFIED BY CSU DRAWINGS
 FIGURES 9A-9C, APPENDIX D-15 TO D-16 OF CSU "GAS LINE EXTENSION AND SERVICES STANDARDS," 2019 EDITION



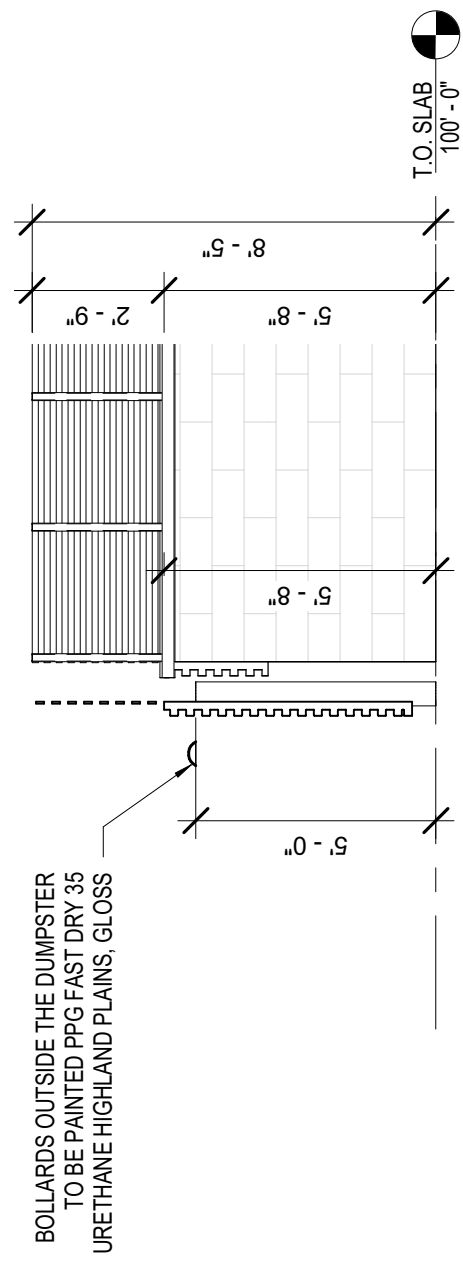
D1 DUMPSTER - GATE PLAN DETAIL.
SCALE 1 1/2" = 1'-0"



