



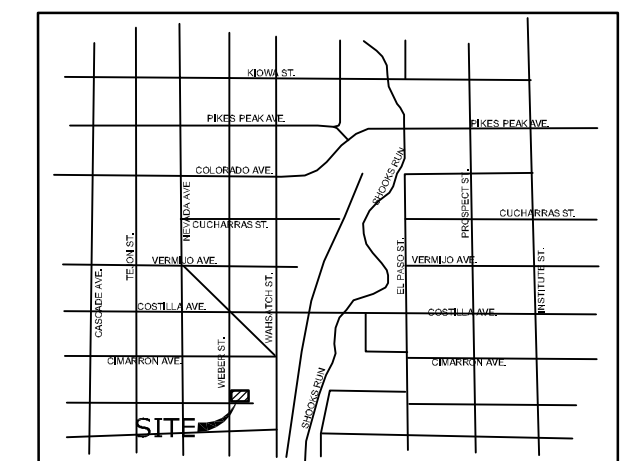
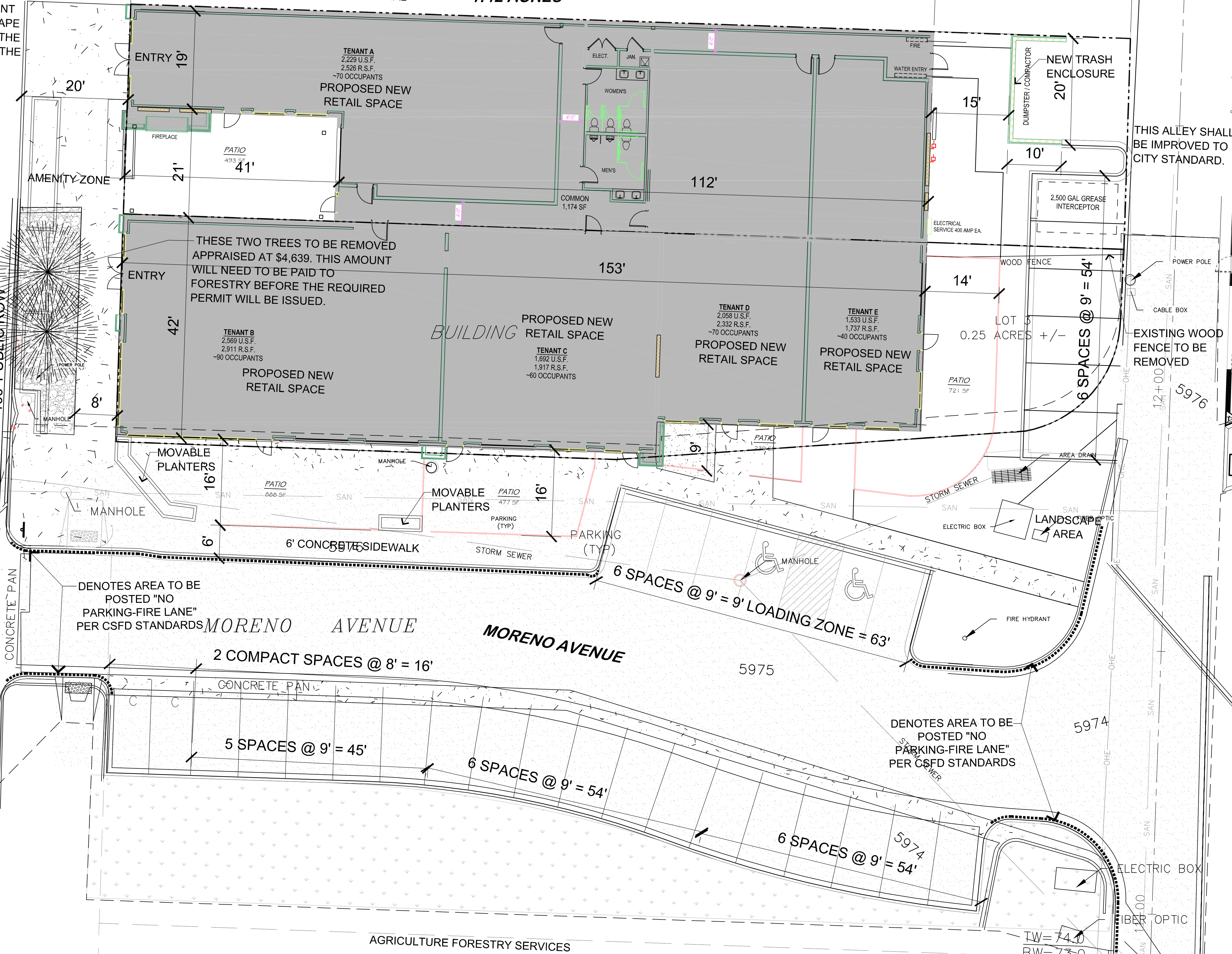
505 S. WEBER ST.
 LOT 1 WEBER & CIMARRON
 APARTMENTS FILING NO. 1
 COLORADO SPRINGS
 ZONED: FBZ-T2B UV
 1.42 ACRES

NEW FRONT
 STREETSCAPE
 TO MATCH THE
 DESIGN TO THE
 NORTH

WEBER STREET
 MINOR ARTERIAL

SOUTH

MULTI FAMILY RESIDENTIAL



Vicinity Map
 Not To Scale

LEGAL DESCRIPTION:
 SOUTH 33.33 FEET OF LOT 4 AND THAT PART OF VACATED MORENO ST
 ADJACENT BLOCK 144 COLORADO SPRINGS EXCEPT THAT PART OF SE
 CORNER OF SAID LOT 4 TO CITY BY BOOK 5082-349

SOUTH 40 FEET OF N 66.67 FT OF LOT 4 BLOCK 144 COLORADO SPRINGS
 TO BE REPLATTED AS LOT 1, MORENO AVENUE SUBDIVISION FILING NO. 1

SITE DATA

tax schedule no.:	6418415040AND6418415019
area	0.3680ACRES(16,036SF)
ex zone	FBZ-T2B
building size	11,528SF
building type	COMMERCIAL
ex use	COMMERCIAL-SERVICE
proposed use	RETAIL
building type	Small Commercial Building
frontage type	SHOPFRONT
master plan	Experience Downtown Master Plan
development schedule	Fall of 2025

OWNER INFO

company name	TJATC THREE LLC
address	524 S. TEJON ST.
city/state	COLORADO SPRINGS, CO 80903
phone no	

APPLICANT INFO

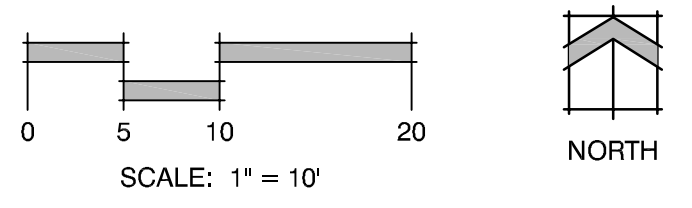
company name	YOW ARCHITECTS PC
address	115 S. WEBER ST. SUITE 200
city/state	COLORADO SPRINGS, CO 80903
phone no	719-475-8133

PARKING

use	Retail
bidg area	11,528 sf Retail space
ratio	1 parking space per 500 SF = 24 spaces
required	24 required (including 1 accessible spaces 1 being van accessible)
provided	31 provided (2 accessible including 1 van accessible space) 5 spaces within the site 25 parking spaces provided in the Moreno ROW

PARKING WARRANT NOTE:
 A WARRANT TO FORM BASE CODE SECTION 2.6 TO ALLOW AN ON-STREET PARKING CREDIT OF 19 TO BE COUNTED TOWARD THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR THE DEVELOPMENT.

- NOTES:**
- Window treatments shall be tempered glazing, this is a similar treatment to what is existing which is a bronze type glazing.
 - Window glazing accounts for approximately 60%.
 - Signage details are not known at this time, sign review and approval is to be processed at a later date.
 - All curb, gutter, pedestrian ramps and sidewalk posing a safety hazard, damaged, exhibiting excessive deterioration, or does not meet current city engineering standards along Weber Avenue and Moreno Avenue adjacent to the site will need to be removed and replaced prior to issuance of the Certificate of Occupancy (CO). An on-site meeting can be set up with engineering development review inspector to determine what, if any improvements are required. The inspector can be reached at 719-385-5977.
 - THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
 - ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
 PARKING SPACES AND ACCESSIBLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
 ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR (4) INCH (4") LINES.
 ACCESSIBLE AISLES SHALL BE OUTLINED AND DIAGONALLY STRIPPED AT FORTY-FIVE DEGREE (45°) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
 EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION "VAN ACCESSIBLE". MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.
 - ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
 - TREES SHOWN TO BE REMOVED FROM THE CITY ROW REQUIRE A PERMIT FROM THE FORESTRY DIVISION AND THE WORK MUST BE COMPLETED BY A TREE SERVICE LICENSED BY THE CITY OF COLORADO SPRINGS. PAYMENT FOR THE APPRAISED VALUE OF THE TREES TO BE REMOVED SHALL BE RECEIVED IN FULL BEFORE THE ISSUANCE OF THE PERMIT.
 ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
 - FENCING SHALL NOT STOP ACCESS TO UTILITY LINES OR CONFLICT WITH UTILITY EQUIPMENT.



