

FLATS AT SAND CREEK

Subdivision: Flats at Sand Creek

CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 30, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PONY TRACKS DRIVE AS DESCRIBED IN THE KNOLLS AT SPRINGS RANCH FILING NO. 1 RECORDED MARCH 20, 2000 AT RECEPTION NO. 200028805 OF THE RECORDS OF SAID COUNTY; THENCE S 89 DEGREES 42 MINUTES 22 SECONDS W ON THE NORTH RIGHT-OF-WAY LINE OF NORTH CAREFREE CIRCLE AS DESCRIBED IN THE COLORADO SPRINGS RANCH FILING NO. 2 RECORDED JANUARY 2, 1986 IN PLAT BOOK 23 AT PAGE 137 OF SAID RECORDS, AND IS THE BASIS OF BEARINGS USED HEREIN, A DISTANCE OF 504.05 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF PETERSON ROAD AS DESCRIBED IN SAID SUBDIVISION OF THE COLORADO SPRINGS RANCH FILING NO. 2; THENCE N 44 DEGREES 50 MINUTES 30 SECONDS W ON SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 42.09 FEET; THENCE N 00 DEGREES 36 MINUTES 37 SECONDS E ON SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 482.33 FEET TO A POINT OF CURVE AND THE SOUTHEAST CORNER OF PETERSON ROAD AS DESCRIBED IN PETERSON ROAD FILING NO. 1 RECORDED DECEMBER 21, 1988 AT RECEPTION NO. 98187722 OF SAID RECORDS; THENCE ON SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 02 DEGREES 36 MINUTES 20 SECONDS, A RADIUS OF 645.00 FEET FOR AN ARC DISTANCE OF 29.33 FEET, WHOSE CHORD BEARS N 01 DEGREES 54 MINUTES 47 SECONDS E TO THE NORTH LINE OF A SIXTY (60) FOOT UTILITY EASEMENT DESCRIBED IN INSTRUMENT RECORDED NOVEMBER 1, 1985 IN BOOK 2101 AT PAGE 444 OF SAID RECORDS; THENCE N 89 DEGREES 34 MINUTES 07 SECONDS E ON SAID NORTH LINE, A DISTANCE OF 544.64 FEET TO A POINT ON A CURVE AND THE WESTERLY RIGHT-OF-WAY LINE OF SAID PONY TRACKS DRIVE; (THE FOLLOWING THREE (3) COURSES ARE ON SAID WESTERLY RIGHT-OF-WAY LINE), 1.) THENCE ON SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 00 DEGREES 08 MINUTES 07 SECONDS, A RADIUS OF 430.00 FEET FOR AN ARC DISTANCE OF 0.78 FEET, WHOSE CHORD BEARS S 00 DEGREES 14 MINUTES 35 SECONDS E; 2.) THENCE S 00 DEGREES 17 MINUTES 38 SECONDS E A DISTANCE OF 512.14 FEET; 3.) THENCE S 44 DEGREES 42 MINUTES 22 SECONDS W A DISTANCE OF 42.43 FEET TO THE POINT OF BEGINNING.

(PER TITLE COMMITMENT FILE NO. 55251)

To be platted as: Flats at Sand Creek

PROJECT TEAM

OWNER: Carefree Landowner LLC
295 Seven Farms Dr # C-258
Charleston SC, 29492-8001

DEVELOPER: Lincoln Avenue Capital
44 Cook St., Suite 510
Denver, CO 80206
N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

APPLICANT: Way Architects, P.C.
318 N Tejon
Colorado Springs, CO 80903

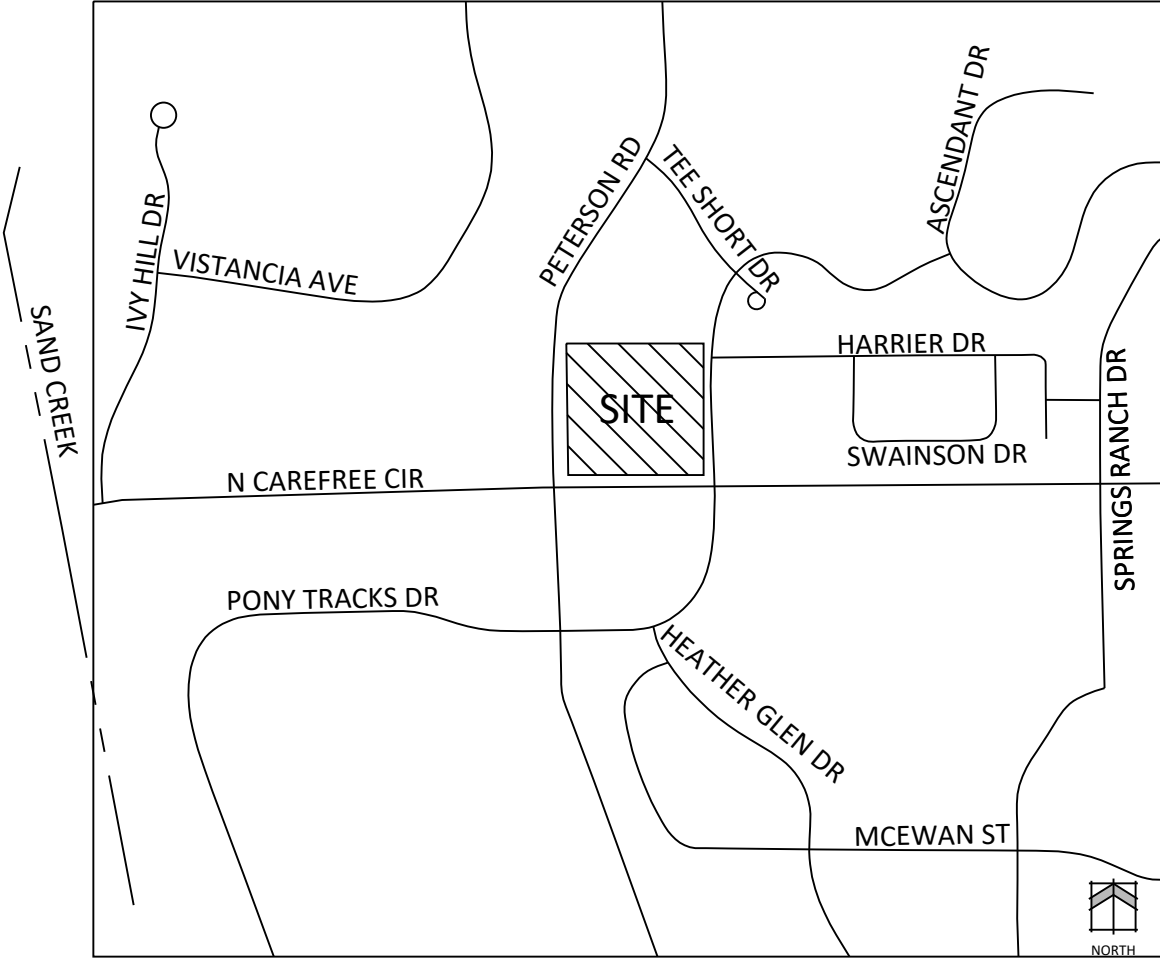
ARCHITECT: Kimley-Horn
2 N Nevada Ave, Suite 900
Colorado Springs, CO 80903

ENGINEER:

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VICINITY MAP



SITE DATA

Tax ID Number: 5330400035
Total Area: 6.947 ACRES
Development Schedule: SUMMER 2025
Master Plan: Springs Ranch
Drainage Basin: Sand Creek
Current Zoning: R-S AO
Proposed Zoning: R-S AO

Current Use: VACANT LAND
Proposed Use: Multifamily Residential
Proposed Density: 20.7 DU/AC
Max Building Height: 50'
Proposed Building Height: 38'
Max Lot Coverage: 50%
Proposed Lot Coverage: 27.4%

Building Setbacks:
Secondary Front (Peterson Road): 15'
Front (N. Carefree Circle): 20'
Secondary Front (Pony Tracks Drive): 15'
Rear (North): 15'

Landscape Setbacks:
West (Peterson Road): 20'
South (N. Carefree Circle): 25'
East (Pony Tracks Drive): 10'
North (Landscape Buffer): 15'

Parking:
Formula: 2-Bedroom: 1.5 Space/Unit x 72 = 108 spaces
3-Bedroom: 2 Space/Unit x 72 = 144 spaces
Provided: 239
ADA Formula: Between 201-300 spaces = 7 ADA stalls
Required: 7
Provided: 12
Compact spaces: 82 (30% of total spaces)

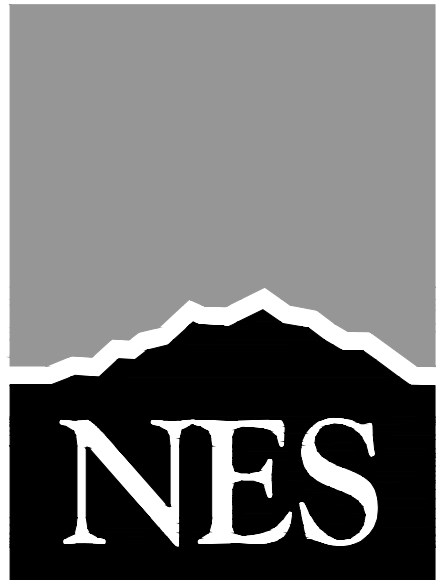
Bike Storage Formula: 0.5 stalls per 1,000 gross building area, 20% long-term
Required: (53,770.2642sqft)/(0.5)/1,000=26.89 Provided: 72
Required Long-term: (0.2)/(26.89)=5.37 Provided: 6

5% Parking reduction due to proximity to existing bike route on Pony Tracks Drive

*An Administrative Adjustment is requested to allow an 8' buffer wall where 7' is the maximum allowed per city code section 7.4.203.A (Table 7.4.2-E). The wall is proposed 10' south of the north property line. This is a 14.2% relief request.

GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982, 2880 INTERNATIONAL CIRCLE FOR SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY(C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
- A PRIVATE AVIGATION EASEMENT ACKNOWLEDGING THE USAFA AIRMANSHIP PROGRAM WILL BE ESTABLISHED PRIOR TO RECORDATION OF THE FINAL SUBDIVISION PLAT(S) FOR THIS DEVELOPMENT OR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY UNIT WITHIN THE DEVELOPMENT.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES, OR UNTIL ALL AIRPORTS ON THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIMSELF/HERSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT WILL BE RECORDED WITH THE (S) THEREIN ESTABLISHED BY THE FLATS AT SAND CREEK FILING NO.1) SUBDIVISION PLAT. SAID EASEMENT SHALL BE CONSIDERED A PUBLIC EASEMENT AND IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENT OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0539G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY ABUTTING PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEPARTMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- PRIVATE PROPOSED DETENTION FACILITY TO BE MAINTAINED BY OWNER.
- PARK LAND DEDICATION ORDINANCE IS TO BE MET THROUGH FEES IN LIEU OF LAND DEDICATION. FEES DUE PRIOR TO BUILDING PERMIT APPROVAL.
- SCHOOL SITE DEDICATION ORDINANCE IS TO BE MET THROUGH FEES IN LIEU OF LAND DEDICATION. FEES DUE PRIOR TO BUILDING PERMIT APPROVAL.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.



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Fax 719.471.0267

www.nescolorado.com

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PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 8.20.24
PROJECT MGR: B.SWENSON
PREPARED BY: C.HELMLINGER



Land Use Review
Approved

02-24-2025
2:08:52 PM
Austin Cooper

ENTITLEMENT

DATE:	BY:	DESCRIPTION:
10.22.24	CH	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

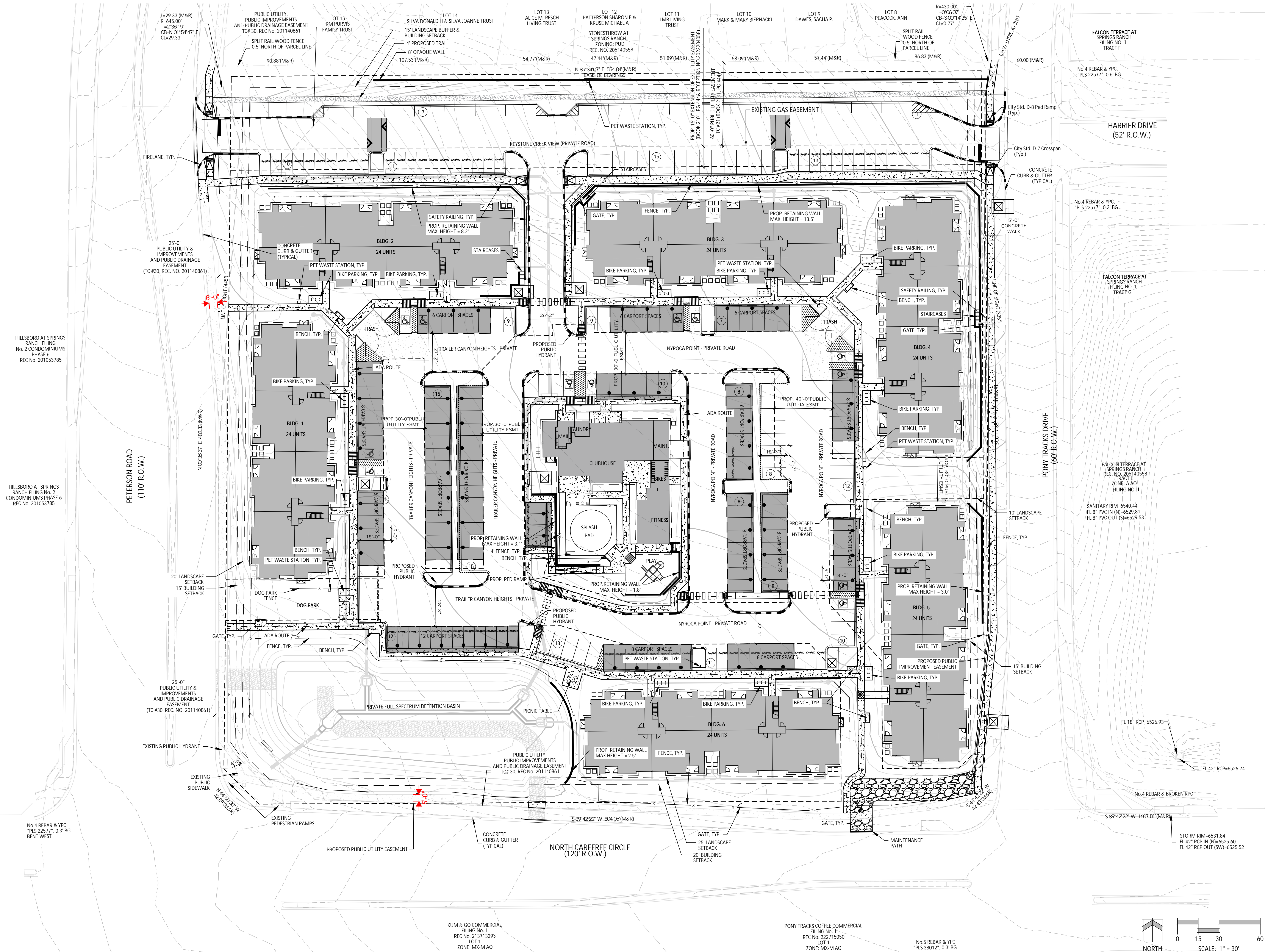
COVER

1

1 OF 14

DEPN-24-0133

P:\Utah\Aurora Capital\Peterson and Cardwell\Drawings\Planning\CS\SandCreek_DP.dwg (SITE PLAN) 2/14/2025 11:17:11 AM JKL