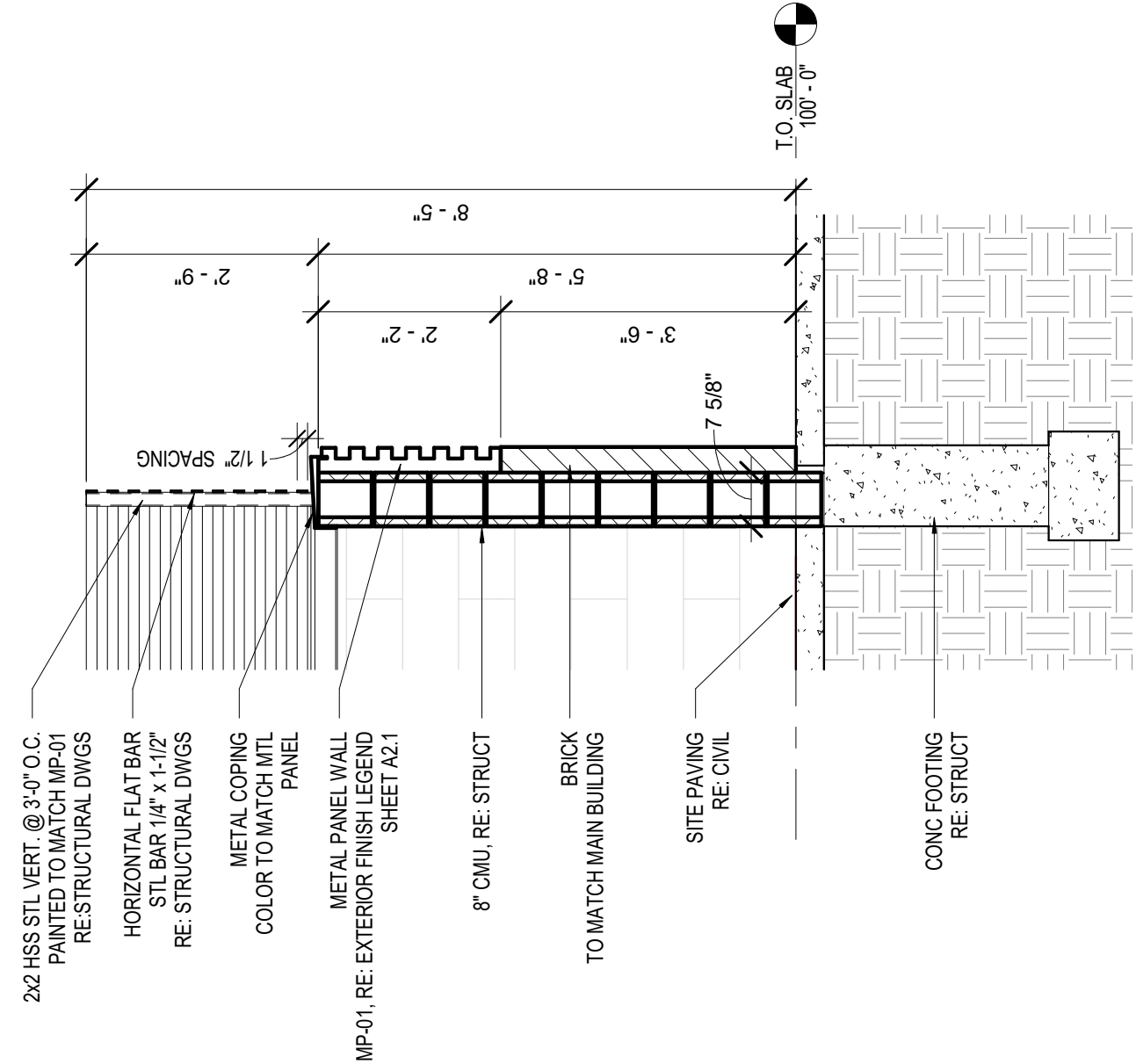
D2 DUMPSTER- SECTION DETAIL
SCALE 1 1/2" = 1'-0"