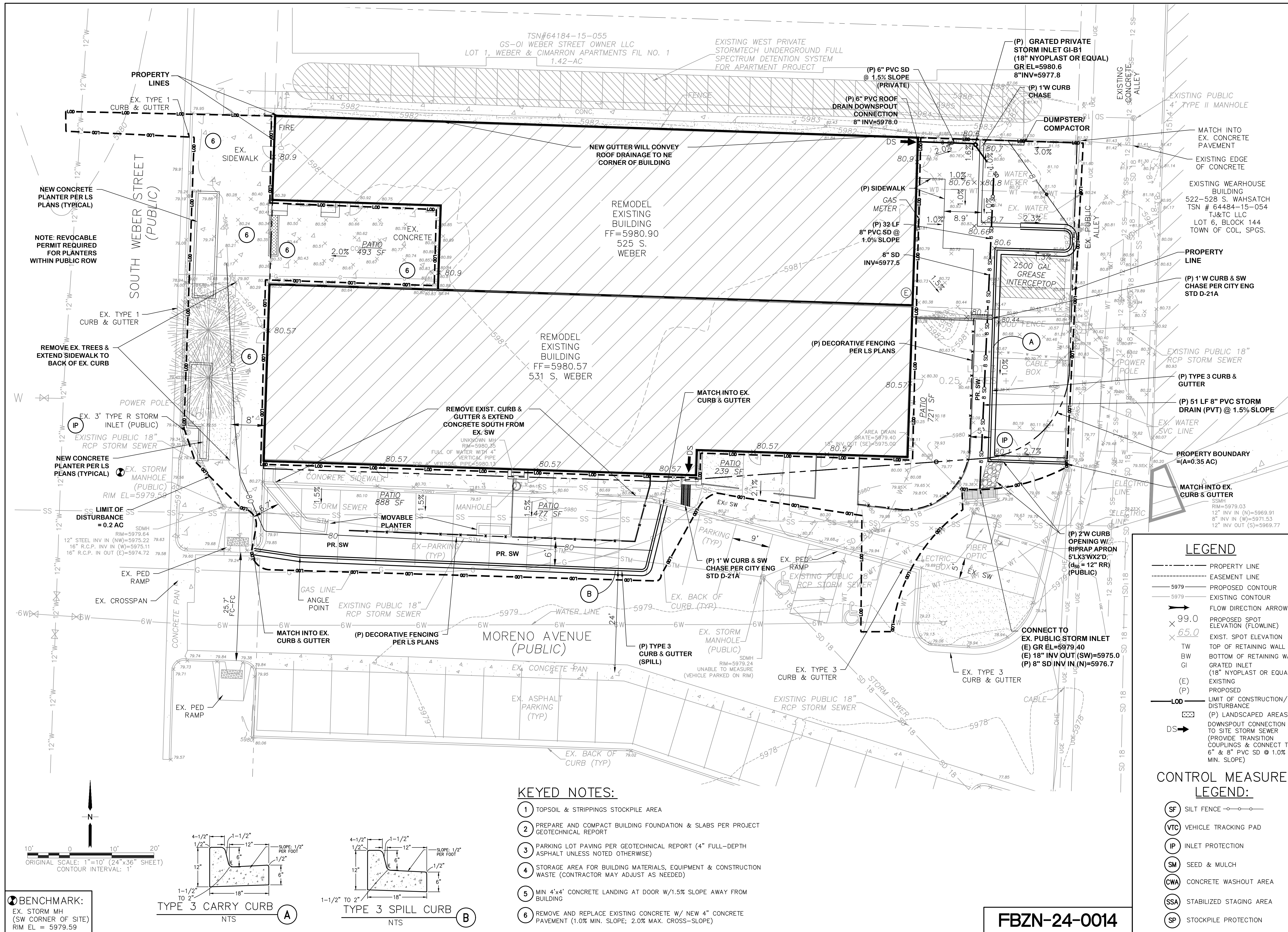
CITY FILE NO: DEPN-24-0014

**MORENO AV SUBDIVISION
 FILING NO. 1**
 531 S. WEBER ST.
 Colorado Springs, Colorado 80903

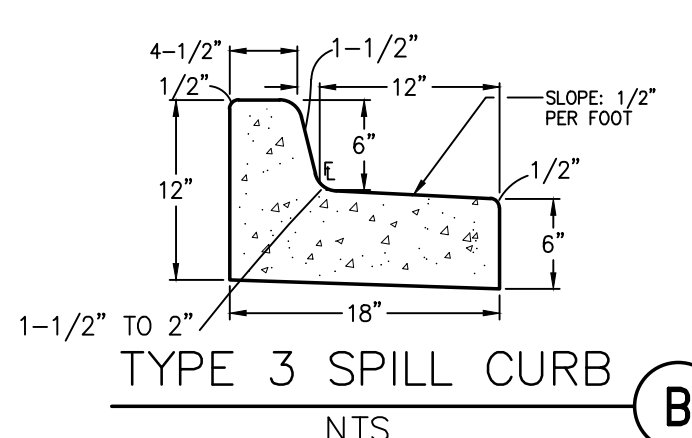
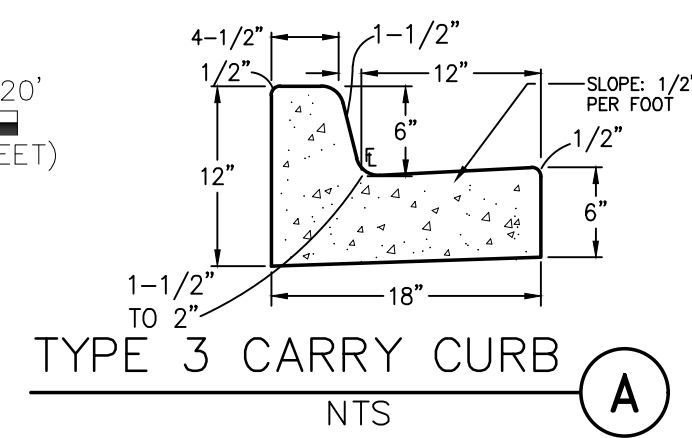
Job No: 19-256
Directory: WAHSATCH
File: SITE IMPROVEMENT PLAN
Drawn By: csp
Date: 10-15-2024
Revised: 1-8-2025

DRAWING NO.
 1 of 1
 MINOR
 IMPROVEMENT
 PLAN

YOW ARCHITECTS PC
 A PROFESSIONAL CORPORATION ARCHITECTURE &
 PLANNING
 115 S. Weber Colorado Springs, Colorado 719-475-8133



10' 0 10' 20'
 ORIGINAL SCALE: 1"=10' (24"x36" SHEET)
 CONTOUR INTERVAL: 1'



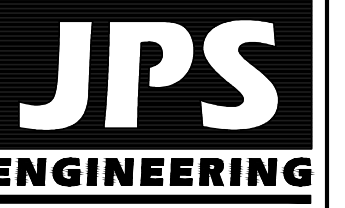
KEYED NOTES:

- 1 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 2 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 3 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" FULL-DEPTH ASPHALT UNLESS NOTED OTHERWISE)
- 4 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 5 MIN 4'x4' CONCRETE LANDING AT DOOR W/1.5% SLOPE AWAY FROM BUILDING
- 6 REMOVE AND REPLACE EXISTING CONCRETE W/ NEW 4" CONCRETE PAVEMENT (1.0% MIN. SLOPE; 2.0% MAX. CROSS-SLOPE)

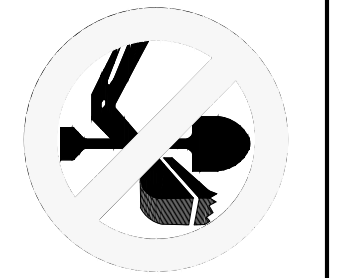
- LEGEND**
- PROPERTY LINE
 - - - EASEMENT LINE
 - 5979 PROPOSED CONTOUR
 - 5979 EXISTING CONTOUR
 - FLOW DIRECTION ARROW
 - 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
 - 65.0 EXIST. SPOT ELEVATION
 - TW TOP OF RETAINING WALL
 - BW BOTTOM OF RETAINING WALL
 - GI GRATED INLET (18" NYOPLAST OR EQUAL)
 - (E) EXISTING
 - (P) PROPOSED
 - LOO LIMIT OF CONSTRUCTION/DISTURBANCE
 - DS DOWNSPOUT CONNECTION TO SITE STORM SEWER (PROVIDE TRANSITION COUPLINGS & CONNECT TO 6" & 8" PVC SD @ 1.0% MIN. SLOPE)
- CONTROL MEASURE LEGEND:**
- (SF) SILT FENCE
 - (VTC) VEHICLE TRACKING PAD
 - (IP) INLET PROTECTION
 - (SM) SEED & MULCH
 - (CWA) CONCRETE WASHOUT AREA
 - (SSA) STABILIZED STAGING AREA
 - (SP) STOCKPILE PROTECTION