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FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 8/20/24
PROJECT MGR: B. SWENSON
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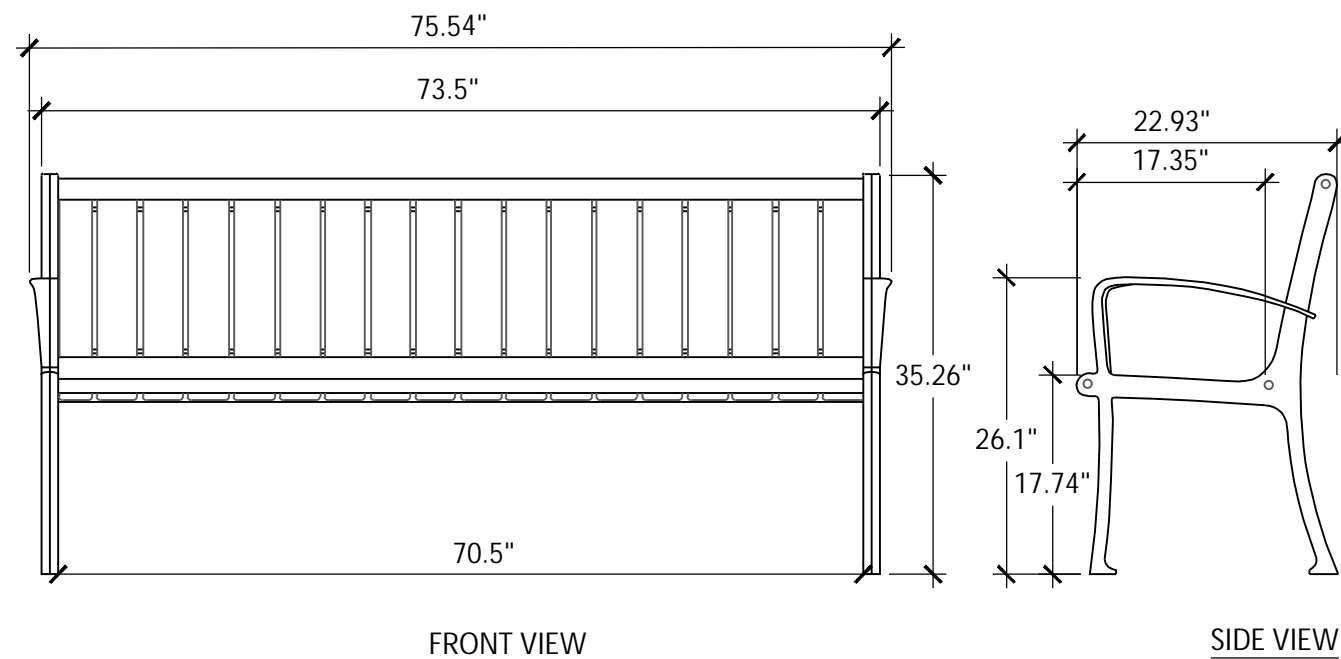
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DEVELOPMENT PLAN

2

2 OF 14

DEPN-24-0133

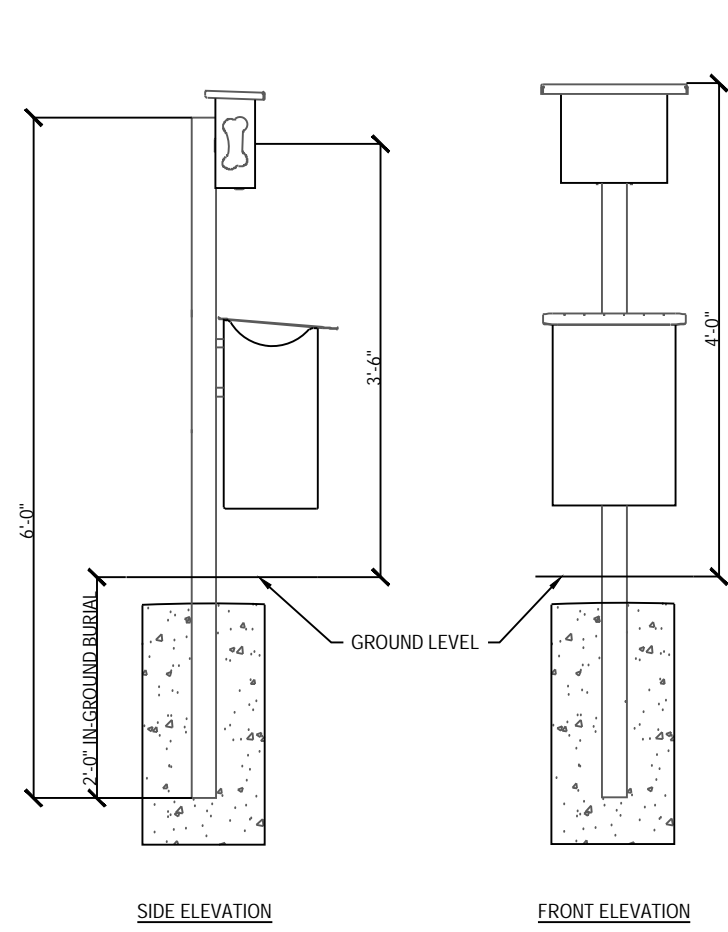


NOTES
FRAME COLOR: BY OWNER
MODEL: CR2780R
INSTALL PER MANUFACTURE'S SPECIFICAITONS

COLOR: ASPEN OR BY OWNER

MODEL: THE PET WASTE STATION.COM
DL-PV15100-IG STANDARD FEATURES: - MADE IN U.S.A. - ALUMINUM FAL-WEATHER RESISTANT - ADA COMPATIBLE - HEAVY-DUTY ONE PIECE MOUNTING POST - CAN BE CUSTOMIZED WITH YOUR BRAND OR SPECIAL LOGO - PROPRIETARY FLAT SURFACE FOR STORAGE: LEASH KEYS, CELL PHONES - 600 BAG CAPACITY MEANS LESS REFILL TIME PRODUCT DIMENSIONS: DIMENSIONS: 72" H X 15" W X 29" L RECOMMENDED SPECIFICATIONS: ITEM: - DL-PV15100-IG COMPONENTS: - DL-PV15100-IG (BOX) - DL-PV15100-IG POST - IG - DL-PV15100-IG (WASTE CAN) MATERIALS: - POWDER COATED ALUMINUM BAG DISPENSER BOX - POWDER COATED ALUMINUM POST DESIGNED FOR BURIAL - POWDER COATED ALUMINUM WASTE CAN

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER SANDCREEK_DP.



EasyPetFence Dog Park - In Ground (or approved equal)
4' Height
Color: Black
Fencing Material: 4' x 100' Welded Wire Dog Fence - 14 ga. galvanized steel core; 12 ga after Black PVC-Coating, 2" x 2" Mesh
Posts and Hardware: Powder coated galvanized metal
Top Rail: Yes
Double gate System: Yes
Installation method: In-Ground with Ground Sleeves

Dog Fence Access Gates Sleeved (or approved equal)
4' Height
Color: Black
Fencing Material: 4' x 100' Welded Wire Dog Fence - 14 ga. galvanized steel core; 12 ga after Black PVC-Coating, 2" x 2" Mesh
Posts and Hardware: Powder coated galvanized metal
Top Rail: Yes
Installation method: In-Ground with Ground Sleeves

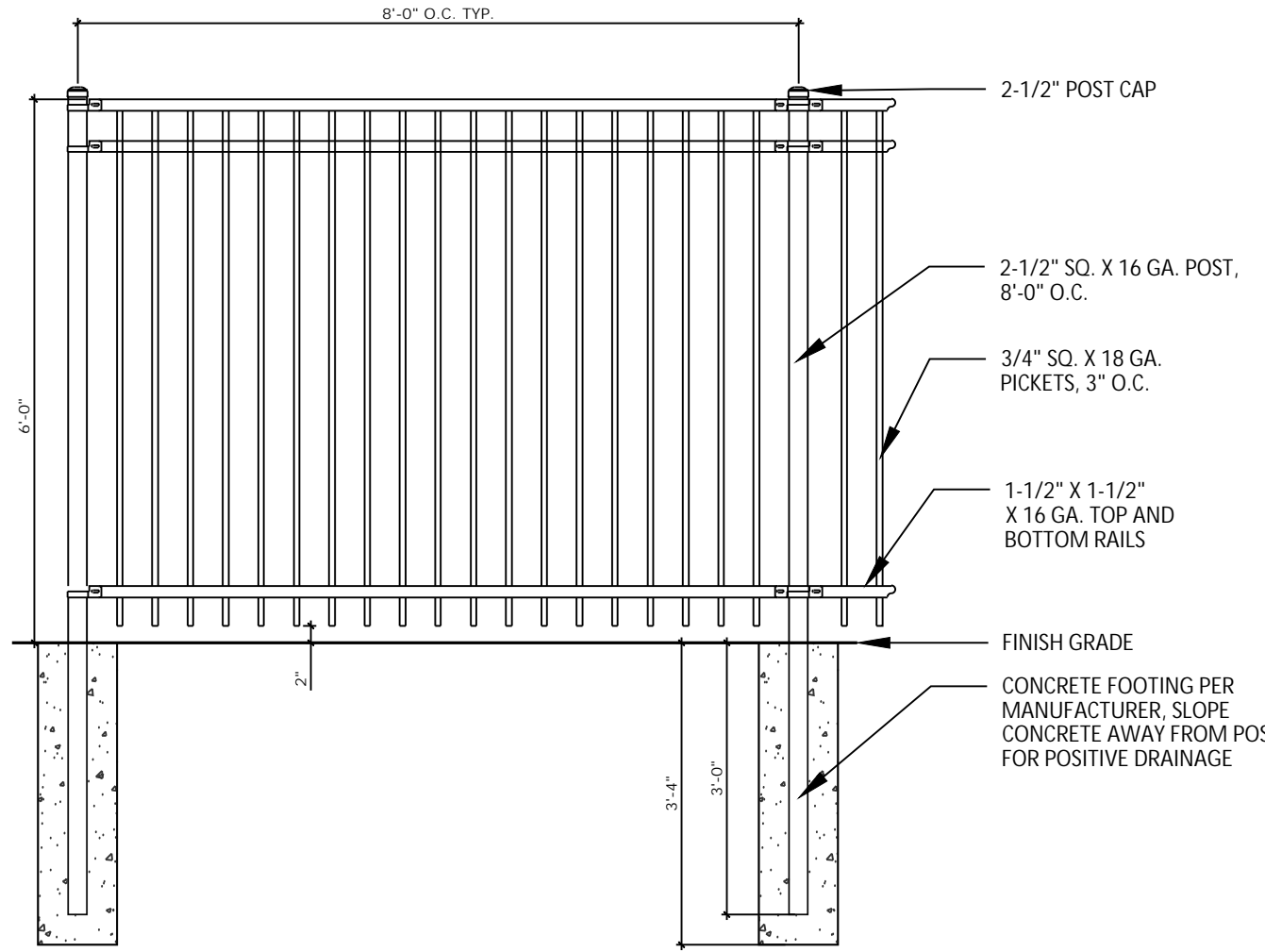
1 ANOVA CORONADO BENCH

N.T.S

P-ANO-05

MANUFACTURER: AMERISTAR
MODEL: MONTAGE PLUS
STYLE: MAJESTIC 3 RAIL
COLOR: BLACK

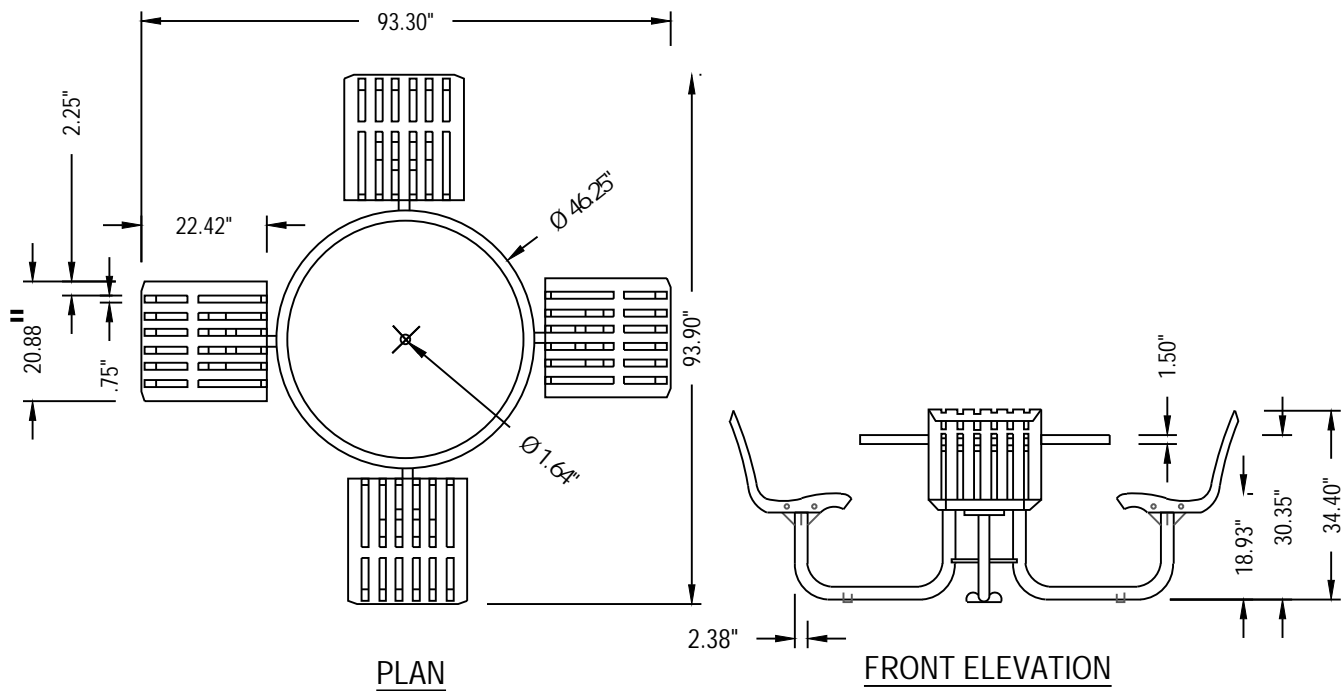
OR APPROVED EQUAL



5 FENCE

1/2" = 1'-0"

P-OC-02



COLOR: TEXTURED PEWTER (ALL COMPONENTS) OR BY OWNER
FINISH: TOP COAT™ PATENTED HIGH-GLOSS FINISH RESISTS UV DETERIORATION, MILDEW, STAINING AND FADING.
FUSIONGUARD®PRIMER IS APPLIED TO ALL OF THE UNDER SUPPORTS, PROVIDING EXTREME RUST FIGHTING PROTECTION AND DURABILITY.
MATERIAL:
TABLE TOP: 12-GAUGE STEEL AND FEATURES A DURABLE 1.5" SQUARE STEEL TUBE EDGE.
SEATS: 12-GAUGE SLOTTED STEEL WITH A .75" GAP SLOTTED PATTERN AND
TABLE TOP AND SEATS PLASTISOL COATED WITH AN AVERAGE THICKNESS OF .125" AND ARE FINISHED WITH HIGH-GLOSS PATENTED TOPCOAT™
FRAME AND LEGS: 2.38" O.D. STEEL TUBING PROTECTED WITH FUSIONGUARD®RUST PROTECTION.
FEATURES: 1.64" DIAMETER UMBRELLA HOLE IN THE CENTER WITH A BUILT-IN UMBRELLA HOLDER.
ANOVA UMBRELLA BY OWNER.