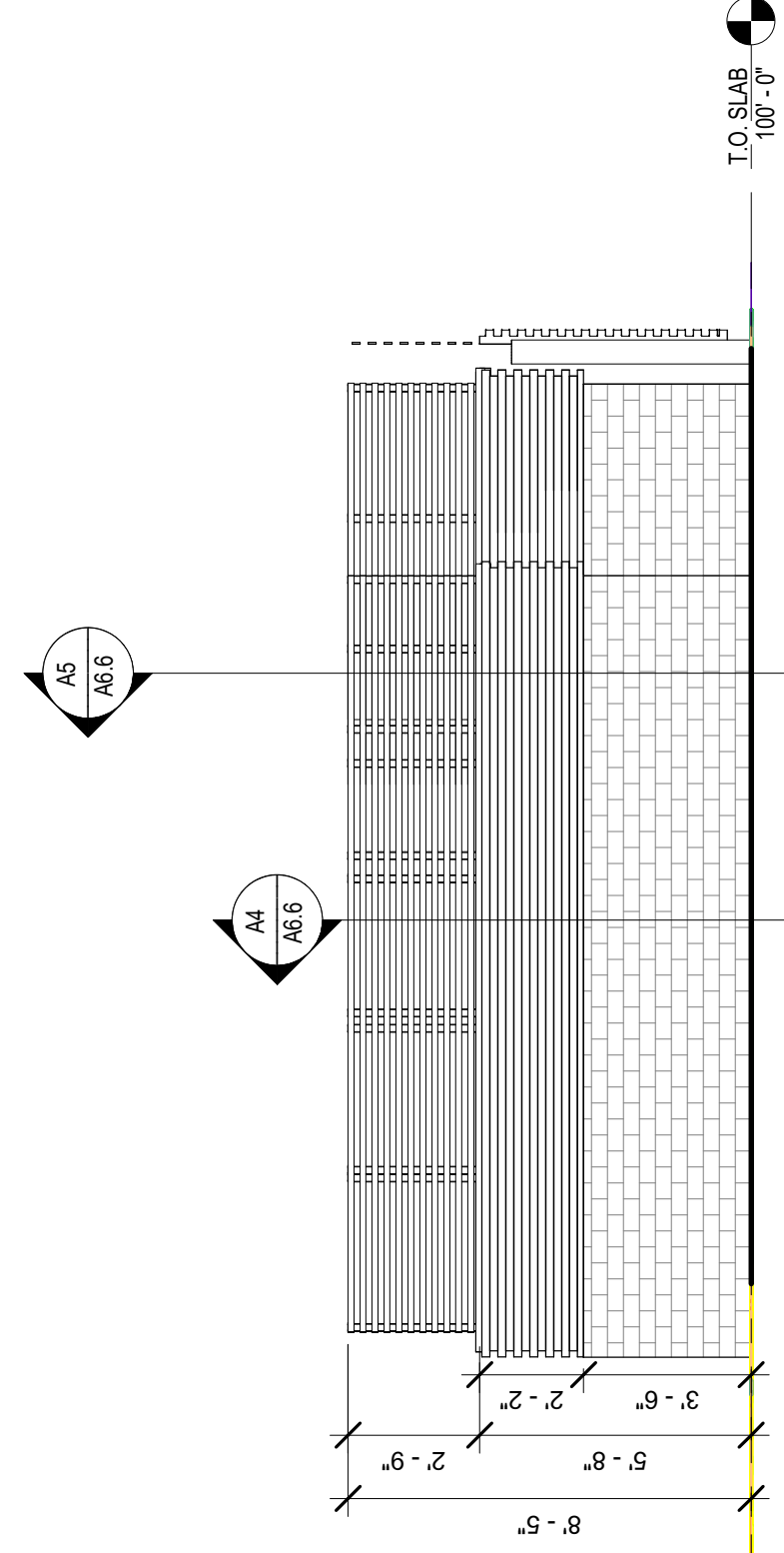
D3 DUMPSTER - GATE CORNER DETAIL
SCALE 1 1/2" = 1'-0"



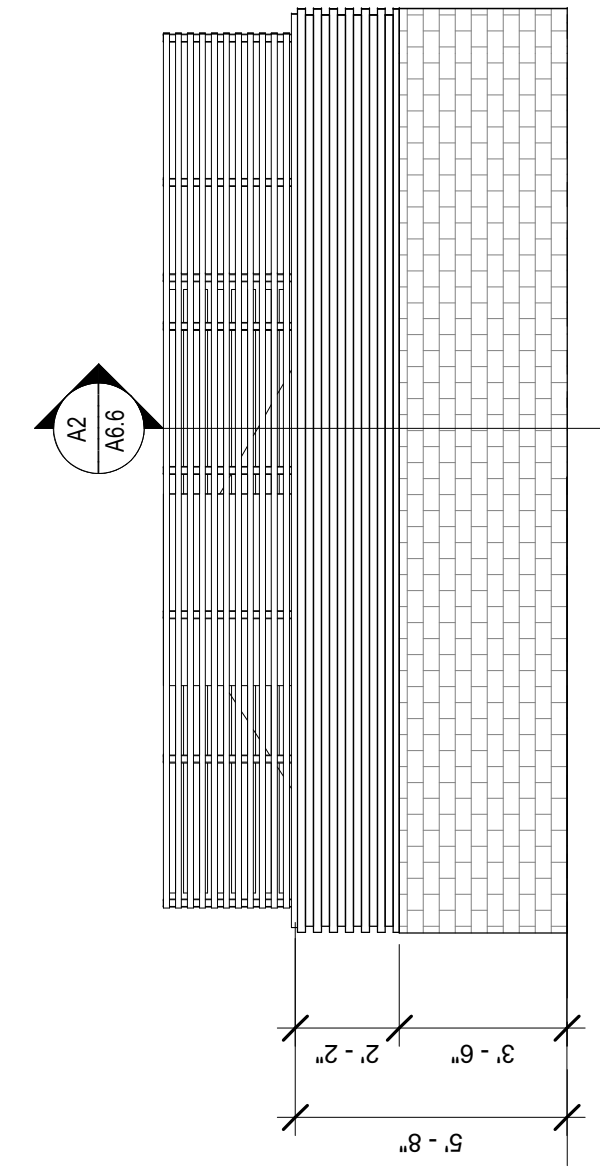
A2 DUMPSTER - EXTERIOR BOLLARD
SCALE 1/4" = 1'-0"