**525 - 531 S. WEBER ST. - MIXED USE RETAIL
 LOT 1, MORENO AVENUE SUBDIVISION FILING NO. 1**

**SITE GRADING AND
 EROSION CONTROL PLAN
 (PRELIMINARY)**



19 E. Wilamette Ave.
 Colorado Springs, CO
 80903
 PH: 719-477-9429
 FAX: 719-471-0766
 www.jpseng.com

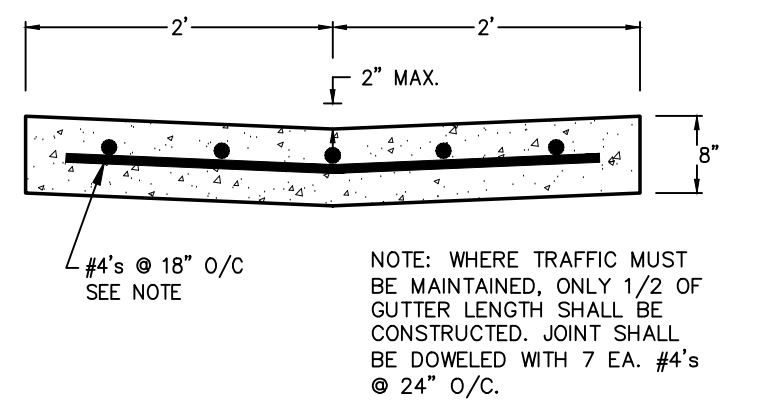


CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

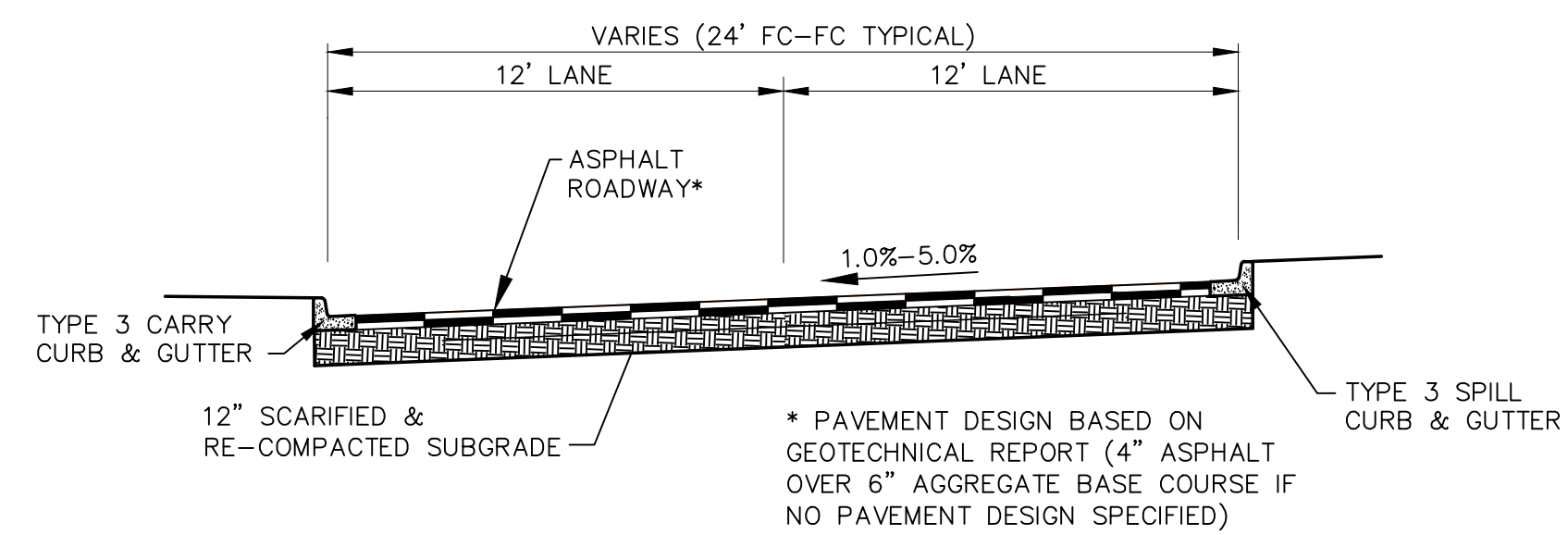
NO.	REVISION	BY	DATE

HORZ. SCALE: 1"=10'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: POLARIS	CHECKED: JPS
CREATED: 11/06/24	LAST MODIFIED: 01/22/25
PROJECT NO: 062402	MODIFIED BY: PV
SHEET:	C1.1

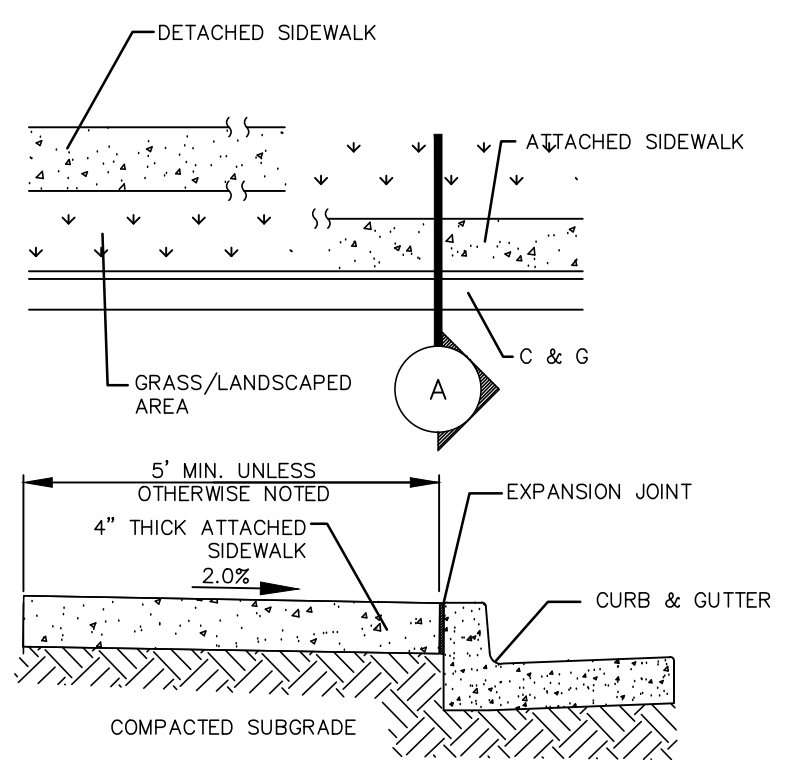
FBZN-24-0014



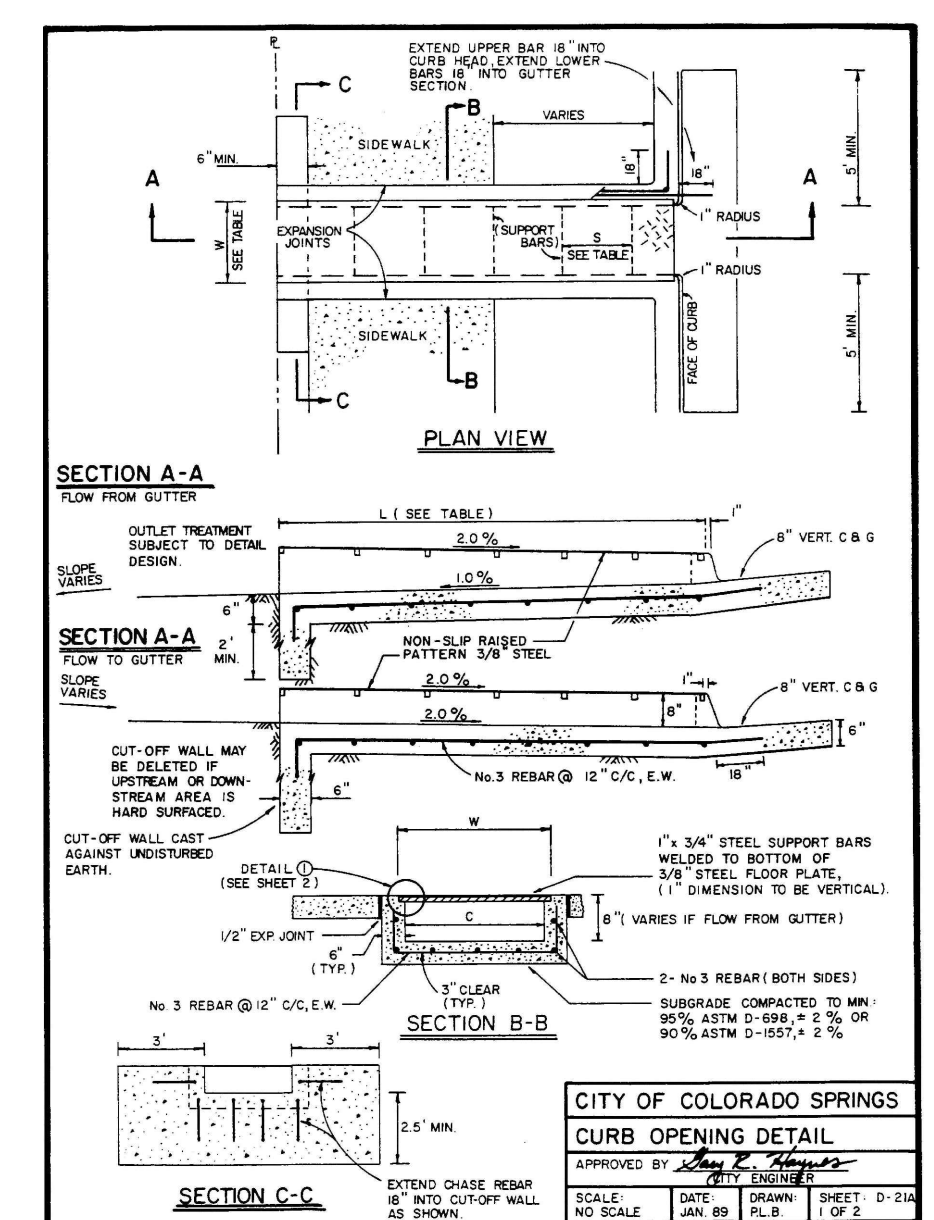
TYPICAL CONCRETE CROSSPAN
SCALE: 1" = 1'-0"



TYPICAL PARKING / ACCESS DRIVE SECTION
SCALE: 1" = 5' H
1" = 2.5' V



CONCRETE SIDEWALK DETAIL
N.T.S.