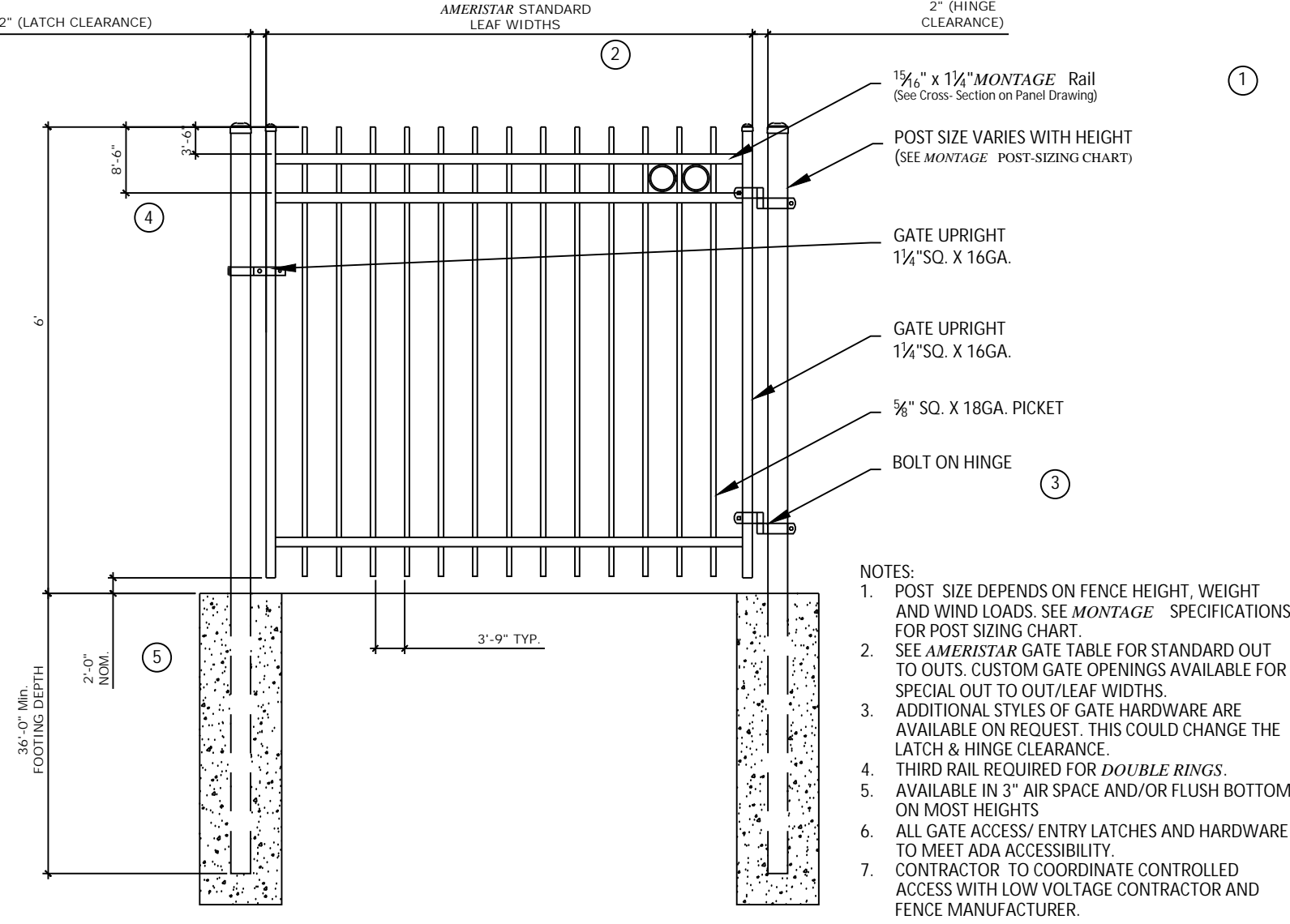
9 ANOVA 4 CONTOUR SEAT LATITUDE TABLE

N.T.S

2 PET WASTE STATION

3/8" = 1'-0"

P-WA-59



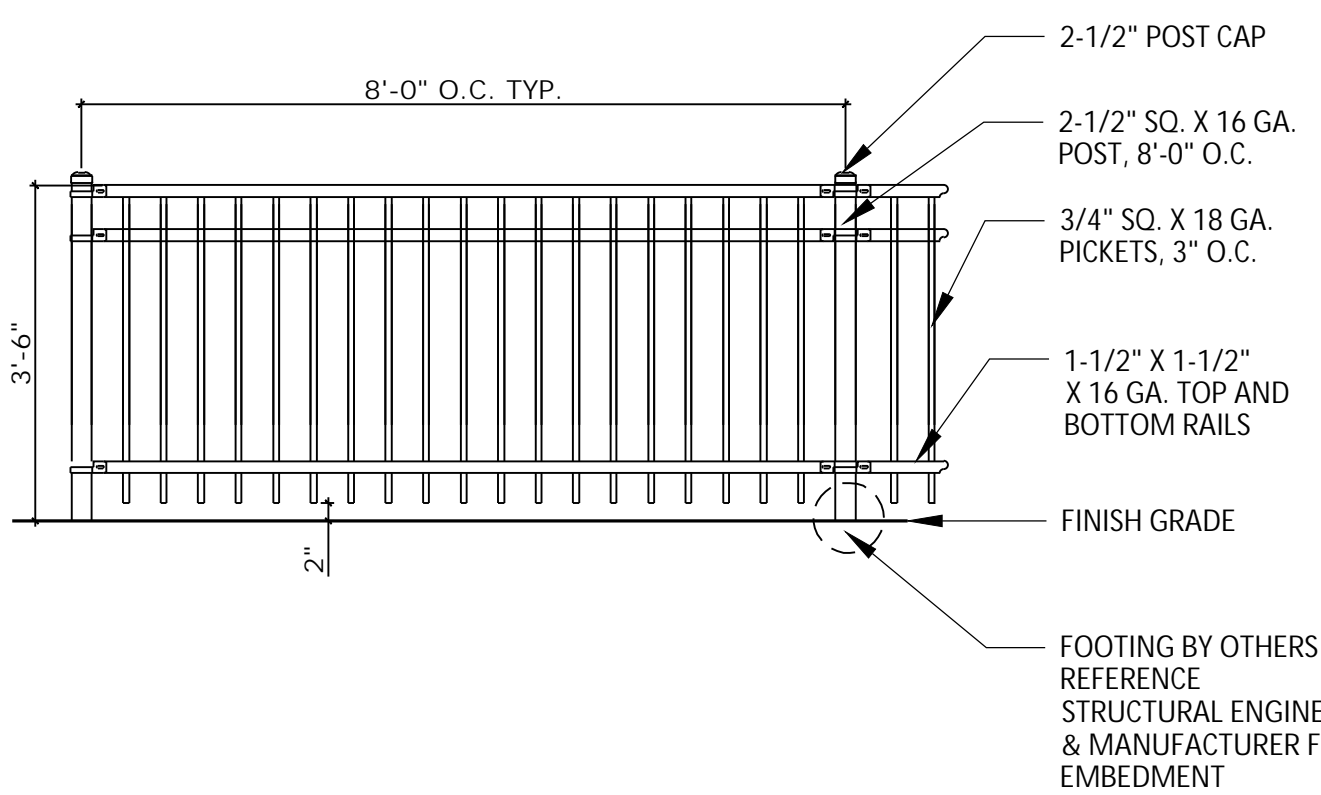
- NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE SPECIFICATIONS FOR POST SIZING CHART.
2. SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
3. ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH & HINGE CLEARANCE.
4. THIRD RAIL REQUIRED FOR DOUBLE RINGS.
5. AVAILABLE IN 3" AIR SPACE AND/OR FLUSH BOTTOM ON MOST HEIGHTS.
6. ALL GATE ACCESS/ ENTRY LATCHES AND HARDWARE TO MEET ADA ACCESSIBILITY.
7. CONTRACTOR TO COORDINATE CONTROLLED ACCESS WITH LOW VOLTAGE CONTRACTOR AND FENCE MANUFACTURER.

6 6' GATE

NTS

P-P11-14

NOTE: FOOTINGS ARE TO BE COORDINATED W/ RETAINING WALL GEOGRID & SLEEVING
NO GAP BETWEEN POSTS SHALL ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH
RAILING SHALL BE REQUIRED AT ALL LOCATIONS WHERE THE WALL IS 30" TALL OR TALLER AND RESIDES WITHIN 36" OF A WALKING SURFACE
MANUFACTURER: AMERISTAR
MODEL: MONTAGE PLUS
STYLE: MAJESTIC 3 RAIL
COLOR: BLACK
OR APPROVED EQUAL BY OWNER



10 SAFETY RAILING

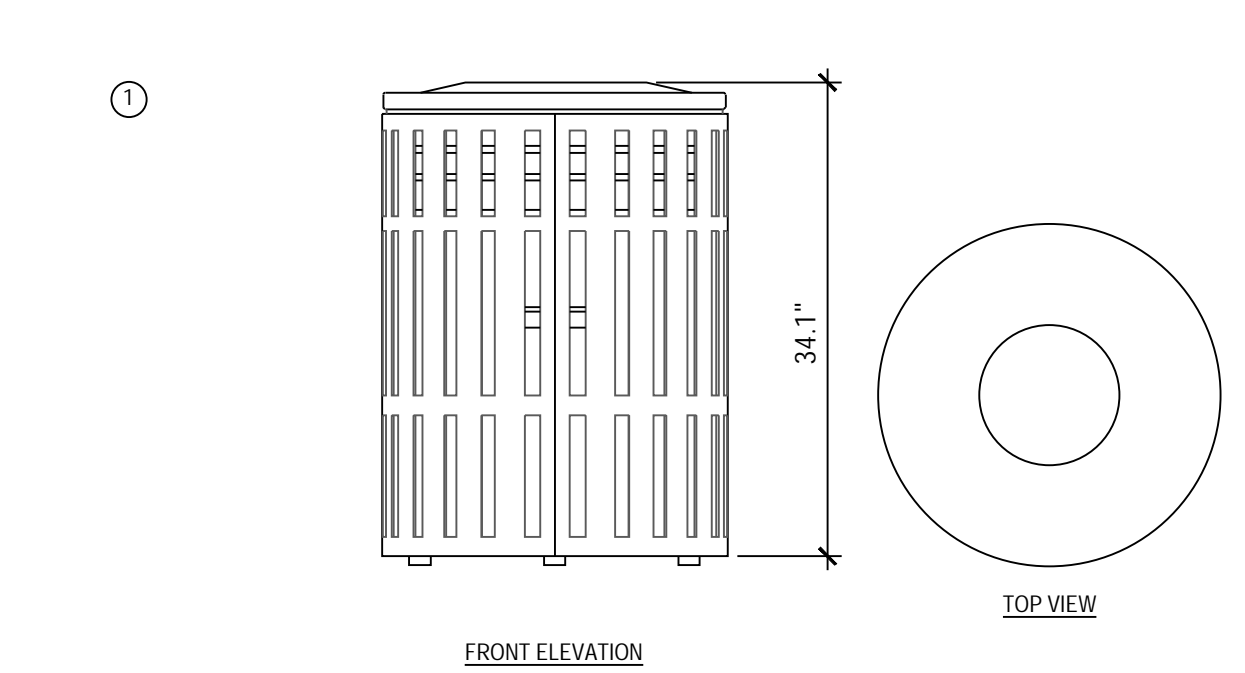
1/2" = 1'-0"

P-AL-01

3 EASYPETFENCE DOG PARK - IN GROUND

N.T.S

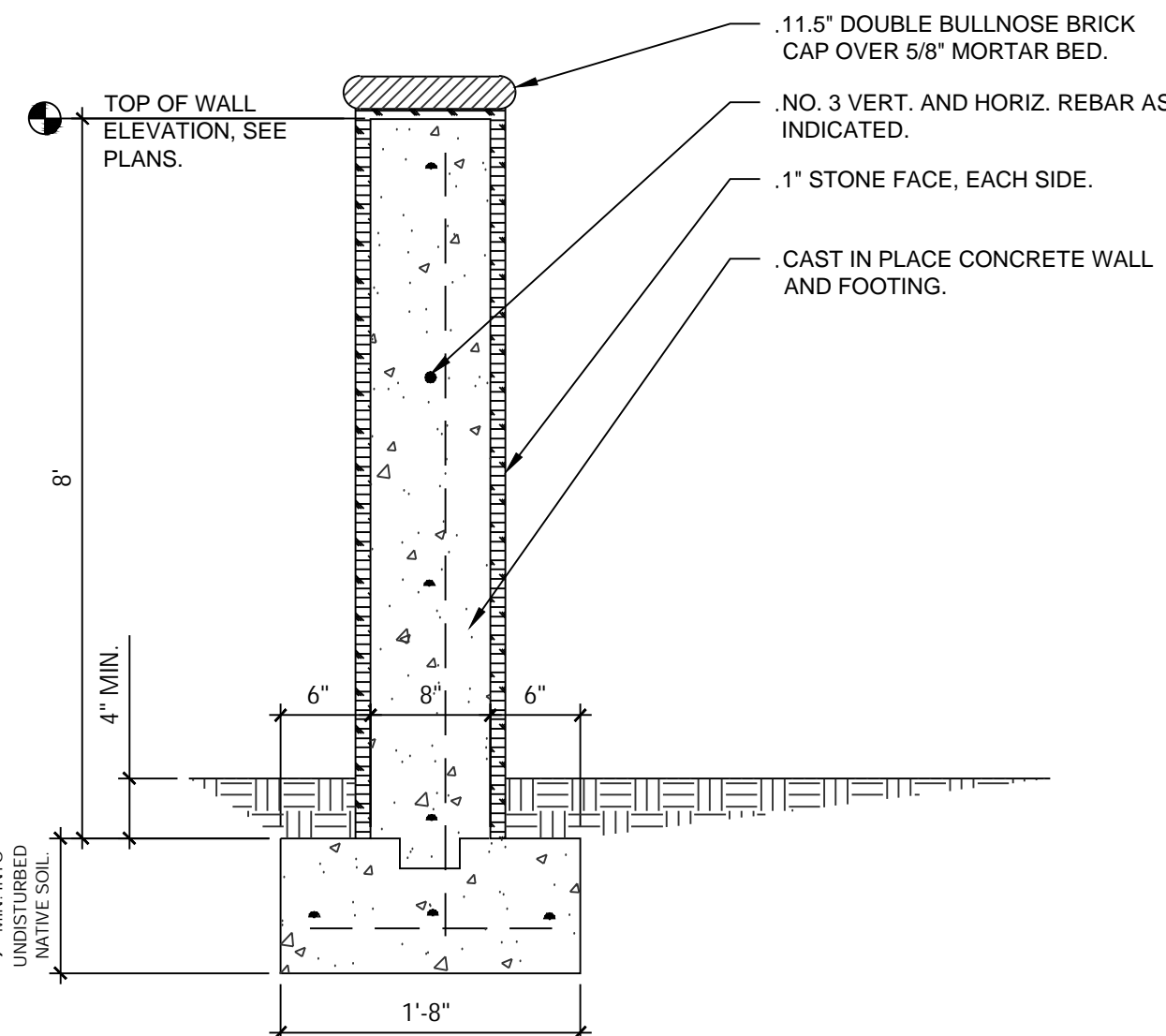
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COLOR: TEXTURED PEWTER
FINISH: STEEL SLATS ARE PROTECTED BY THE PATENTED FUSION ADVANTAGE™ FINISH. THE PLASTISOL COATING HAS AN AVERAGE THICKNESS OF .125" AND IS ENCAPSULATED WITH A RICHLY TINTED, HIGH PERFORMANCE COATING THAT WON'T RUST, FADE, PEEL, CHIP, CRACK, MOLD OR MILDEW.
MATERIAL: 12-GAUGE SLOTTED STEEL WITH A .75" GAP VERTICAL SLOTTED PATTERN. THE CONTOUR TOP IS MADE OF 16-GAUGE GALVANNEAL STEEL.
UNIT WEIGHT: 105 LBS
ASSEMBLY: THE RECEPTACLE SHIPS FULLY ASSEMBLED AND READY FOR USE. USING AN OPTIONAL CORKSCREW ANCHOR MAY REQUIRE SOME ASSEMBLY.
WARRANTY: 20-YEAR LIMITED STRUCTURAL WARRANTY WITH 7-YEAR FINISH WARRANTY FROM THE DATE OF PURCHASE.