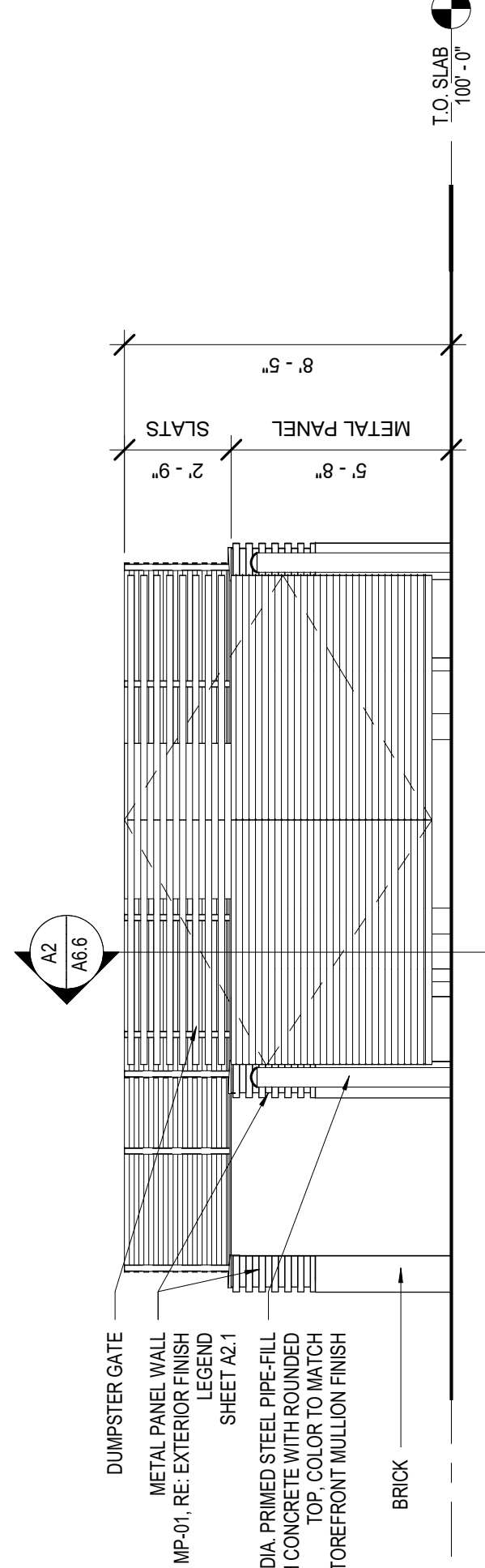
A4 DUMPSTER - WALL SECTION
SCALE 1/2" = 1'-0"