General Notes

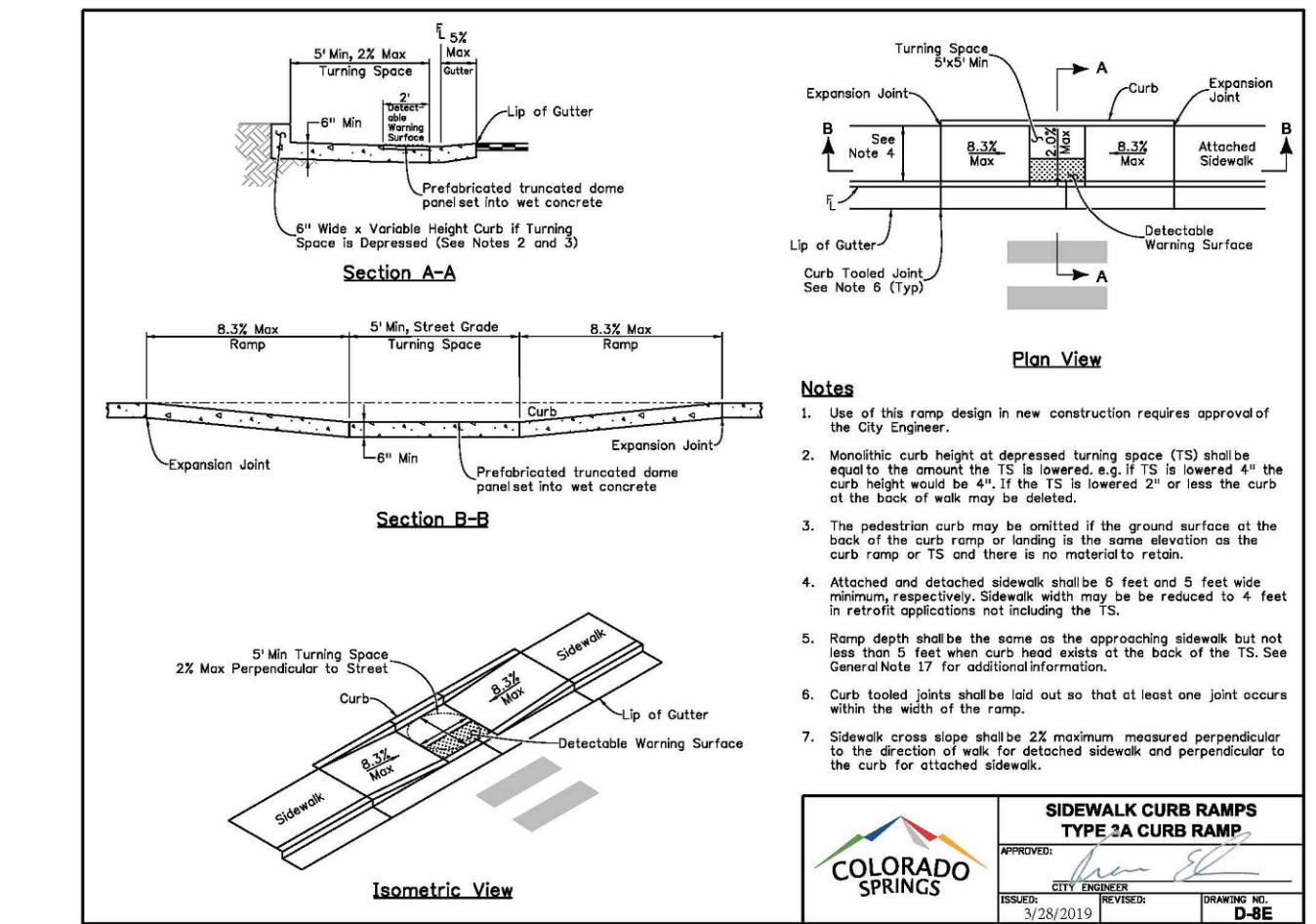
- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all necessary permits and comply with all applicable laws, codes, and regulations.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a cy-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all sidewalks.
- The Contractor shall stamp their company name and construction date at the top right corner of the curb on street side.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of precast concrete blocks or pavers approved by the City. The detectable warning pavers shall be set into the wet concrete. The detectable warning pavers shall be installed in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall have a minimum of 6 inches rise. The height of the curb shall not be more than 6 inches from any point on the finished top of the curb, with the exception for ramps that are considered under the current portion of the ramp as approved by the City.
- Ramp and detectable warning paving slope shall be 0.3% or flatter except on long ramps as specified in Note 14.
- Drainage structures, utility, sign equipment, or other structures shall not be installed in the ramp or turning space areas.
- If a traffic signal/pedestrian push button cannot be installed within 10 feet of the curb, the push button shall be installed in a separate location that meets the requirements of MUTCD Chapter 4 for pedestrian buttons.
- Signage on the curb is not allowed in new construction. A single diagonal sign on the curb may be permitted after consultation or discussion with the City on a case-by-case basis.
- Ramps, including street side or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- Aluminum joints and grade breaks shall be flush (0.005"). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications to avoid opening wide sidewalks on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 0.3%.
- Flush side slopes may exceed 0.3% only where they abut a non-sloped surface (concrete) or approved surface on the adjacent sidewalk path. Blended curb shall not be placed in a position to walk across the raised side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all cases of retrofits where the turning space is constrained by the existing curb, the turning space shall be 2 feet by 2 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb finish shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.3% and 0.5%.
- Ramps shall slope with each other across the street.

Slope Table
The table below is intended to be used to convert between the percent (hand) and ratio (slope) methods of expressing the magnitude of a slope.

PERCENT SLOPE	0.3%	0.5%	0.6%	0.7%	0.8%	1.0%
RATIO (SLOPE)	3/1000	5/1000	6/1000	7/1000	8/1000	10/1000

Ramp Cross Slope Transition To Match Roadway Profile
Ramp cross slope and turning space profile.

SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS
APPROVED BY: [Signature]
DATE: 07/28/2010
SCALE: N.T.S.
SHEET: D-5A



HANDICAP ACCESS NOTES:

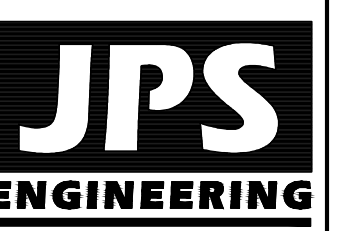
- RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
- ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
- HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

CITY APPROVAL

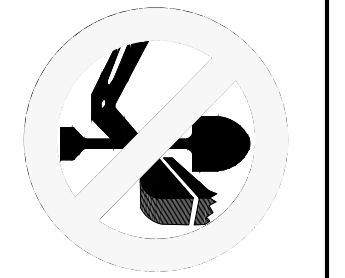
GENERAL CIVIL NOTES:

- ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
 - INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
 - COLORADO SPRINGS ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
 - PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES:
 - COLORADO SPRINGS ENGINEERING CRITERIA MANUAL
 - COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

525 - 531 S. WEBER ST. - MIXED USE RETAIL
LOT 4, BLOCK 144, TOWN OF COLORADO SPRINGS



19 E. Willamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpseng.com



CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			

CIVIL NOTES AND DETAILS

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	POLARIS	CHECKED:	JPS
CREATED:	11/26/21	LAST MODIFIED:	10/15/24
PROJECT NO:	062402	MODIFIED BY:	PV
SHEET:			

C1.2



LANDSCAPE ARCHITECTURE

PREPARED BY: KATIE TUTT
KATIE@KTLANDSCAPEARCH.COM
719-494-7596

525 & 531 S. WEBER STREET
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO,
STATE OF COLORADO