7 ANOVA LATITUDE RECEPTACLE

NTS



11 8FT FREE STANDING WALL

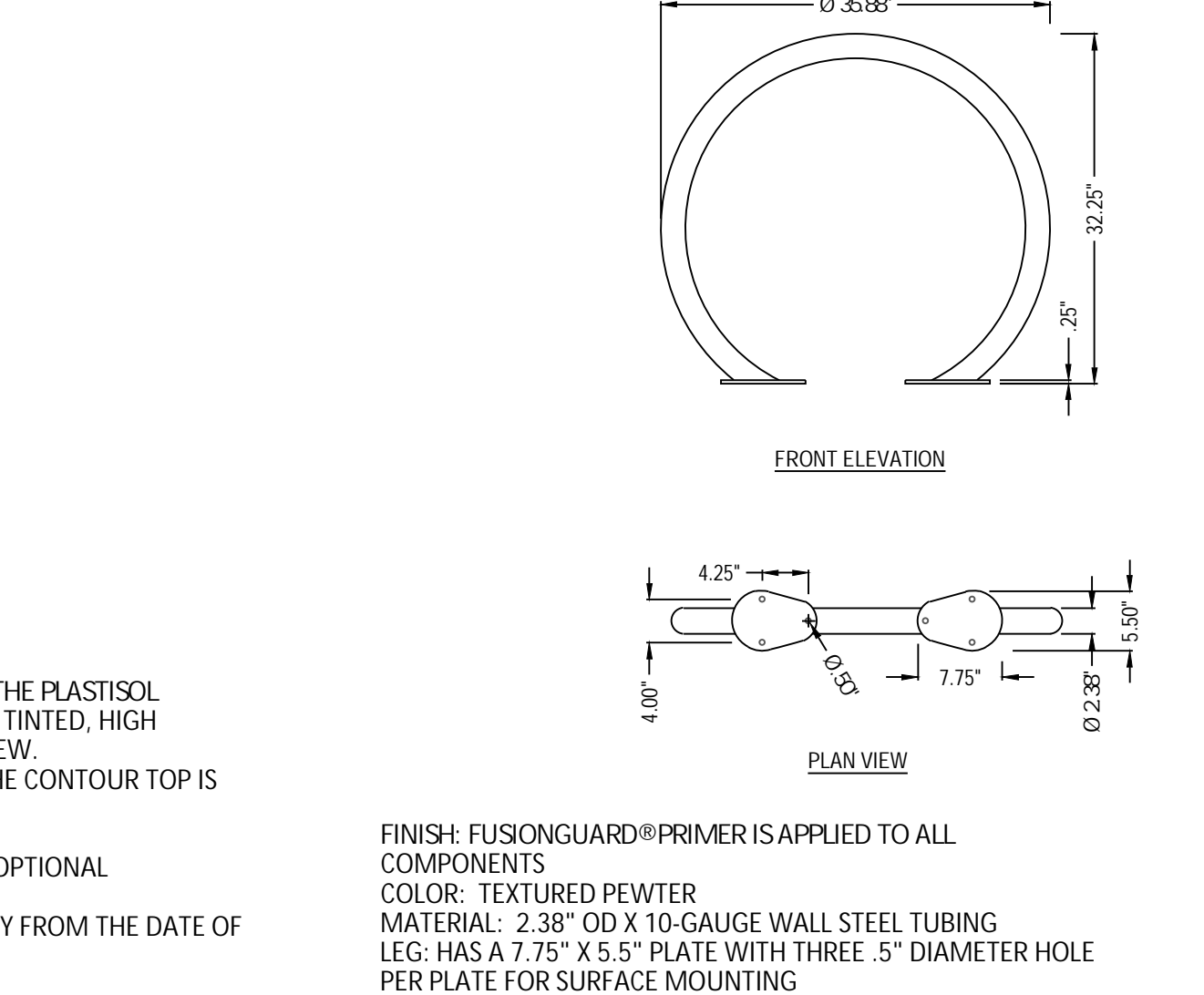
1" = 1'-10"

FX-CO-FX-SWF-01

4 DOG GATE

N.T.S

P-24.011-02



FINISH: FUSIONGUARD®PRIMER IS APPLIED TO ALL COMPONENTS
COLOR: TEXTURED PEWTER
MATERIAL: 2.38" OD X 10-GAUGE WALL STEEL TUBING
LEG: HAS A 7.75" X 5.5" PLATE WITH THREE .5" DIAMETER HOLE PER PLATE FOR SURFACE MOUNTING

8 ANOVA CIRCLE BIKE RACK

N.T.S

LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

	SEED	SHRUB, BROADLEAF	SHRUB/CONIFER
NITROGEN	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
PHOSPHORUS (P205)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
POTASSIUM (K2O)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
SULFUR (S04-S)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
MANGANESE	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF

*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- ROCK MULCH: 3/4" DIAMETER ANGULAR CIMARRON GRANITE. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- WOOD MULCH: CORN LAHAR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN. ROCK BOULDERS UNLESS OTHERWISE SPECIFIED.
- ALL LANDSCAPE BOULDERS SHOWN ON PLAN ARE TO BE 10-12 CUBIC FEET MINIMUM.
- AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL. ANY LANDSCAPING OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS, WHEN READY TO CALL FOR INSPECTION, AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

LANDSCAPE REQUIREMENTS

Landscape Setbacks

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./ Prov.
N Carefree Cir	Principal Arterial	25 / 25	512'	1 / 20'	26 / 13
Peterson Rd	Minor Arterial	20 / 20	512'	1 / 25'	21 / 12
Pony Tracks Dr	Collector	10 / 10	512'	1 / 30'	17 / 17
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided		
130' / per flp	x/x	NC	75% / 75%		
90' / per flp	x/x	PR	75% / 75%		
0' / per flp	x/x	PT	75% / 75%		

Motor Vehicle Lots

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Plant Abbr. on Plan			
249	17 / 17	MV			
*Alternative Adjustment: 1 Motor Vehicle Tree was relocated to the north buffer to avoid conflict with utility lines in the north drive aisle					
2/3 Length of Frontage (ft.)	Length of Screening Wall or Berm Provided	Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Percent Ground Plane Veg. Req. / Prov.	
--	--	-- / --	-- / --	75% / 75%	
--	--	-- / --	-- / --	75% / 75%	

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. Prov.	Linear Footage	Length of 8' Opaque Structure Req./Prov.		
North Buffer	15' / 15'	554.84'	445' / 445'		
Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.		
28 / 44	14 / 40	N	75% / 100%		
*An alternative buffer is required in the northwest corner of the site due to an existing utility and stormwater easement. An increase in shrubs will be provided in this area where a screening wall cannot be provided due to the stormwater line.					

Green Space/Internal Landscaping

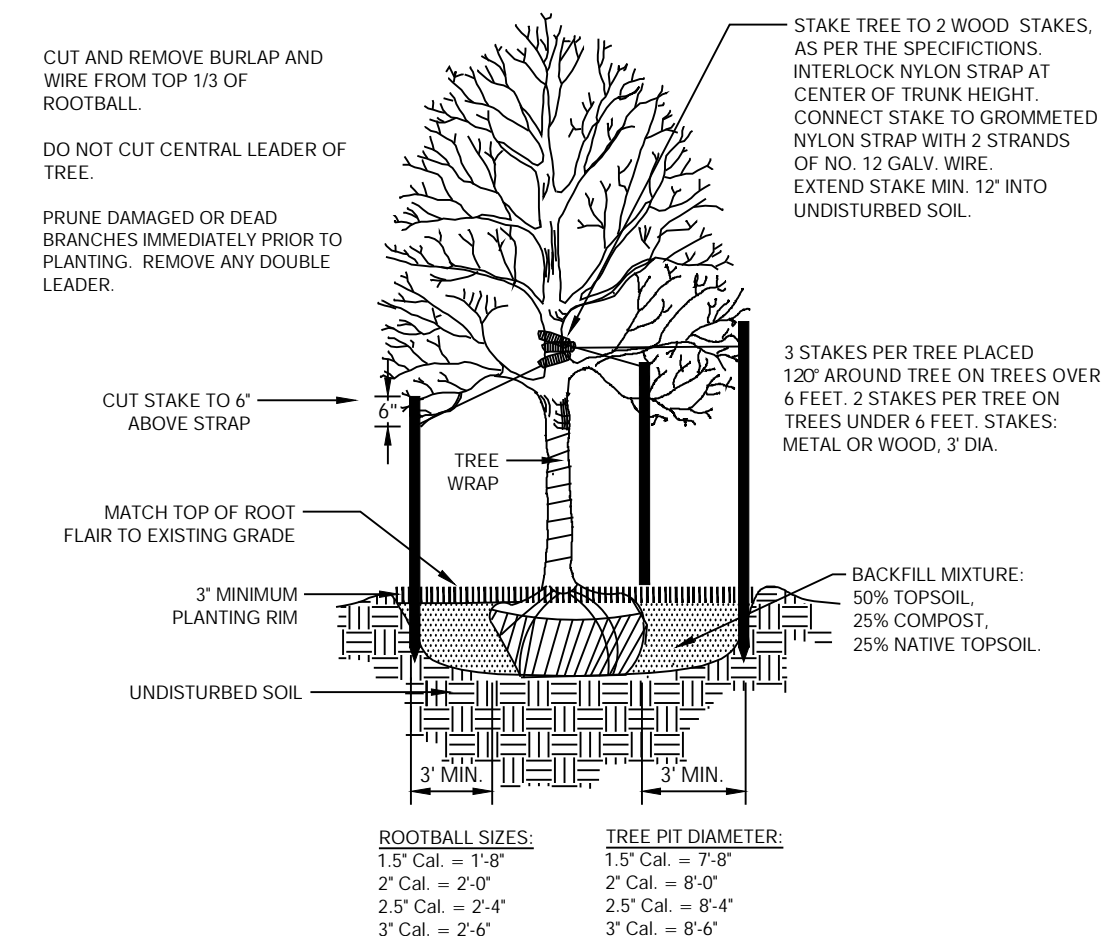
Net Site Area (SF)	Percent Minimum Green Space Area (%)	Green Space Area (SF) Required / Provided	Active Green Space Area (SF) Required / Provided	Non-Active Green Space Area (SF) Required / Provided	
262,965	15%	39,445/ 40,080	26,297 / 26,884	13,148 / 13,196	
Internal Trees (1/500 SF) Required / Provided	Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan		
91/ 51	390/ FLP	0 / 0	IN		

PLANT SCHEDULE

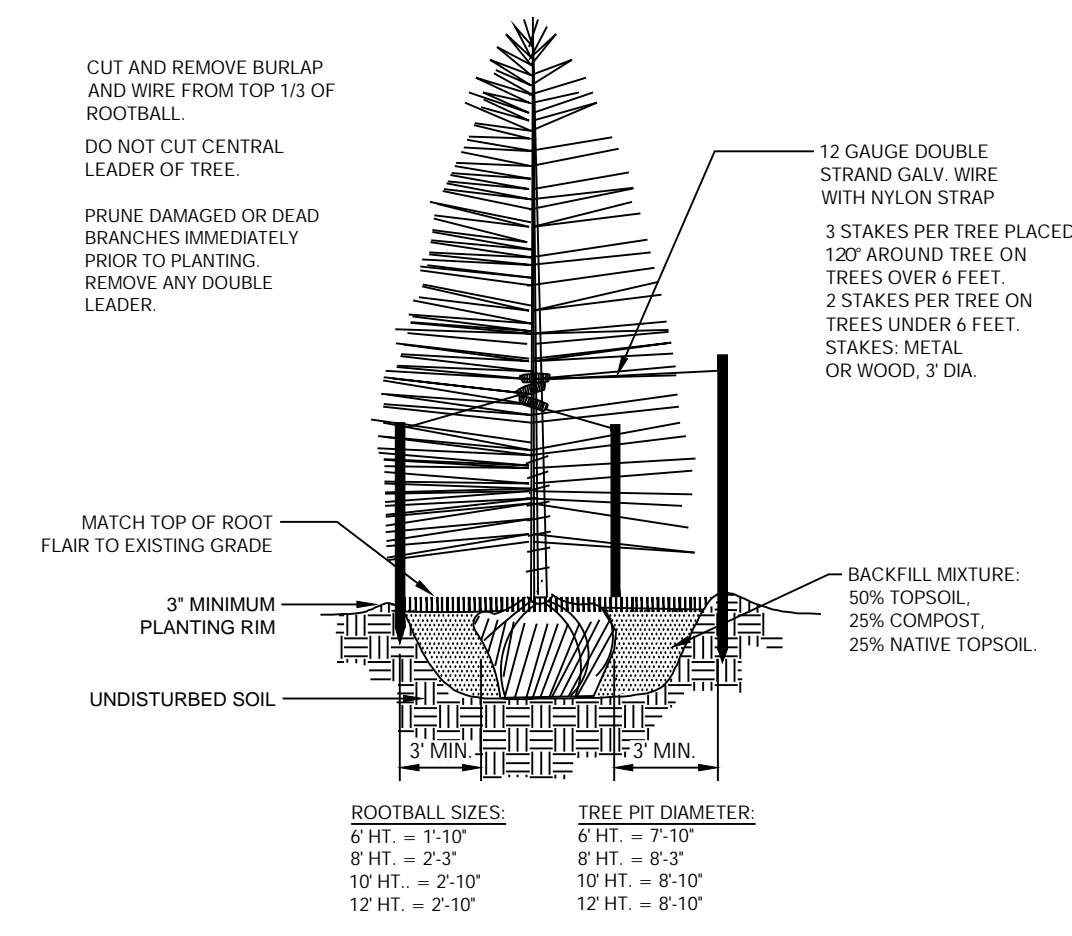
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	CODE REQS
DECIDUOUS TREES								
	Af	5	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple	50'	25'	8' HT	B&B	Park/ROW
	Ct	5	Corylus colurna / Turkish Filbert	30'	20'	8' HT	B&B	Park/ROW/Median
	Qs	20	Quercus robur 'Fastigiata' / Skyrocket® English Oak	50'	15'	8' HT	B&B	Park/ROW/Median
	Tc	5	Tilia cordata / Littleleaf Linden	30'	20'	8' HT	B&B	ROW
EVERGREEN TREES								
	Jm	41	Juniperus monosperma /oneseed Juniper	15'	10'	8' HT	B&B	Screen/Wall/Trash
	Je	21	Juniperus virginiana / Eastern Redcedar	20'	18'	8' HT	B&B	Screen/Wall/Trash
	Ph	11	Pinus heldreichii / Bosnian Pine	25'	15'	8' HT	B&B	Screen/Wall/Trash
ORNAMENTAL TREES								
	Ac	18	Amelanchier canadensis / Canadian Serviceberry	15'	15'	8' HT	B&B	STREAM
	Cc	10	Cercis canadensis / Eastern Redbud	20'	20'	8' HT	B&B	ROW
	Pc	18	Pyrus calleryana / Callery Pear	15'	15'	8' HT	B&B	ROW
EVERGREEN SHRUBS								
	Ee	17	Ephedra equisetina / Bluestem Joint Fir	4'	8'	5 GAL	CONT	Wall/Screen/Trash
	Jb	23	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	12'	2.5'	5 GAL	CONT	Wall/Screen/Trash