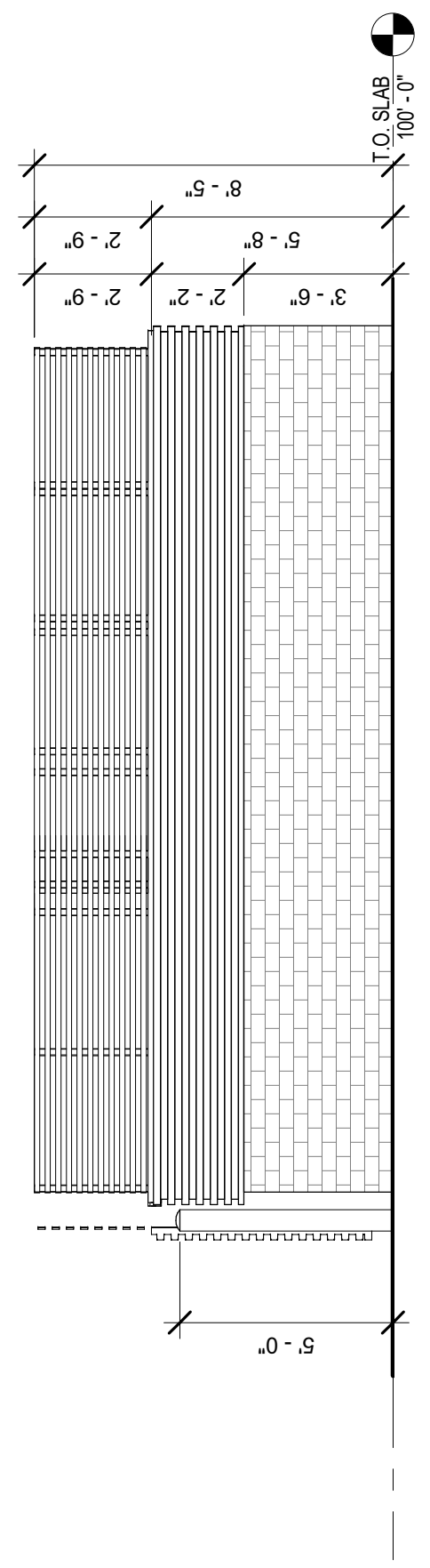
C1 DUMPSTER - ELEVATION @ PLAN WEST
SCALE 1/4" = 1'-0"



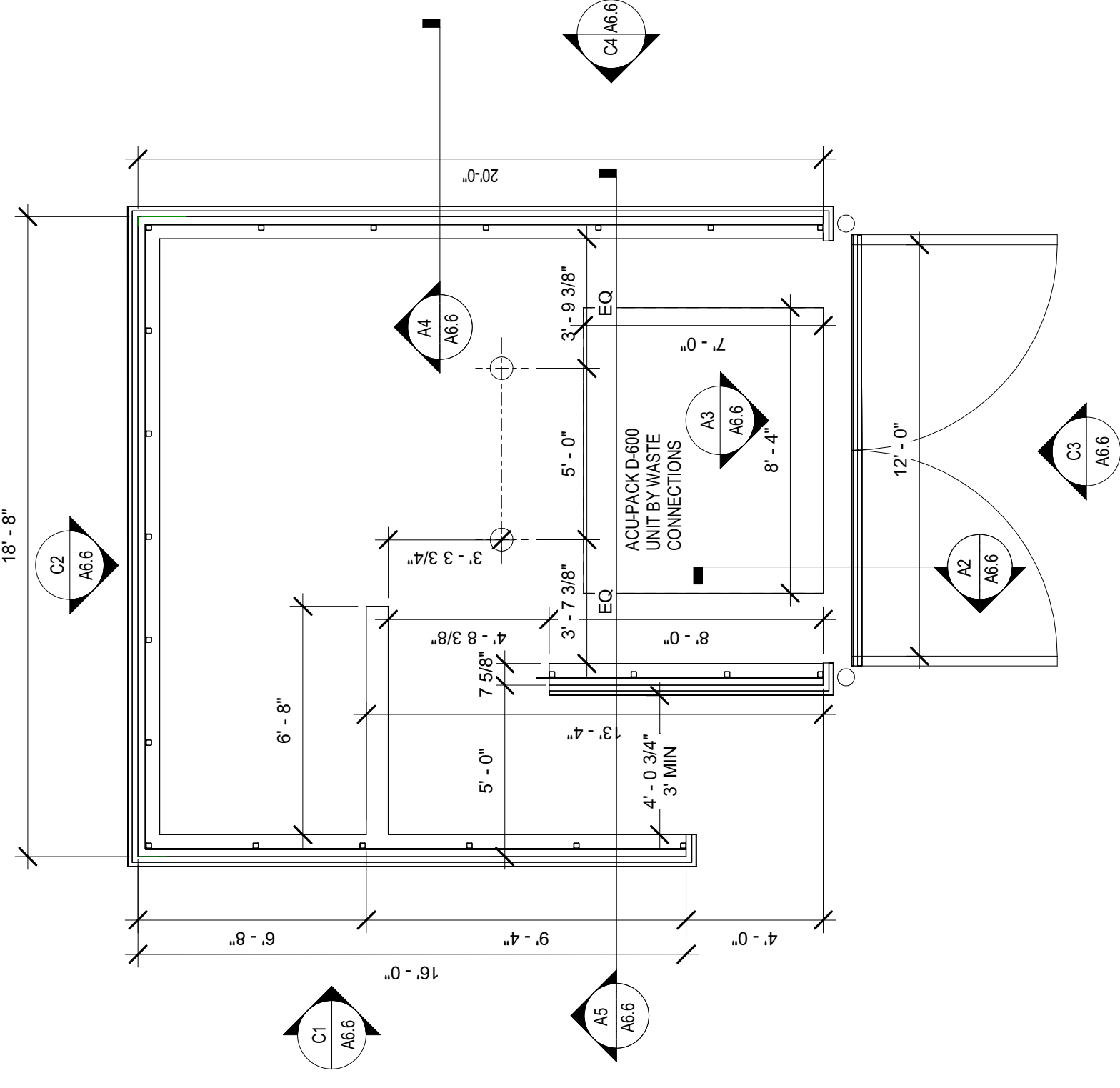
C2 DUMPSTER - ELEVATION @ PLAN NORTH
SCALE 1/4" = 1'-0"