FINAL LANDSCAPE PLAN

NOT FOR CONSTRUCTION

DRAWN BY: KT

CHECKED BY: KT

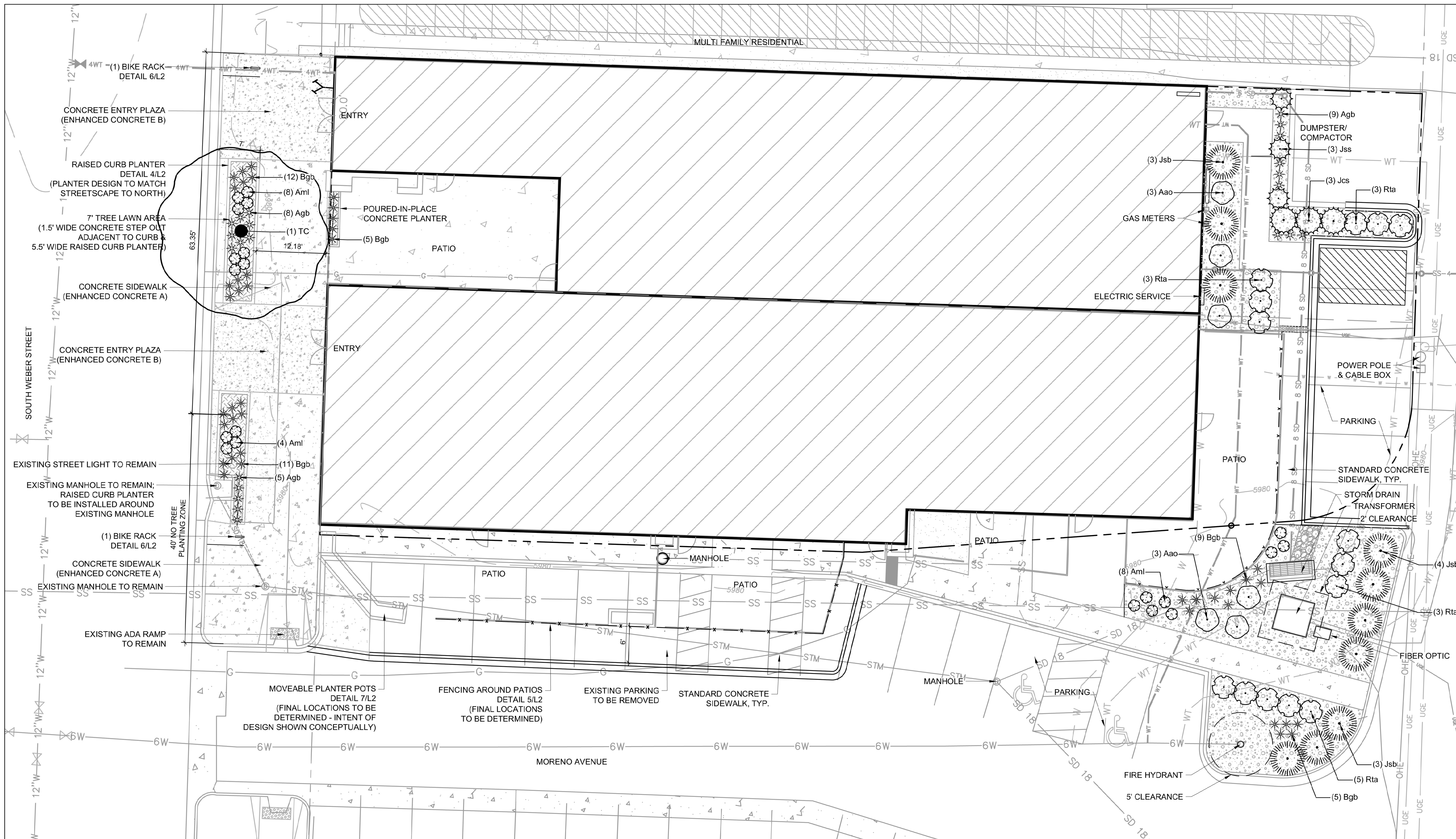
DATE: 10/15/24

REVISIONS:

REV #	DESCRIPTION	DATE
1	PER CITY COMMENTS	1/22/25

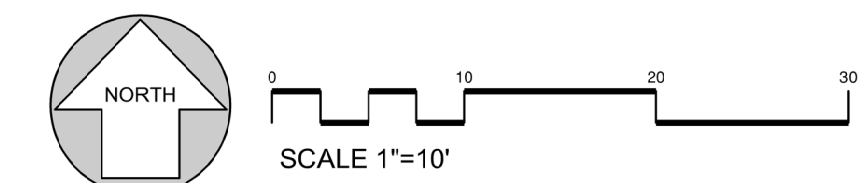
FINAL LANDSCAPE PLAN

SHEET L1
DEPN-24-0014



- LANDSCAPE NOTES:
- Contractor shall be responsible for utility locates and verifying locations of existing and proposed underground utility lines prior to planting.
 - Contractor shall be responsible for maintenance of all plant material and the irrigation system during construction and through final completion. Any damage to plant material within work area shall be repaired or replaced at the contractor's expense.
 - Contractor shall warranty all plant material for 1 year after substantial completion.
 - Existing Pine trees along S. Weber Street to be removed. Trees to be removed from the City ROW require a permit from the Forestry Division and the work must be completed by a tree service licensed by the City of Colorado Springs. Payment for the appraised value of the trees to be removed shall be received in full before issuance of a building permit.
 - All street trees and streetscape improvements located in the ROW will be maintained by the abutting property owner.
 - Trees shall maintain a 15-foot minimum separation from water and wastewater mains and a 6-foot minimum separation from electric and gas distribution lines.
 - Trees to be trimmed 6-feet from ground and shrubs to be trimmed 3-feet from ground.
 - Once rough grading is complete, contractor to conduct soils analysis to confirm appropriate soil amendments necessary for planting areas.
 - Set planting bed 4" below adjacent concrete to allow for wood or rock mulch.
 - Stake all proposed tree locations prior to planting and obtain owner's approval of tree locations prior to installation.
 - New plant material must comply with current Colorado Nursery Act Standards.
 - All trees, shrubs and perennials to be planted per planting details.
 - Provide wood mulch ring around each tree and plant as shown in detail.
 - Install 3" depth minimum wood/rock mulch over weed barrier fabric. Submit photographs or samples of rock mulch to landscape architect for approval. Concrete patterns to match paving along S. Weber Street adjacent to the apartment project to the north, enhanced concrete A and B are to be colored concrete to match concrete to north.
 - Streetscape planters along S. Weber Street to match those along the apartment project to the north.
 - Perimeter fencing for patios is shown conceptually on the plan. Exact location of fence and potential gates may vary. Fencing shall not stop access to utility lines or conflict with utility equipment.
 - Patios to include site furnishing such as tables, chairs and trash receptacles. All patio furnishings to be selected by owner or retail tenant.
 - Locations and dimensions of patio planters is shown conceptually on the plan. Exact locations of planters may vary.
 - General design considerations for irrigation:
 - Verify water pressure.
 - Planting areas with shrubs and trees to be drip irrigated.
 - Irrigation under drives and walkways to be installed in pvc sleeves, 12" below finish grade; provide 1 sleeve for water and 1 sleeve for wiring.
 - Rain sensor to be installed.

- STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES:
- A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy.
 - All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas.
 - The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5882).
 - Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits.
 - If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed.
 - Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas.
 - Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per city engineering standard drawings and specifications, engineering development review division inspector will have the final authority on accepting the public improvements.



Landscape Requirements							
Street Name	Street Type	Frontage Length (ft.)*	Trees Required (1/25 Ft.)	Trees Provided	Shrubs Required (10/ Sub. Tree)	Shrubs Provided	Ornamental Grasses Required (2/ Sub. Shrub)
S. Weber St.	Minor Arterial	63	3	1**	20	12	16

* No Street Trees permitted within 40' of street intersection per Code Section 7.4.905
** Location of existing street light prohibits planting of additional street trees

Required Soil Amendments & Fertilizers							
Ground Plane Treatment	Class 1 OM Soil Amendment	Nitrogen (15 to 20 ppm)	Phosphorus (10 to 15 ppm)	Potassium (50 to 200 ppm)	Other (K, Zn, Fe, Mn, B, Cu & Biosol)	E.C., Salt or PH Treatment	RotoTill Depth
Sod Turfgrass	3 CU YD per 1000 SF	1.5 lb. per 1000 SF	0.5 lb. per 1000 SF	1.0 lb. per 1000 SF	4 oz FE per 1000 SF	n/a	6-8" Min
Native Seed	2 CU YD per 1000 SF	n/a	n/a	n/a	Biosol: 20 lbs per 1000 SF	n/a	6-8" Min
Shrub Beds	3 CU YD per 1000 SF	1.5 lb. per 1000 SF	0.5 lb. per 1000 SF	1.0 lb. per 1000 SF	4 oz FE per 1000 SF	n/a	6-8" Min

- Provide the proposed soil amendment mix and local supplier. The proposed mix shall be chosen from the current Colorado Springs Utilities Approved Soil Amendment Suppliers.
- Slow-release fertilizers are required for sandy soils.
- Once rough grading is complete, contractor to conduct soils analysis to confirm appropriate soil amendments necessary for planting areas. The above chart includes general recommendations that may need to be adjusted based on site specific conditions.

SOIL TESTING:
THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT REGARDING THE REQUIRED SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR TESTING. THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY OF COLORADO SPRINGS PRIOR TO INSTALLING ANY LANDSCAPING ON SITE.
THE MINIMUM RECOMMENDED SOIL AMENDMENTS ARE AS FOLLOWS:
SHRUB BEDS (AT LEAST 3 CU PER 1000 SF)