GROUND COVER LEGEND

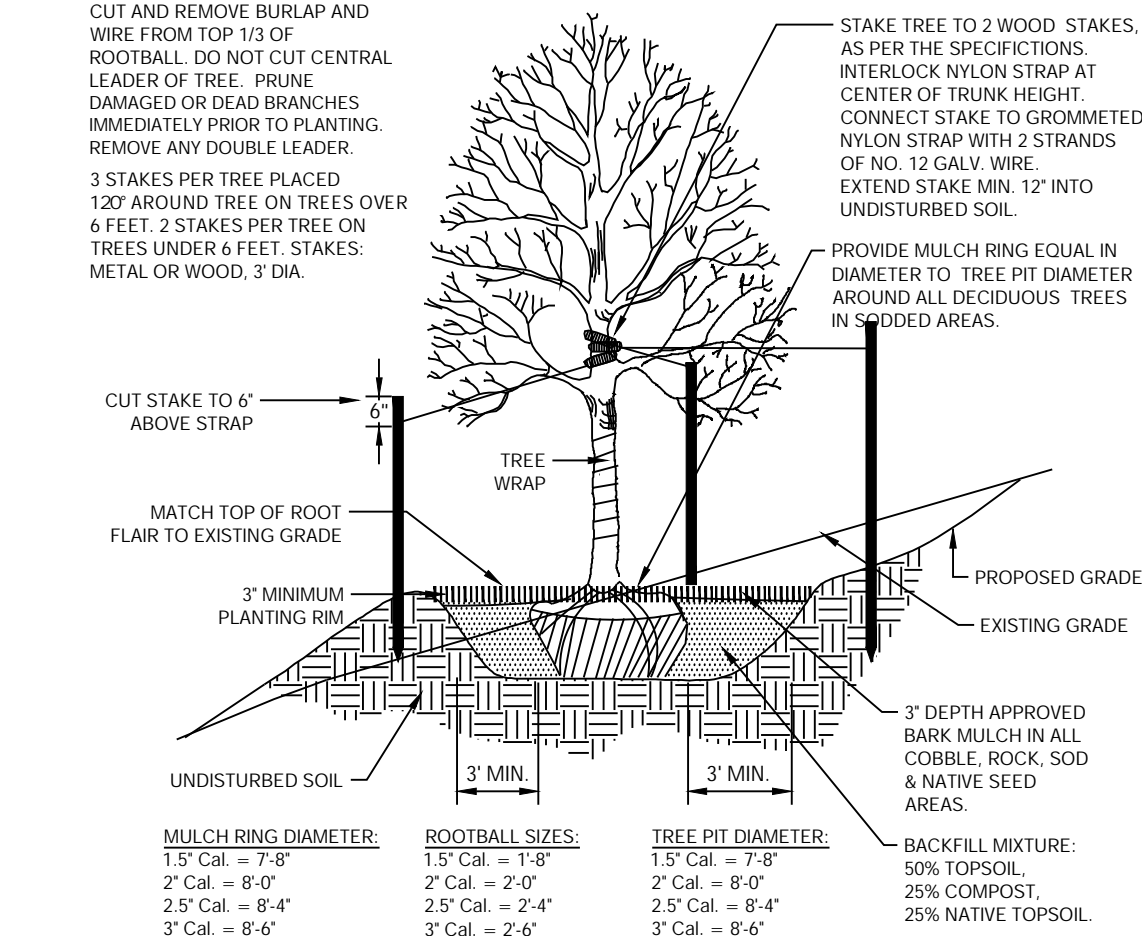
	SOD Kentucky Bluegrass Blend	4,119 sf
	SHRUB BED Cedar Mulch	8,101 sf
	ROCK COBBLE 1 1/2" Black Granite	44,818 sf
	NATIVE SEED MIX El Paso County Low Grow Seed Mix	50,664 sf
	ARTIFICIAL TURF	2,696 sf
	BREEZE Cimarron Breeze	2,243 sf
	GREEN INFRASTRUCTURE AREA Planned Infiltration Area (PIA)	



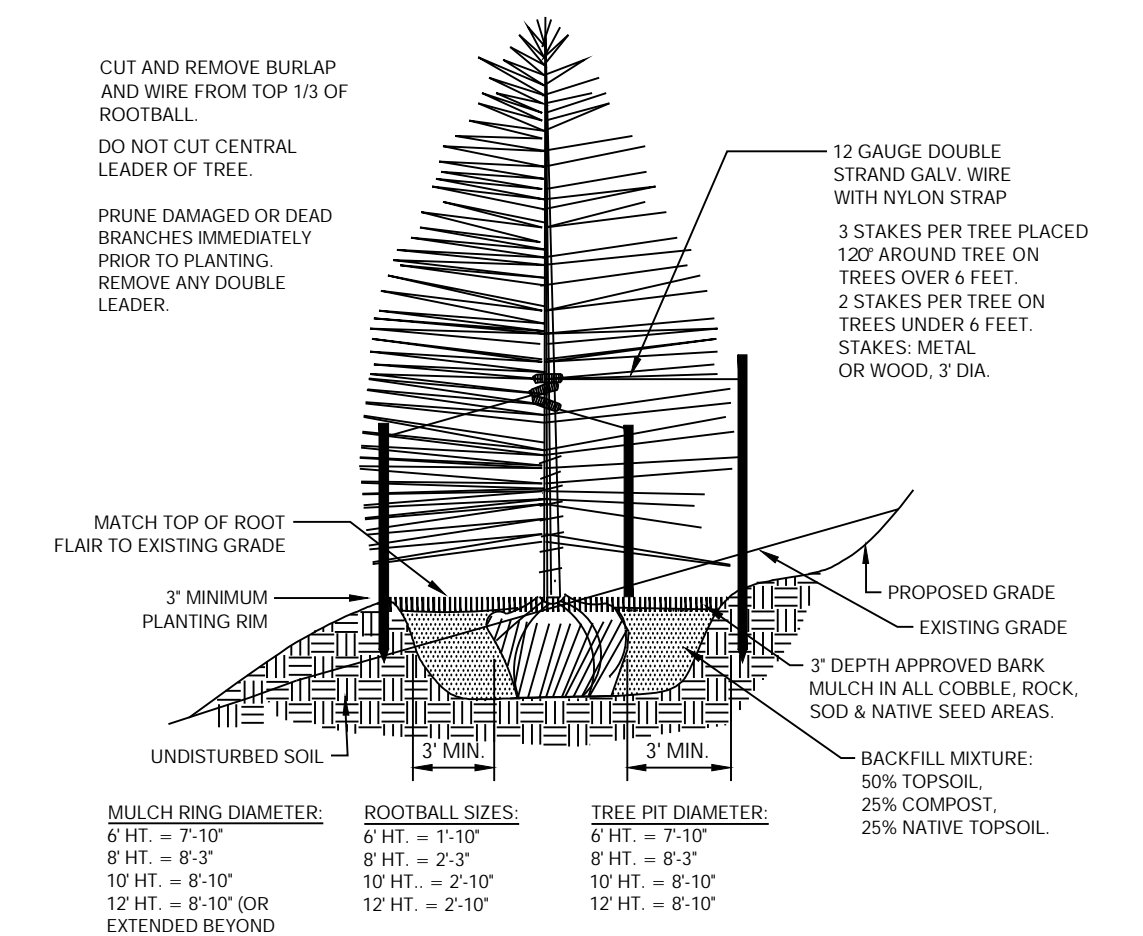
1 DECIDUOUS TREE PLANTING DETAIL
N.T.S. P-WA-20



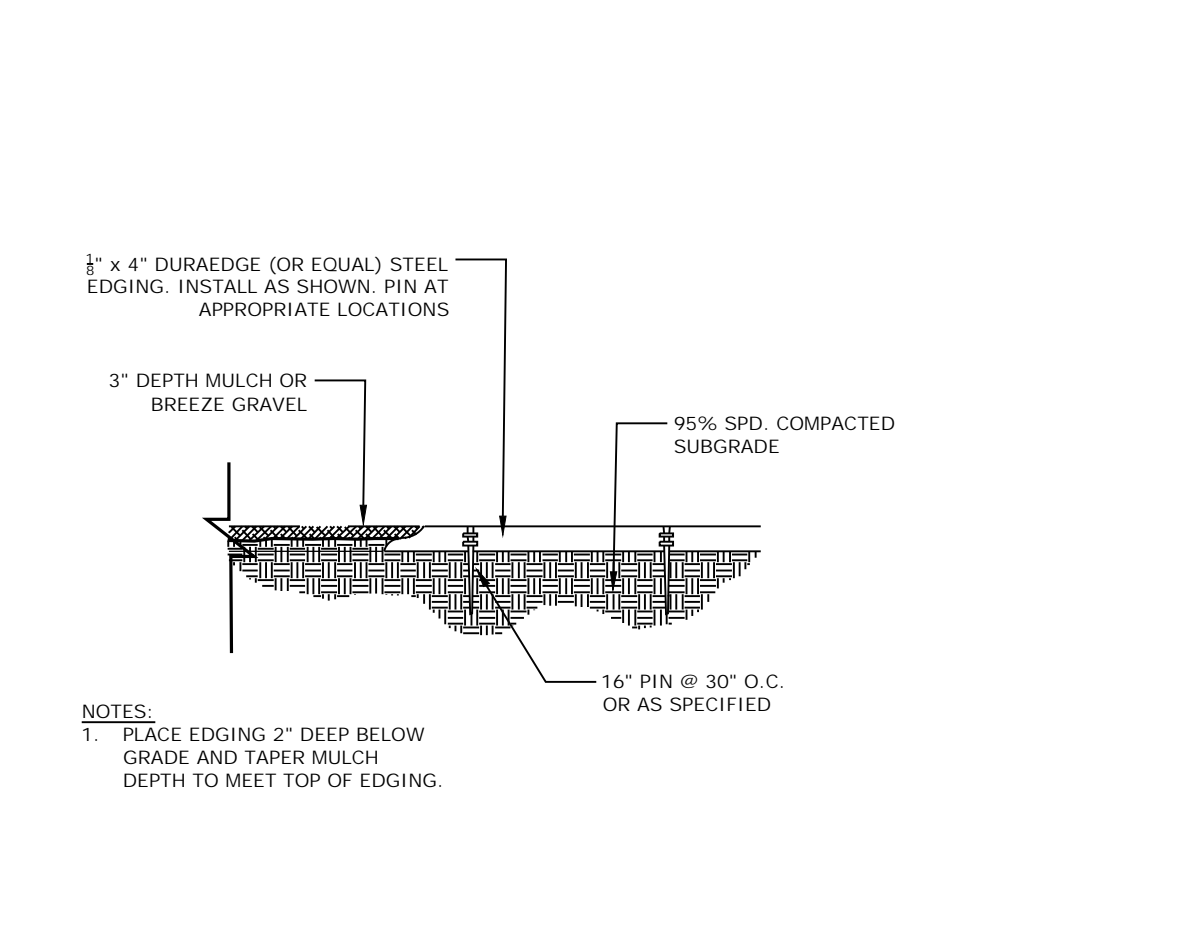
2 CONIFEROUS TREE PLANTING DETAIL
N.T.S. P-WA-21



3 DECIDUOUS TREE PLACEMENT ON SLOPE
N.T.S. 329343-05



4 CONIFEROUS TREE PLACEMENT ON SLOPE
N.T.S. 329343-06



5 STEEL EDGING
N.T.S. 329343-09



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FLATS AT
SAND CREEK

COLORADO SPRINGS

DATE: 11.22.2024
PROJECT MGR: B.SWENSON
PREPARED BY: Y.LIU



PRELIMINARY
LANDSCAPE
PLAN

DATE	BY	DESCRIPTION
10.22.24	YL	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