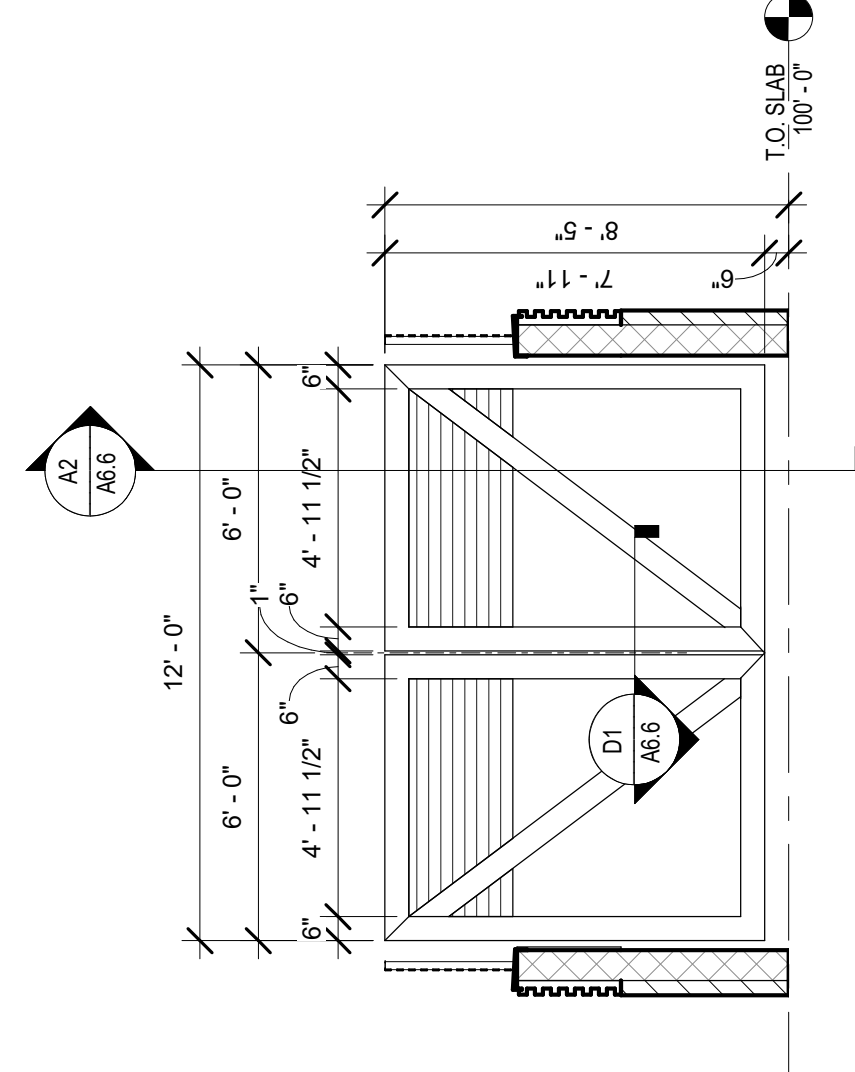
C3 DUMPSTER - ELEVATION @ GATE ENTRY
SCALE 1/4" = 1'-0"