PLANT SCHEDULE 531 WEBER ST

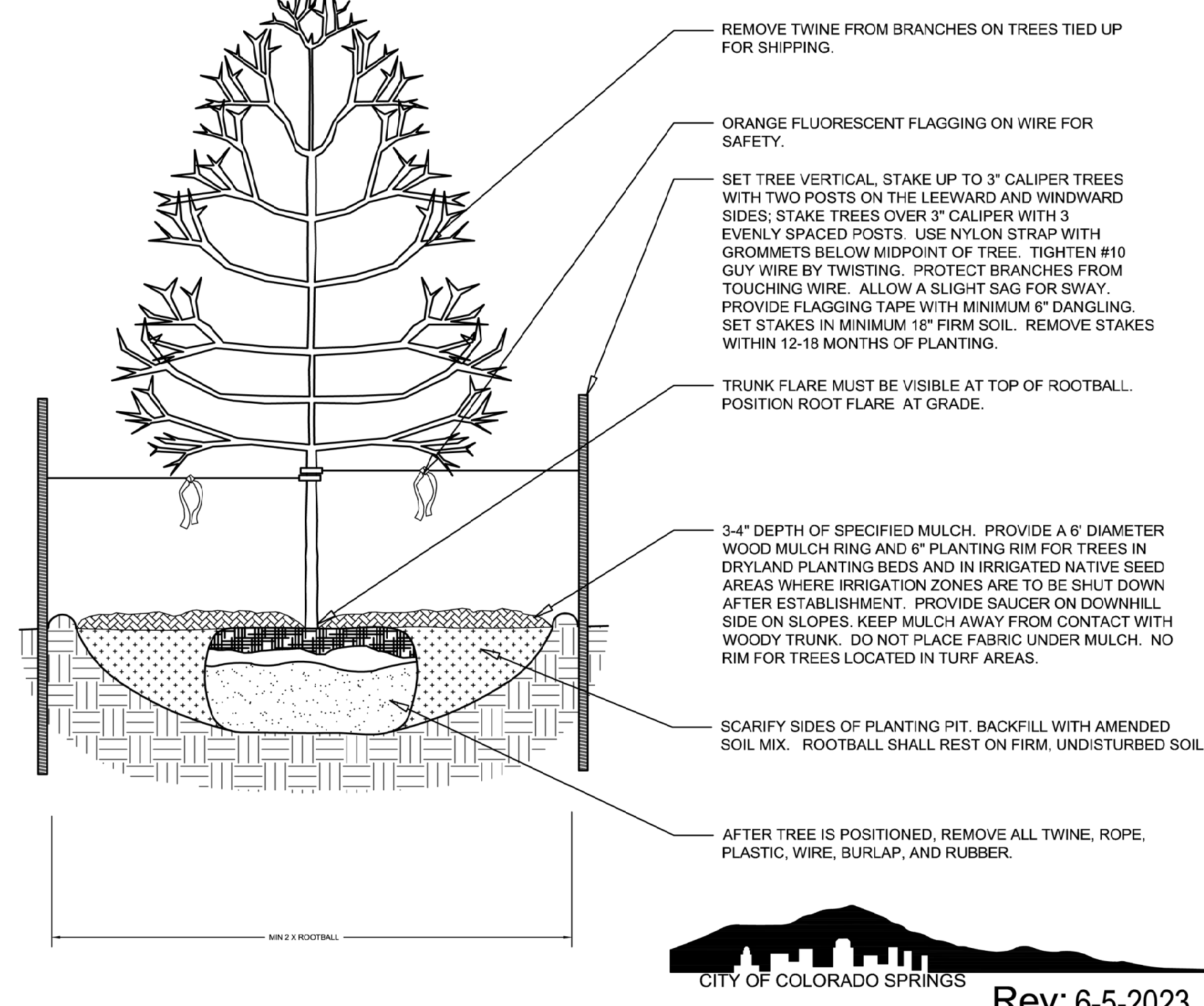
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	MATURE HEIGHT	MATURE WIDTH	SIZE	CONTAINER	REMARKS
DECIDUOUS TREES								
	TC	1	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	40 - 65ft. ht.	25 - 40ft. w.	2.5" Cal.	B&B	ROW
SHRUBS								
	Aao	6	Amelanchier alnifolia 'Obelisk' / Standing Ovation Serviceberry	6 - ft. ht.	3 - 6ft. w.	5 gal.	Cont.	Wall
	Aml	20	Aronia melanocarpa 'UCONN165' / Low Scape Mound Black Chokeberry	18 - 36in. ht.	1 - 3ft. w.	3 gal.	Cont.	Screen, Wall
	Jcs	3	Juniperus chinensis 'Spartan' / Spartan Juniper	10 - 15ft. ht.	3 - 6ft. w.	4' Ht.	Cont.	Screen, Wall, Trash
	Jsb	10	Juniperus sabinna 'Buffalo' / Buffalo Juniper	6 - 18in. ht.	6 - 10ft. w.	5 gal.	Cont.	--
	Jss	3	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	15 - 25ft. ht.	1 - 3ft. w.	4' Ht.	Cont.	Screen, Wall, Trash
	Rta	14	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	6 - 18in. ht.	6 - 10ft. w.	5 gal.	Cont.	--
GRASSES								
	Agb	22	Andropogon gerardii / Big Bluestem	3 - 6ft. ht.	1 - 3ft. w.	1 gal.	Cont.	Screen, Wall
	Bgb	42	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Grama Grass	3 - 6ft. ht.	1 - 3ft. w.	1 gal.	Cont.	--

SELECTED/SIGNATURE PLANTS FOR COLORADO SPRINGS:
1 TREES (100% PROVIDED/ 70% MINIMUM REQUIRED)
56 SHRUBS (100% PROVIDED/ 70% MINIMUM REQUIRED)
64 GRASSES (100% PROVIDED/ 70% MINIMUM REQUIRED)

PLANT SCHEDULE 531 WEBER ST

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY
		4-6" Cobble Rock	1,589 sf
		Shredded Cedar Wood Mulch	202 sf

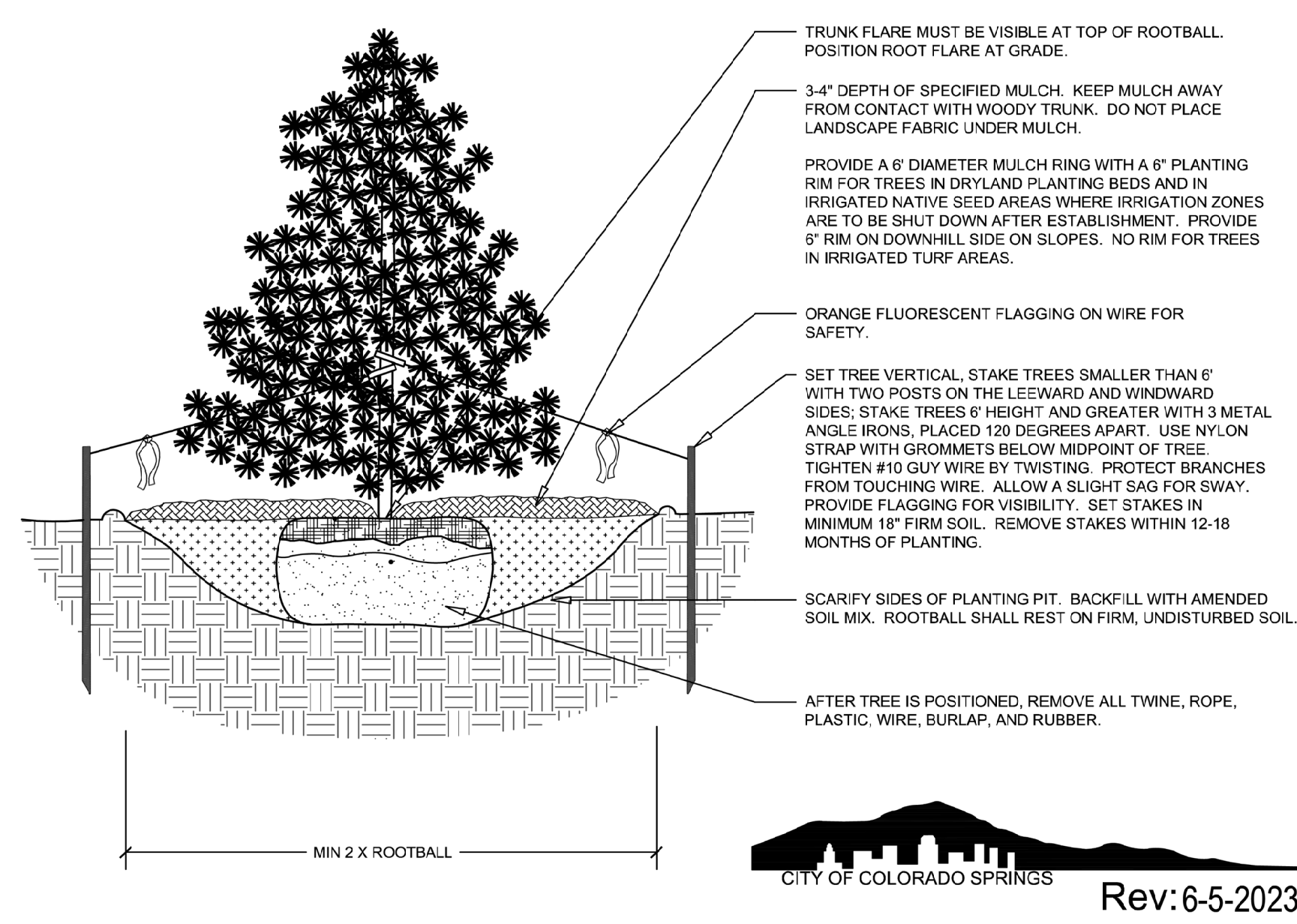
- NOTES:**
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 7. IN WINTER WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK WITH ELECTRICAL OR DUCT TAPE, NOT TWINE.
 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 10. ALL TREES LOCATED IN ROCK/COBBLE BEDS SHALL HAVE A 36 INCH DIAMETER WOOD MULCH RING.