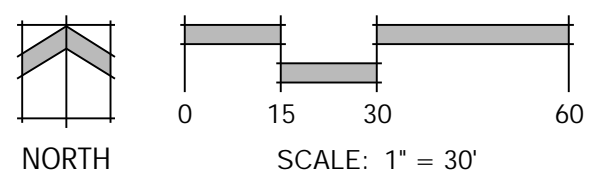
Preliminary Landscape
Details & Notes



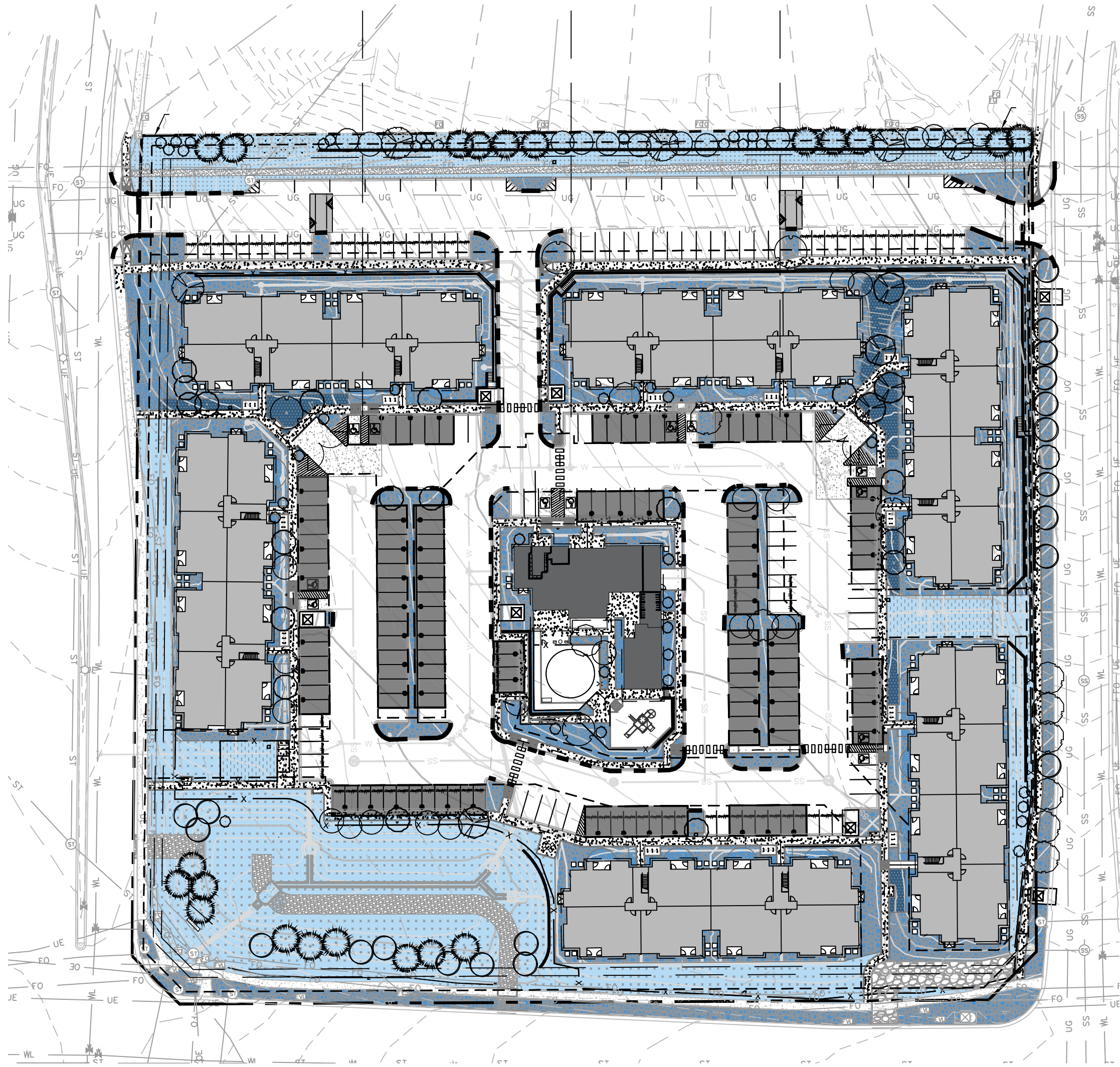
COLORADO SPRINGS

24-2025
8:52 PM
Justin Cooper

EPN-24-0133



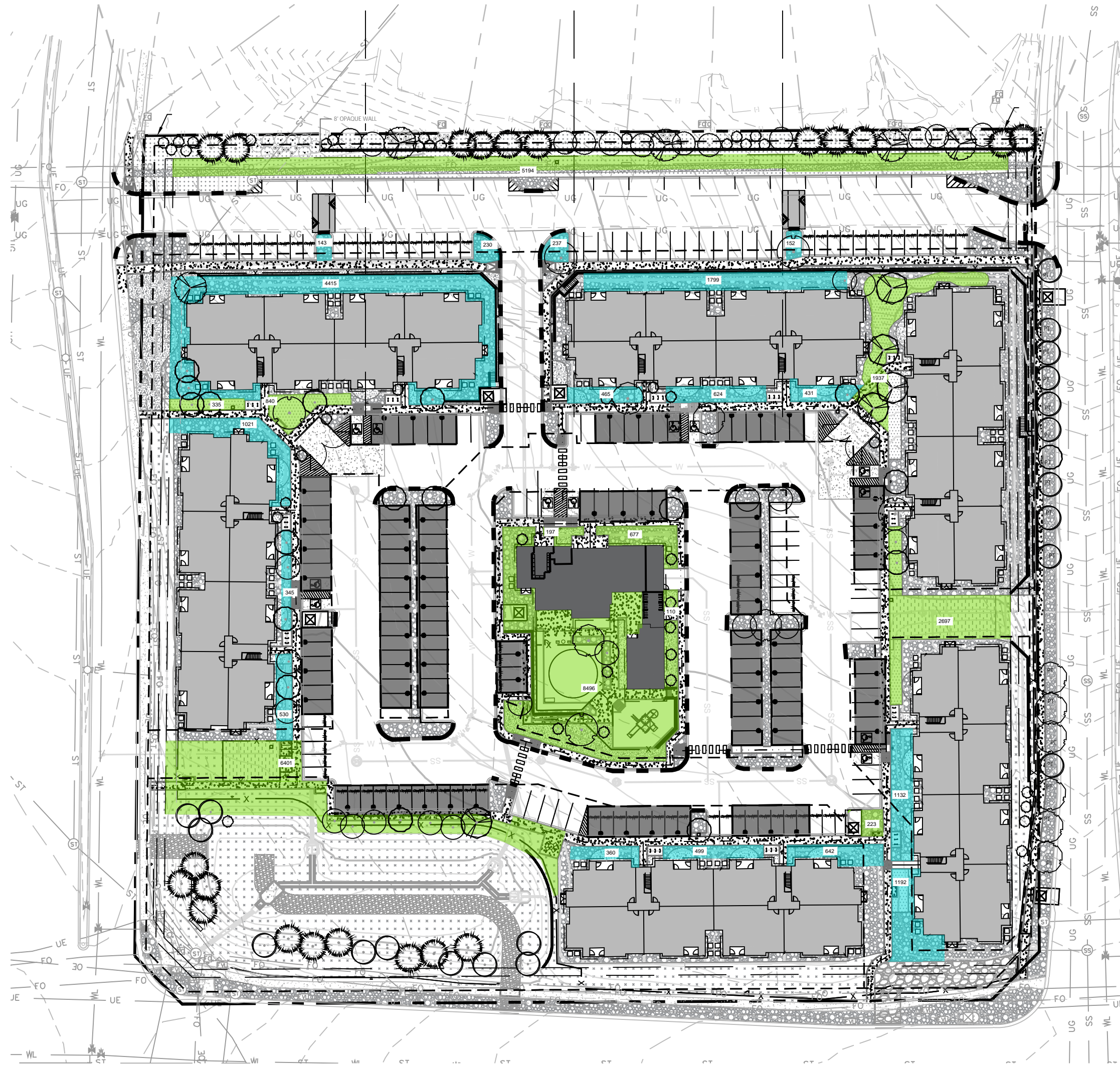
HYDROZONE DIAGRAM



HYDROZONES

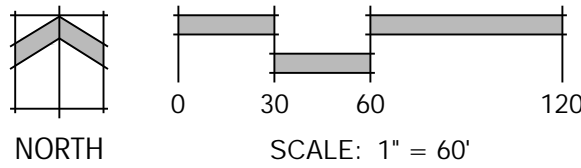
<div></div> HIGH WATER USE (H) -	4%/4,119 sf	<div></div> SOD Kentucky Bluegrass Blend	4,119 sf
<div></div> MEDIUM WATER USE (M) -	48%/52,919 sf	<div></div> SHRUB BED Cedar Mulch	8,101 sf
<div></div> LOW WATER USE (L) -	48%/53,360 sf	<div></div> ROCK COBBLE 1 1/2" Black Granite	44,818 sf
TOTAL AREA OF WATER USE -		<div></div> NATIVE SEED MIX El Paso County Low Grow Seed Mix	50,664 sf
		<div></div> ARTIFICIAL TURF	2,696 sf
		<div></div> BREEZE Cimarron Breeze	2,280 sf

OPEN SPACE DIAGRAM



GREEN SPACE

	REQUIRED	PROVIDED
<div></div> ACTIVE GREEN SPACE -	26,297 sf (10%)	26,884 sf (10%)
<div></div> NON-ACTIVE GREEN SPACE -	13,148 sf (5%)	13,196 sf (5%)



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FLATS AT
SAND CREEK

COLORADO SPRINGS

DATE: 11.22.2024
PROJECT MGR: B. SWENSON
PREPARED BY: Y. LIU



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

PRELIMINARY
LANDSCAPE
PLAN

DATE:	BY:	DESCRIPTION:
10.22.24	YL	PER CITY COMMENTS
11.25.24	YL	PER CITY COMMENTS
12.26.24	YL	PER CITY COMMENTS
01.21.25	YL	PER CITY COMMENTS
02.13.25	YL	PER CITY COMMENTS

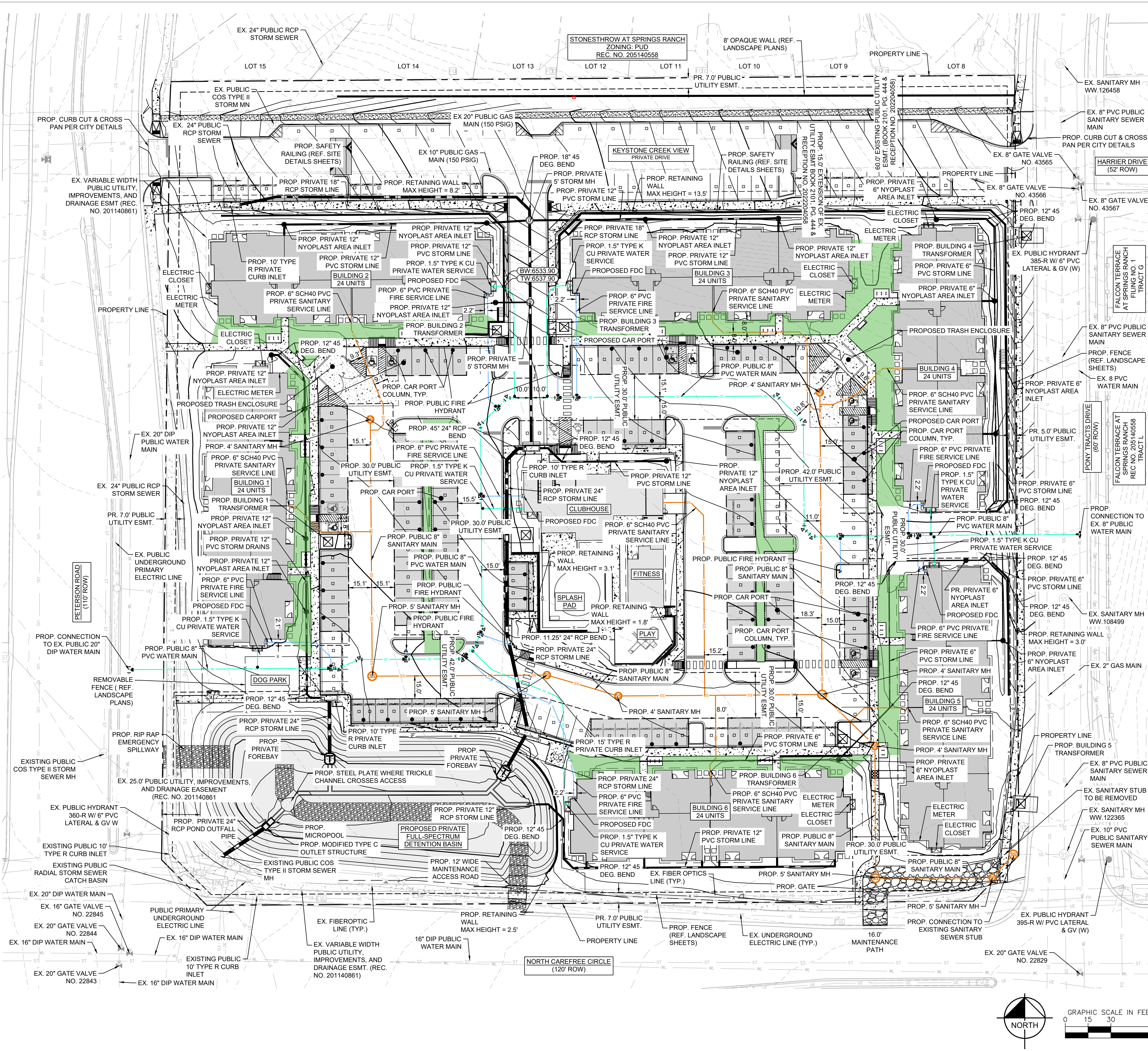
LANDSCAPE DIAGRAMS

6

6 OF 14

DEPN-24-0133

K:\CDS - CIVIL\2025\0010 - Preliminary Utility Plans - 21/12/2025 2:03:40 PM - maina.janger



LEGEND

	PROPERTY LINE
	PARCEL LINE
	EASEMENT LINE
	PROPOSED WATER LINE AND VALVE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND FIBER OPTICS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING SANITARY SEWER LINE & MH
	EXISTING WATER LINE
	EXISTING STORM LINE & MH
	PLANNED INFILTRATION AREAS (PIA)

PRELIMINARY UTILITY NOTES

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKE'S PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE THE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

GENERAL NOTES

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
- UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- CONTRACTOR SHALL VERIFY LOCATION AND ALIGNMENT OF EXISTING UNDERGROUND FIBER OPTIC AND COAX LINES ALONG NORTH SIDE OF THE SITE PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF RECORD IF DISCREPANCIES EXIST.
- A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.



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2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 11.27.2024
PROJECT MGR: NMB
PREPARED BY: MEL

COLORADO SPRINGS
OLYMPIC CITY USA
Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

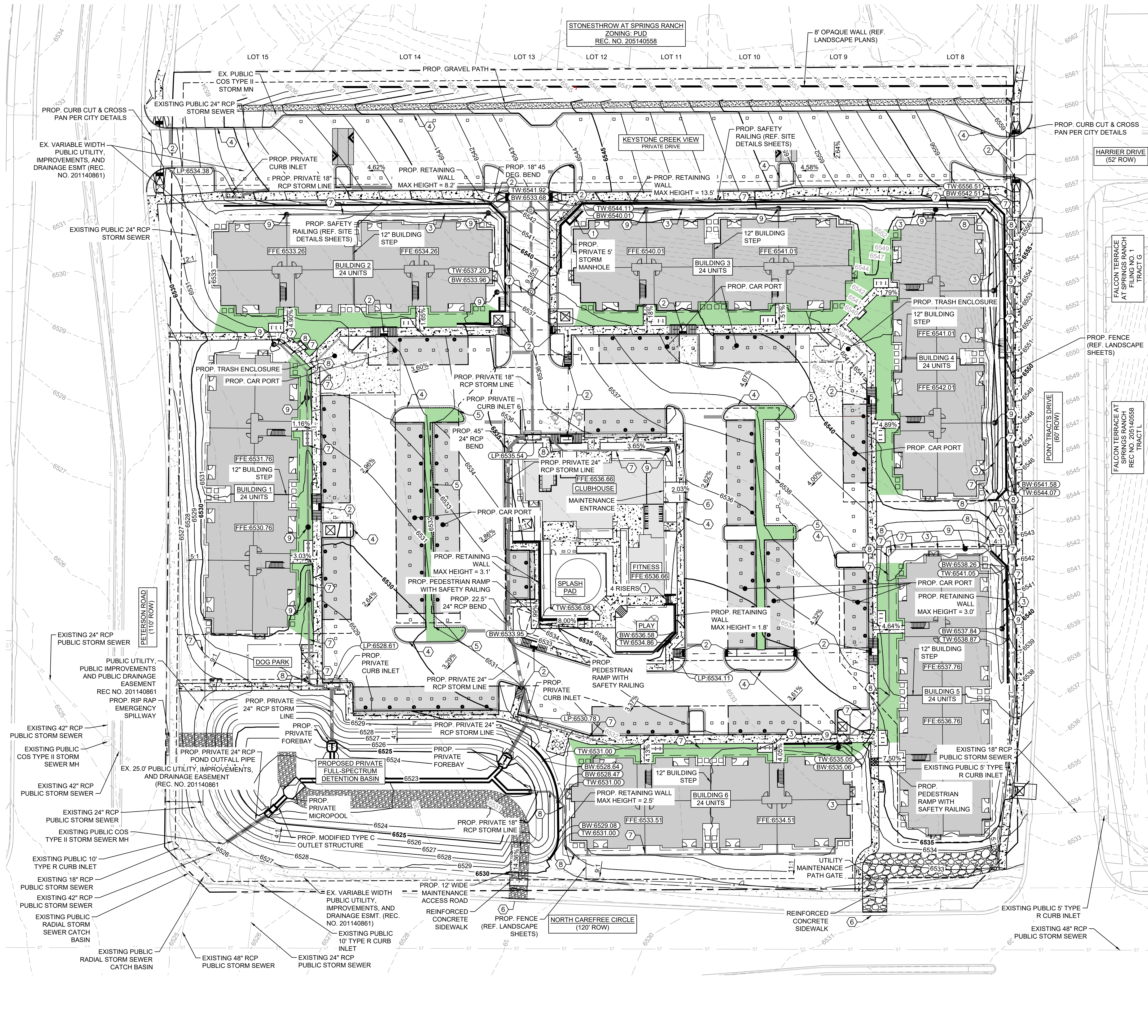
DATE: BY: DESCRIPTION:

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

7

7 OF 14

K:\CDS_Civil\20250808_Peterson and Carefree NP CAD\PlanSheets\CDP_DP_GD.dwg (S PRELIMINARY GRADING PLAN) 2/13/2025 2:04:00 PM Noah Brenner



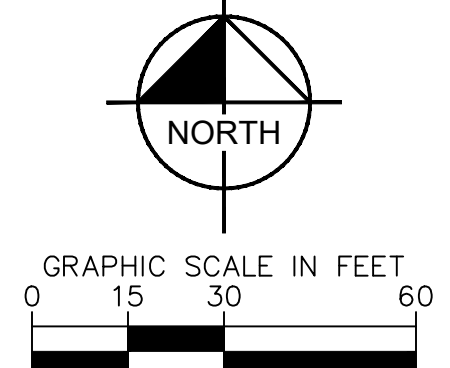
LEGEND

---	PROPERTY LINE
---	PARCEL LINE
---	EASEMENT LINE
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND FIBER OPTICS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING SANITARY SEWER LINE & MH
---	EXISTING WATER LINE
---	EXISTING STORM LINE & MH
---	PROPOSED STORM LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED ACCESSIBLE ROUTE
---	FINISH FLOOR ELEVATION
---	TOP OF WALL
---	BOTTOM OF WALL
---	LOW POINT
---	PLANNED INFILTRATION AREAS (PIA)

- KEYNOTE LEGEND**
- 1 PROPOSED STAIRS WITH 7" RISERS & RAILING (NUMBER PER PLAN)
 - 2 PROPOSED RAMPS (TYPE PER SITE PLAN)
 - 3 PROPOSED V-SHAPED GRASS LINE SWALE
 - 4 PROPOSED TYPE 2 CURB & GUTTER
 - 5 PROPOSED FLUSH CURB
 - 6 PROPOSED TYPE 5 CURB & GUTTER (MOUNTABLE) WITH TRANSITION
 - 7 PROPOSED PRIVATE 12" PVC STORM LINE ROOF DRAIN
 - 8 PROPOSED 45 DEGREE BEND IN PRIVATE STORM LINE
 - 9 PROPOSED PRIVATE AREA INLET

GENERAL NOTES

- DETAILED GRADING SHALL BE PER THE APPROVED CIVIL CONSTRUCTION DOCUMENTS.
- ALL GRADING SHALL BE PER CITY OF COLORADO SPRINGS STANDARD DETAILS AND SPECIFICATIONS.
- THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.
- DUE TO THE CLOSE PROXIMITY OF THE RETAINING WALL TO PUBLIC RIGHT-OF-WAY (ROW) AND THE POTENTIAL OF POSSIBLE DAMAGE TO INFRASTRUCTURE OR PERSONNEL INJURY, THE PROPERTY OWNER, DEVELOPER OR ENTITY RESPONSIBLE FOR MAINTAINING THE RETAINING WALL, WILL BE REQUIRED TO ENTER INTO A RETAINING WALL MAINTENANCE AGREEMENT PRIOR TO A FINAL INSPECTION ACCEPTANCE FROM CITY ENGINEERING IS ISSUED FOR THE RETAINING WALL.



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www.nescolorado.com
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IN ASSOCIATION WITH

FLATS AT SAND CREEK

COLORADO SPRINGS

PROJECT INFO
DATE: 11.27.2024
PROJECT MGR: NMB
PREPARED BY: MEL

Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

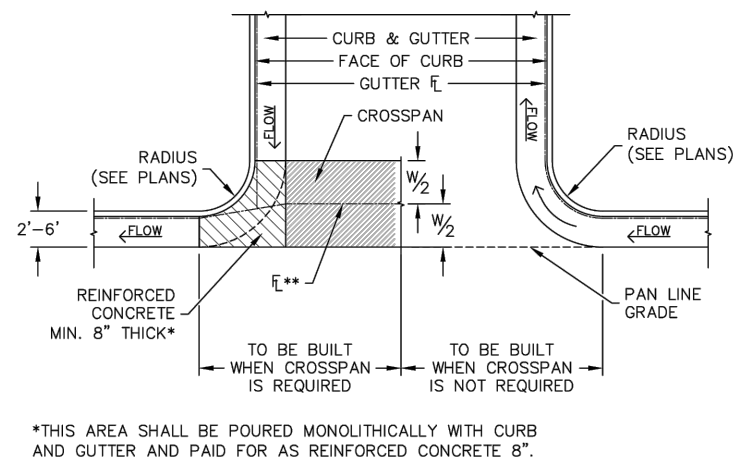
DATE:	BY:	DESCRIPTION:

PRELIMINARY GRADING PLAN

8

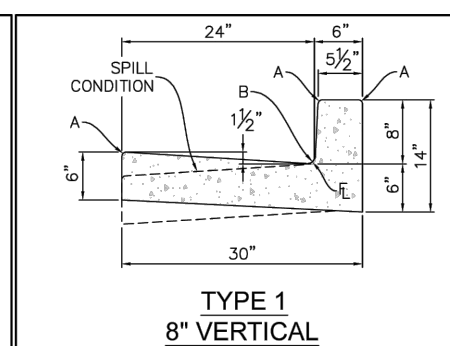
8 OF 14

- GENERAL NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, FOR CITY PERMITS CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
 3. PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS, AND USE A CITY APPROVED CONCRETE MIX.
 4. 1-INCH DEEP TOOL JOINTS SHALL BE INSTALLED AT 10-FOOT SPACING.
 5. A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW SHALL BE APPLIED TO ALL GUTTER PANS.
 6. THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE A MINIMUM EVERY 10'-FEET OR FRACTION THEREOF ON FRONT FACE OF CURB.
 7. NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
 8. ALL CURB TRANSITIONS (ONE TYPE TO ANOTHER) WILL BE 10-FOOT UNLESS OTHERWISE NOTED.
 9. CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
 10. WHITE CURB SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.
 11. GUTTER W/OUT SLOPES AT CURB CUTS FOR CURB RAMPS SHALL BE LESS THAN 5% AND BE A.D.A. COMPLIANT (SEE CURB RAMP DETAILS).
 12. CURB ENDINGS SHALL BE PLACED WHERE CURB AND GUTTER DEAD-ENDS.
 13. CURB CUTS FOR DRIVEWAYS ARE SHOWN ON THE DRIVEWAY DETAILS.

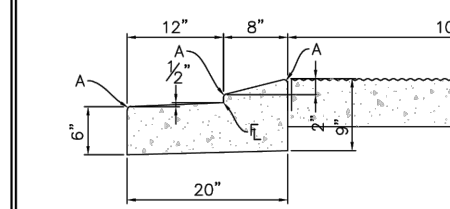


CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION

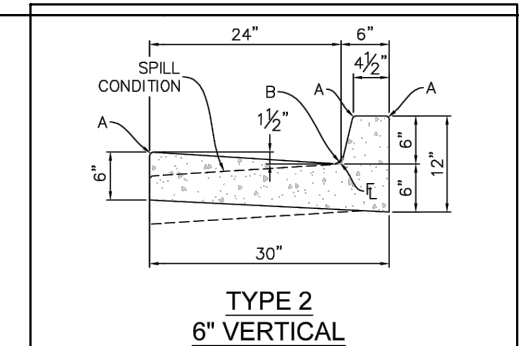
CURB & GUTTER GENERAL NOTES & DETAILS
APPROVED: <i>Jaime Stewardant</i>
CITY ENGINEER
DESIGNED: 3/28/2019
REVIEWED: 3/28/2019
DRAWING NO. 8-A



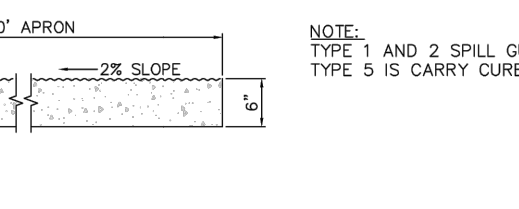
TYPE 1 8' VERTICAL



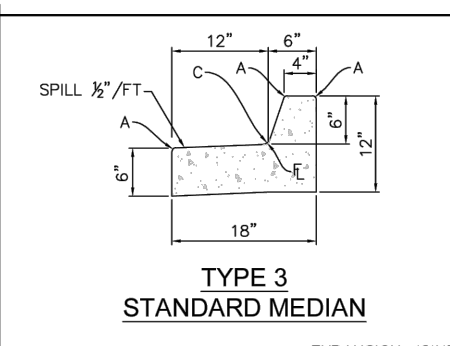
TYPE 4 MOUNTABLE



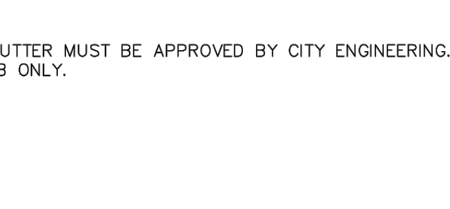
TYPE 2 6' VERTICAL



TYPE 5 RESIDENTIAL CURB & GUTTER ONLY



TYPE 3 STANDARD MEDIAN

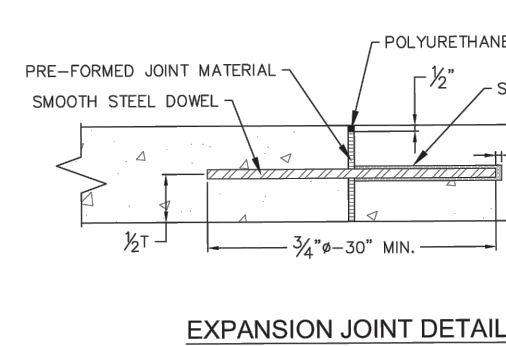


CURB ENDING

RADI LEGEND
A 1/2"-6"
B 1/2"
C 1/2"-2"

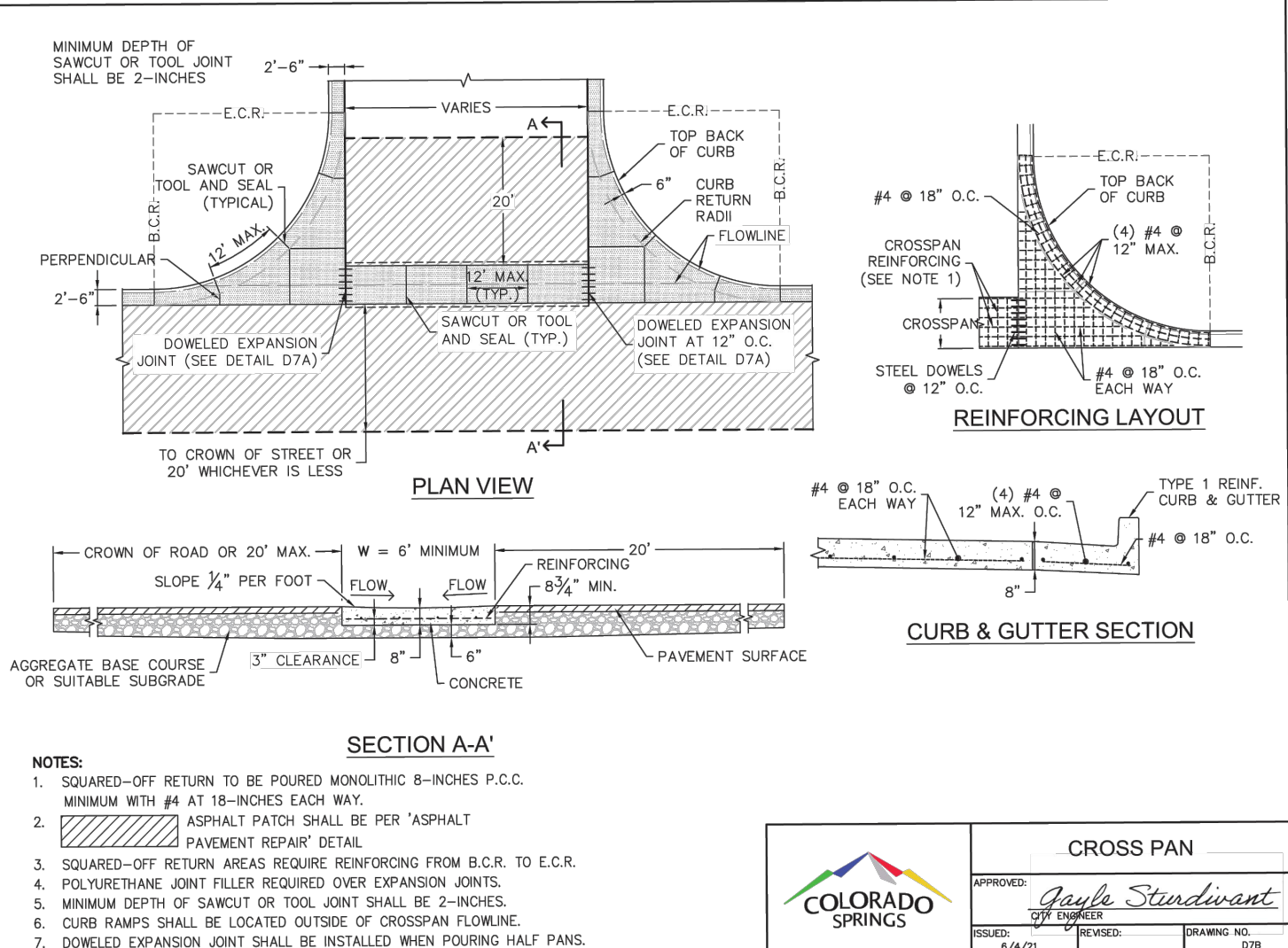
CURB & GUTTER DETAILS
APPROVED: <i>Jaime Stewardant</i>
CITY ENGINEER
DESIGNED: 3/28/2019
REVIEWED: 3/28/2019
DRAWING NO. 8-B

- GENERAL NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, FOR CITY PERMITS CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
 3. CONTACT CITY PARKS PRIOR TO STARTING WORK IF IT IS NECESSARY TO DISTURB MEDIAN LANDSCAPING OR WORK IS ADJACENT TO AN EXISTING PARK.
 4. CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
 5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AND BE A CITY APPROVED CONCRETE MIX DESIGN.
 6. A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW, SHALL BE APPLIED TO ALL GUTTER AND CROSS PANS.
 7. PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
 8. NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS. WHERE PATCHING IN AN EXISTING ROADWAY, PATCHING SHALL BE IN ACCORDANCE WITH ASPHALT REPAIR DRAWINGS.
 9. THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE ON FRONT FACE OF CURB.
 10. WHITE CURB SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.