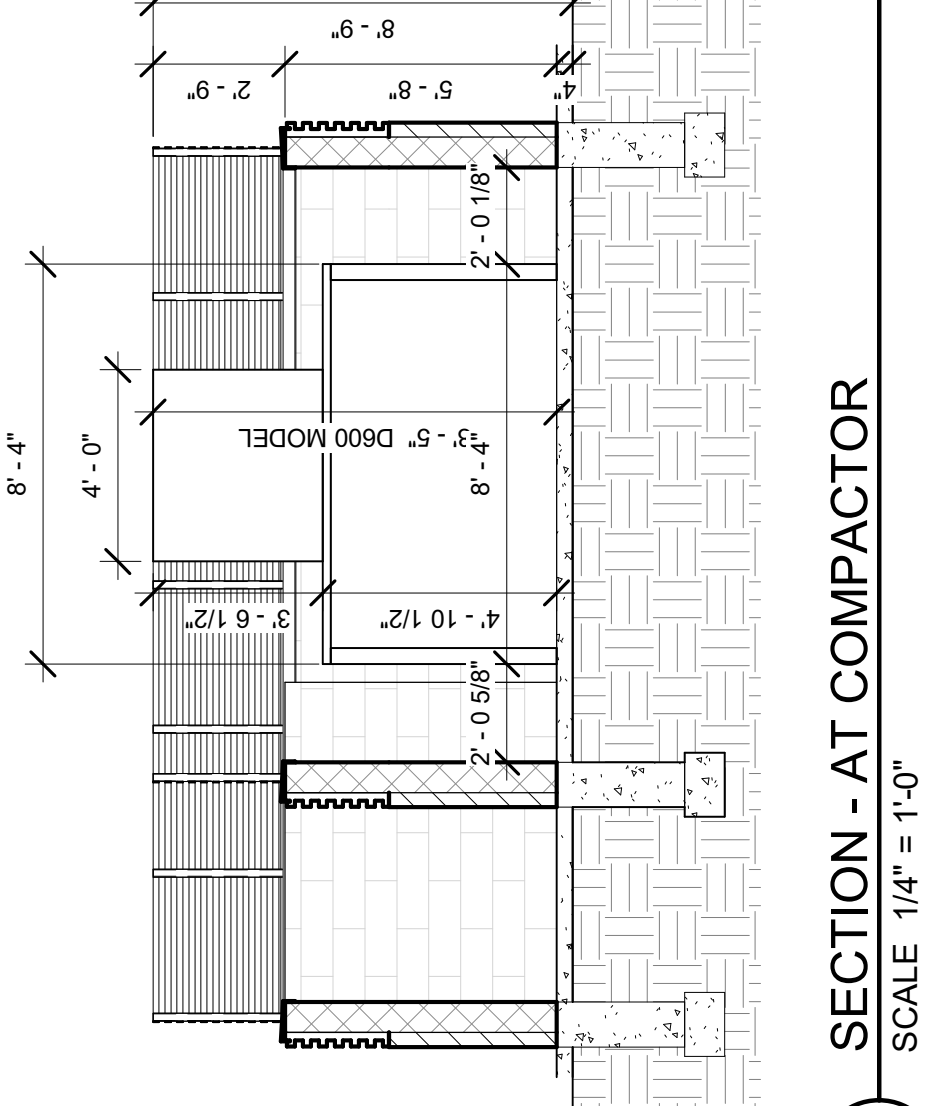
C4 DUMPSTER - ELEVATION @ PLAN EAST
SCALE 1/4" = 1'-0"



A1 DUMPSTER - ENLARGED
SCALE 1/4" = 1'-0"



A3 DUMPSTER - GATE INSIDE FACE
SCALE 1/4" = 1'-0"



A5 SECTION - AT COMPACTOR
SCALE 1/4" = 1'-0"



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A6.6
DUMPSTER
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