1
L2
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
SECTION

Rev: 6-5-2023

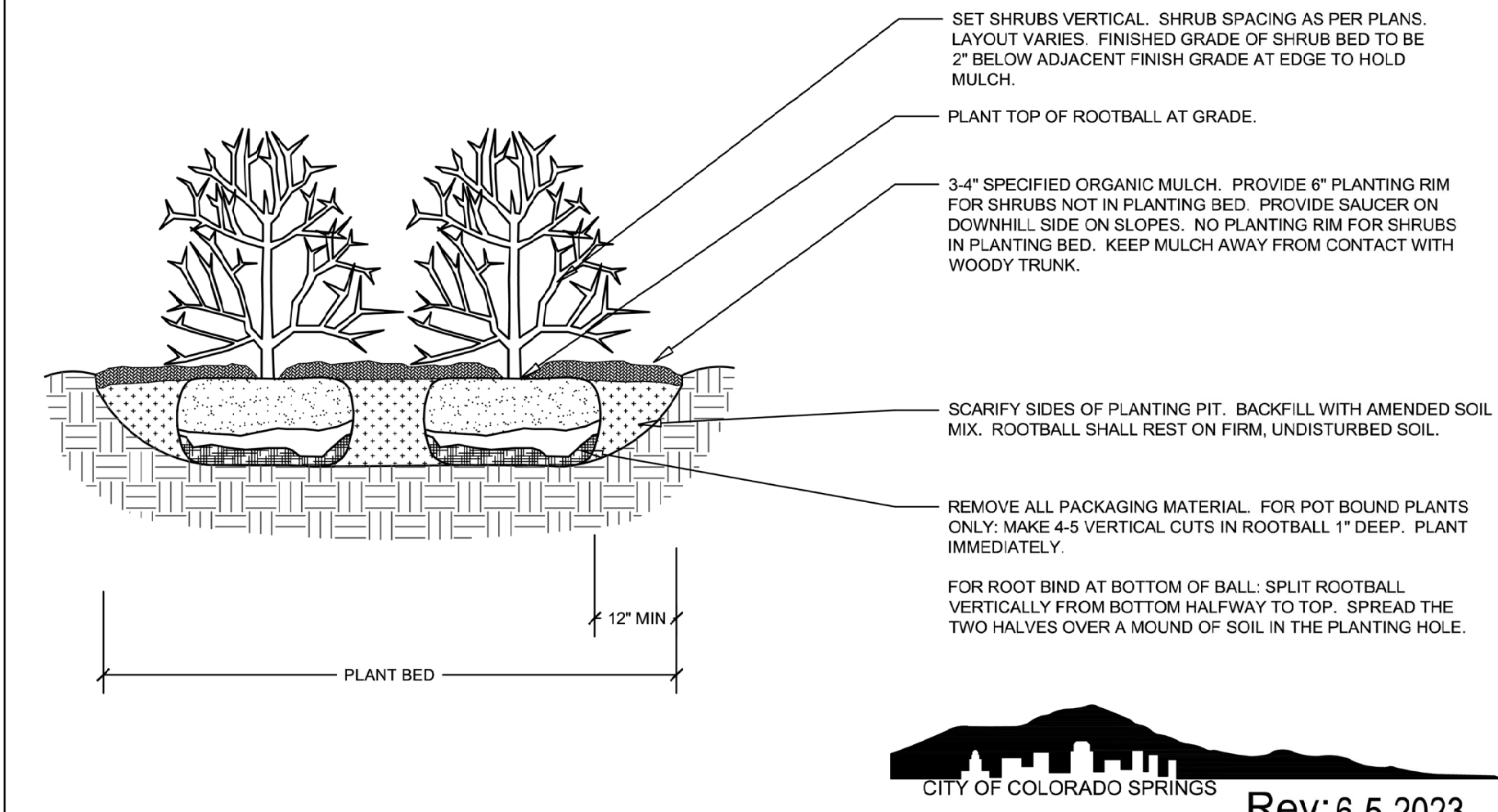
- NOTES:**
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.
 9. ALL TREES LOCATED IN ROCK/COBBLE BEDS SHALL HAVE A 36 INCH DIAMETER WOOD MULCH RING.



2
L2
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE
SECTION

Rev: 6-5-2023

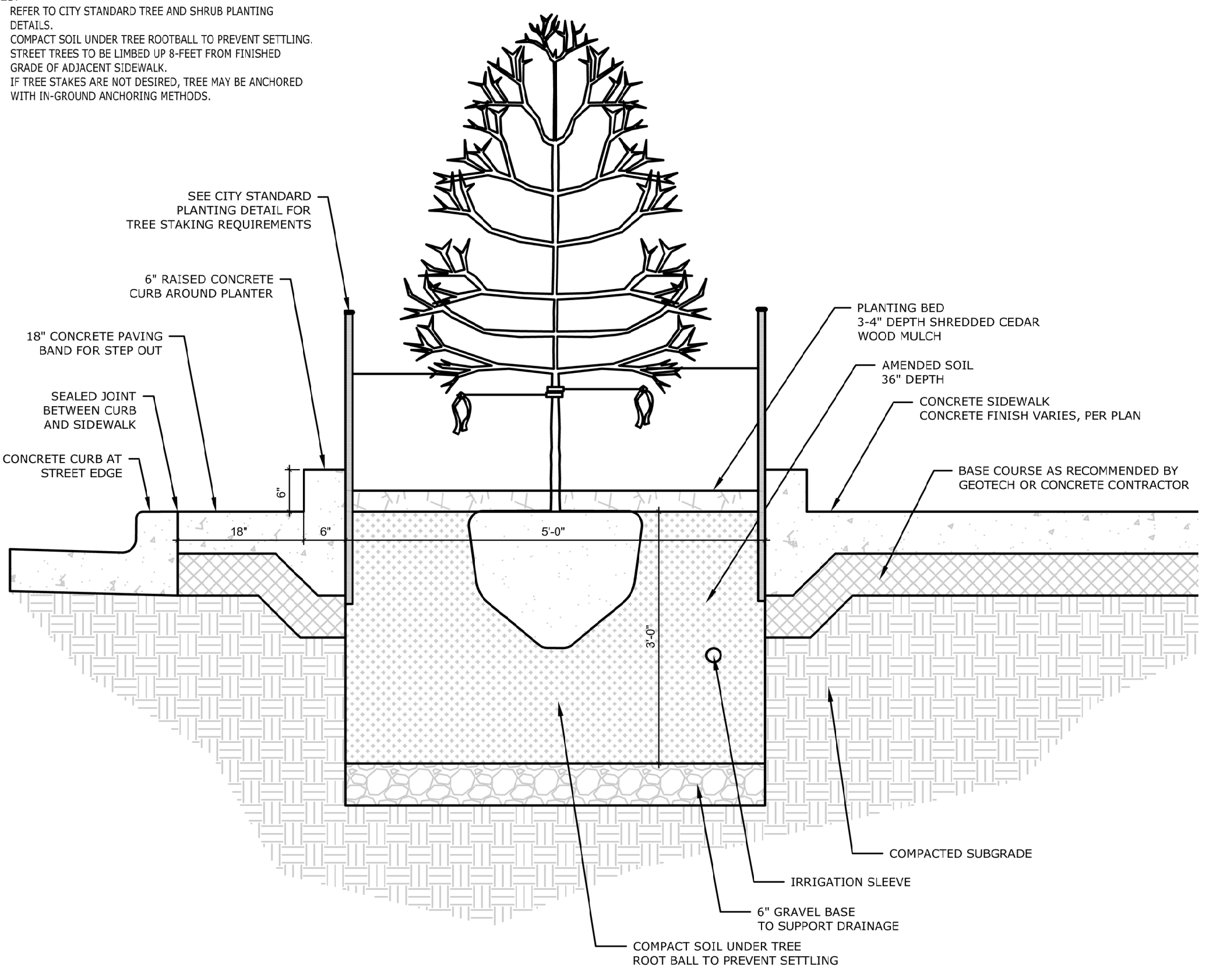
- NOTES:**
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.
 7. ALL SHRUBS LOCATED IN ROCK/COBBLE BEDS SHALL HAVE A 18 INCH DIAMETER WOOD MULCH RING.



3
L2
SHRUB PLANTING DETAIL
NOT TO SCALE
SECTION

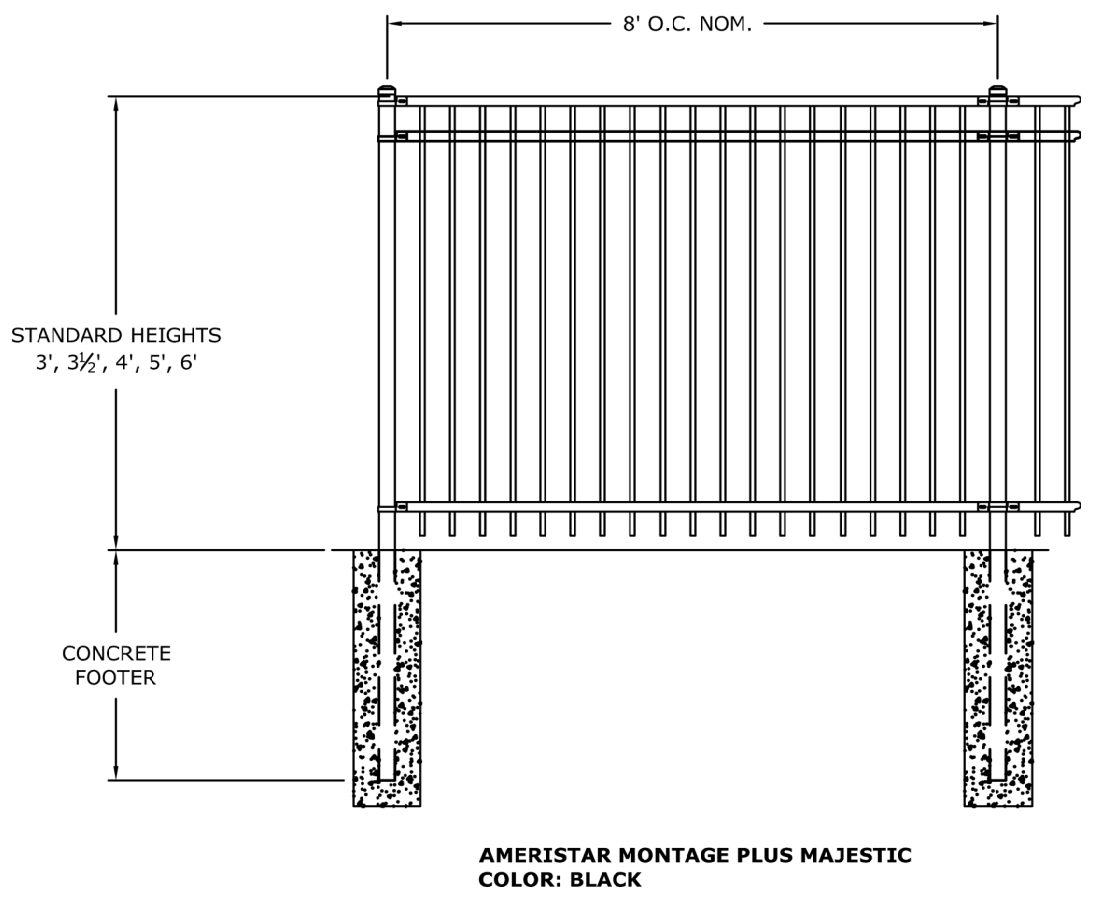
Rev: 6-5-2023

- NOTES:**
1. REFER TO CITY STANDARD TREE AND SHRUB PLANTING DETAILS.
 2. COMPACT SOIL UNDER TREE ROOTBALL TO PREVENT SETTLING.
 3. STREET TREES TO BE LIMBED UP 8-FEET FROM FINISHED GRADE OF ADJACENT SIDEWALK.
 4. IF TREE STAKES ARE NOT DESIRED, TREE MAY BE ANCHORED WITH IN-GROUND ANCHORING METHODS.



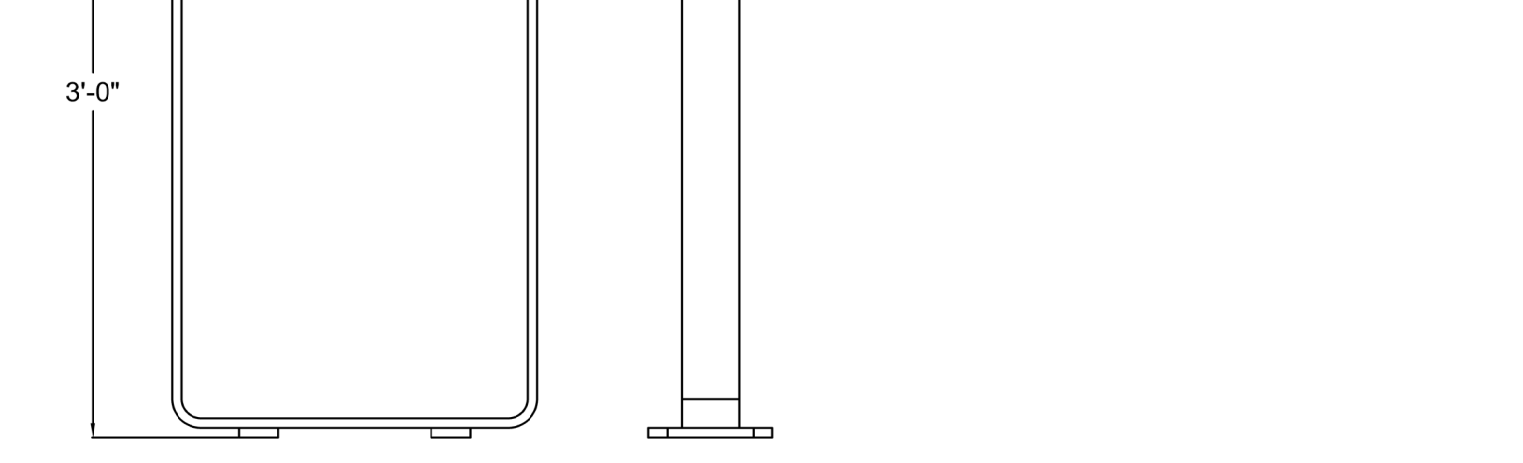
4
L2
RAISED CURB PLANTER DETAIL
NOT TO SCALE

- NOTES:**
1. Fences around patios to be Ameristar Montage Plus Majestic black metal fence or approved equal. See plan for approximate locations.
 2. Gates may be included at time of installation.
 3. Posts to be set in concrete footers. Footer depth to be determined based on final height of fence, wind loads and manufacturer's specifications.



5
L2
PATIO FENCE DETAIL
NOT TO SCALE

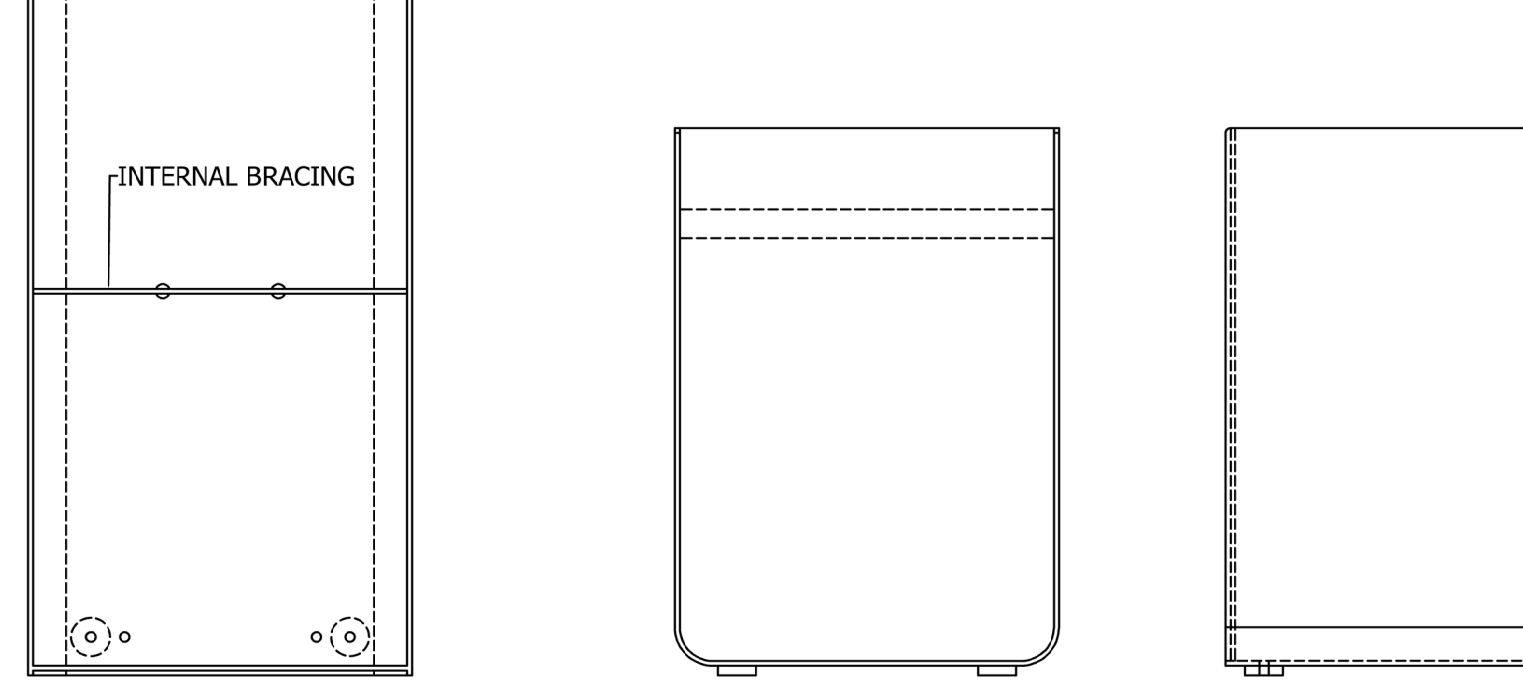
- NOTES:**
- ALL ALUMINUM CONSTRUCTION
 - 1/2" PRE-DRILLED COUNTERSUNK HOLES FOR SURFACE MOUNTING
 - SITE PIECES RECOMMENDS STAINLESS STEEL FLAT HEAD DROP-IN ANCHORS
 - SHIPS FULLY ASSEMBLED



6
L2
BIKE RACK DETAIL
NOT TO SCALE

SITE PIECES MONOLINE STANDARD BIKE RACK SURFACE MOUNT ML-STAND 19
COLOR: SAGE (COLOR TO MATCH APARTMENT PROJECT TO NORTH)

- NOTES:**
- FRAME: ALL ALUMINUM CONSTRUCTION
 - INTERNAL BRACING INCLUDED
 - 1/2" ALUMINUM GLIDES W/ 1/2" PRE-DRILLED COUNTERSUNK HOLE FOR SURFACE MOUNTING
 - DRAINAGE HOLES - OPTIONAL
 - SITE PIECES RECOMMENDS STAINLESS STEEL DROP-IN ANCHORS W/ FLAT HEAD
 - SHIPS FULLY ASSEMBLED



7
L2
PLANTER POTS DETAIL
NOT TO SCALE

SITE PIECES MONOLINE SOLID PLANTER 40" X 20" X 30" ML-SSPL-RECT4030
COLOR: SAGE (COLOR TO MATCH APARTMENT PROJECT TO NORTH)
NOTE: THIS PLANTER MAY BE SUBSTITUTED WITH APPROVED EQUAL. FINAL PLANTER SELECTION IS TO BE DETERMINED BY OWNER.



PREPARED BY: KATIE TUTT
KATIE@KTLANDSCAPEARCH.COM
719-494-7596

525 & 531 S. WEBER STREET
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO,
STATE OF COLORADO

FINAL LANDSCAPE PLAN

NOT FOR CONSTRUCTION

DRAWN BY:	KT	
CHECKED BY:	KT	
DATE:	10/15/24	
REVISIONS:		
REV #	DESCRIPTION	DATE
1	PER CITY COMMENTS	1/22/25

LANDSCAPE DETAILS

SHEET L2
DEPN-24-0014