EXPANSION JOINT DETAIL

CROSS PAN NOTES
APPROVED: <i>Jaime Stewardant</i>
CITY ENGINEER
DESIGNED: 3/28/2019
REVIEWED: 3/28/2019
DRAWING NO. 8-C



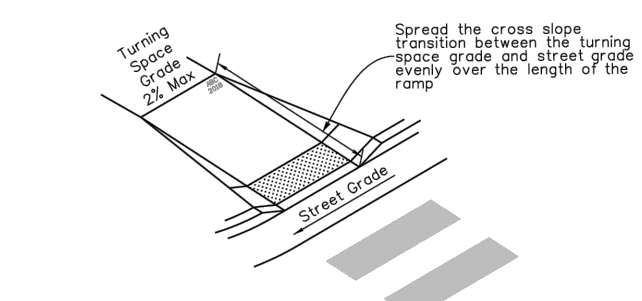
SECTION A-A'

- NOTES:**
1. SQUARED-OFF RETURN TO BE FORMED MONOLITHIC 8-INCHES P.C.C.
 2. MINIMUM WITH #4 AT 18-INCHES EACH WAY.
 3. ASPHALT PATCH SHALL BE PER 'ASPHALT'.
 4. PAVEMENT REPAIR DETAIL.
 5. SQUARED-OFF RETURN AREAS REQUIRE REINFORCING FROM B.C.R. TO E.C.R.
 6. POLYURETHANE JOINT FILLER REQUIRED OVER EXPANSION JOINTS.
 7. MINIMUM DEPTH OF SAWCUT OR TOOL JOINT SHALL BE 2-INCHES.
 8. CURB RAMPS SHALL BE LOCATED OUTSIDE OF CROSSSPAN FLOWLINE.
 9. DOVELED EXPANSION JOINT SHALL BE INSTALLED WHEN POURING HALF PANS.

CROSS PAN
APPROVED: <i>Jaime Stewardant</i>
CITY ENGINEER
DESIGNED: 3/28/2019
REVIEWED: 3/28/2019
DRAWING NO. 8-D

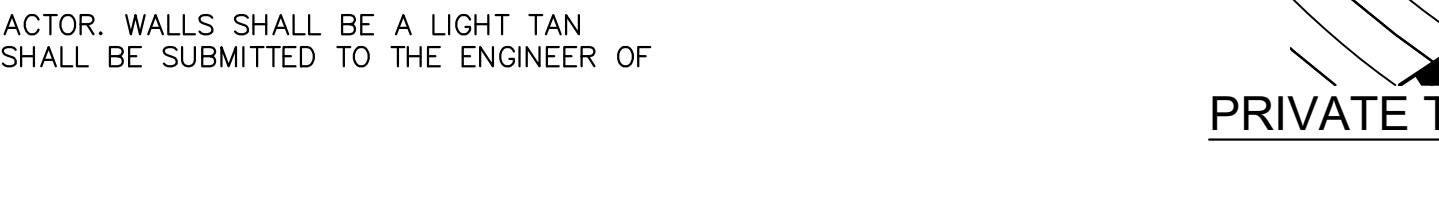
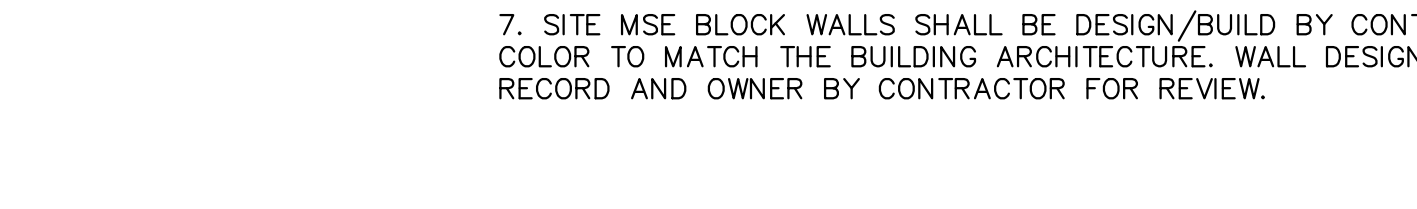
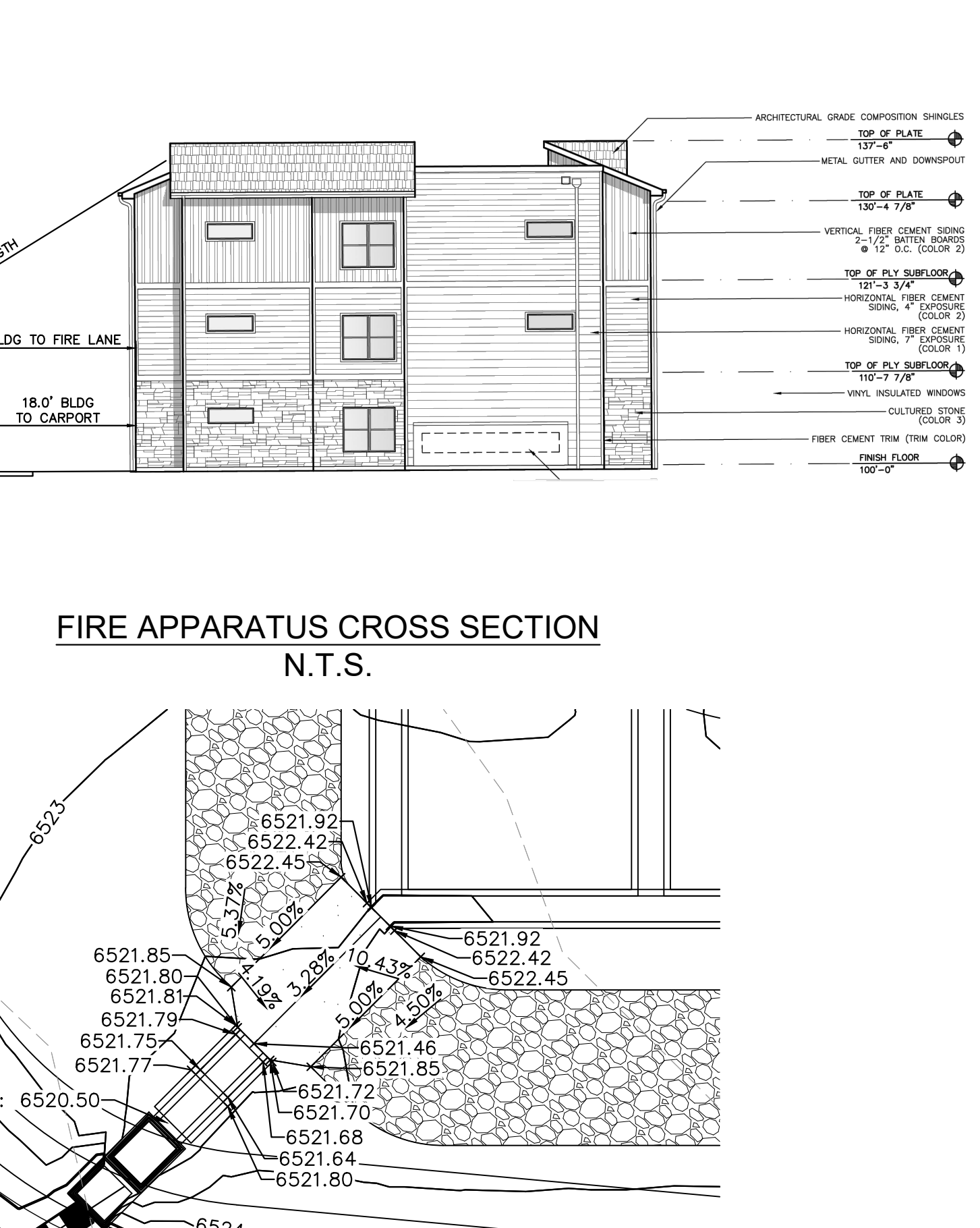
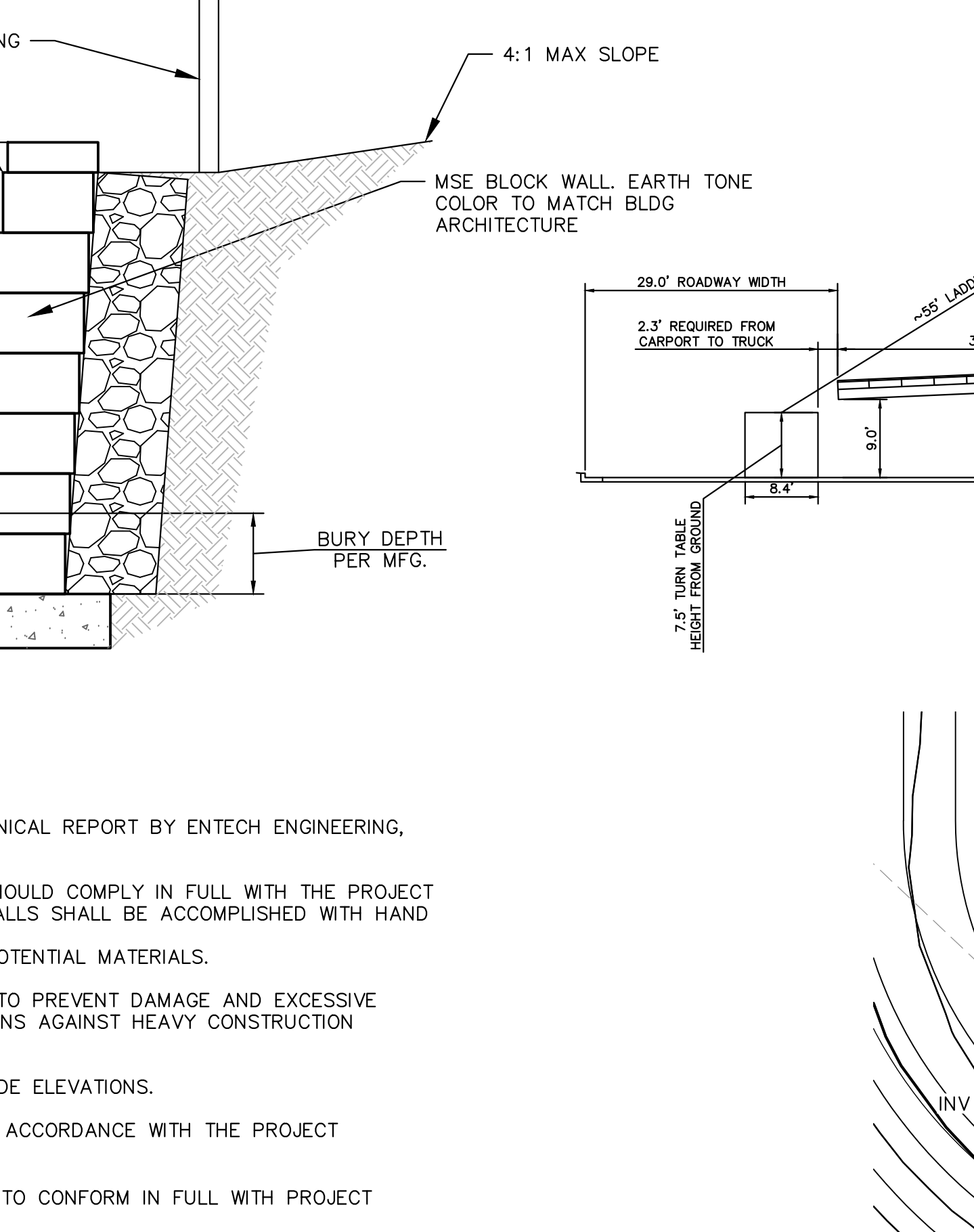
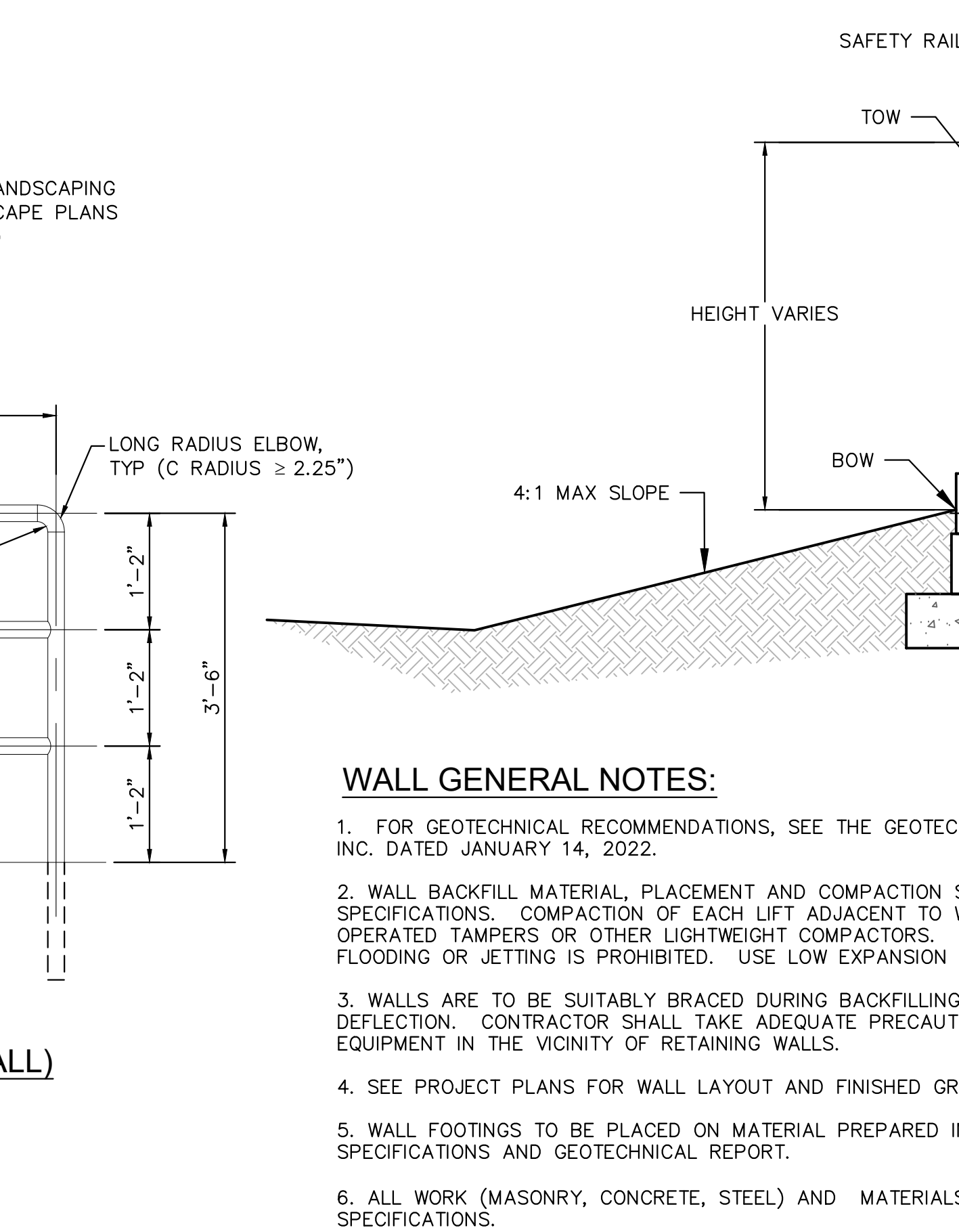
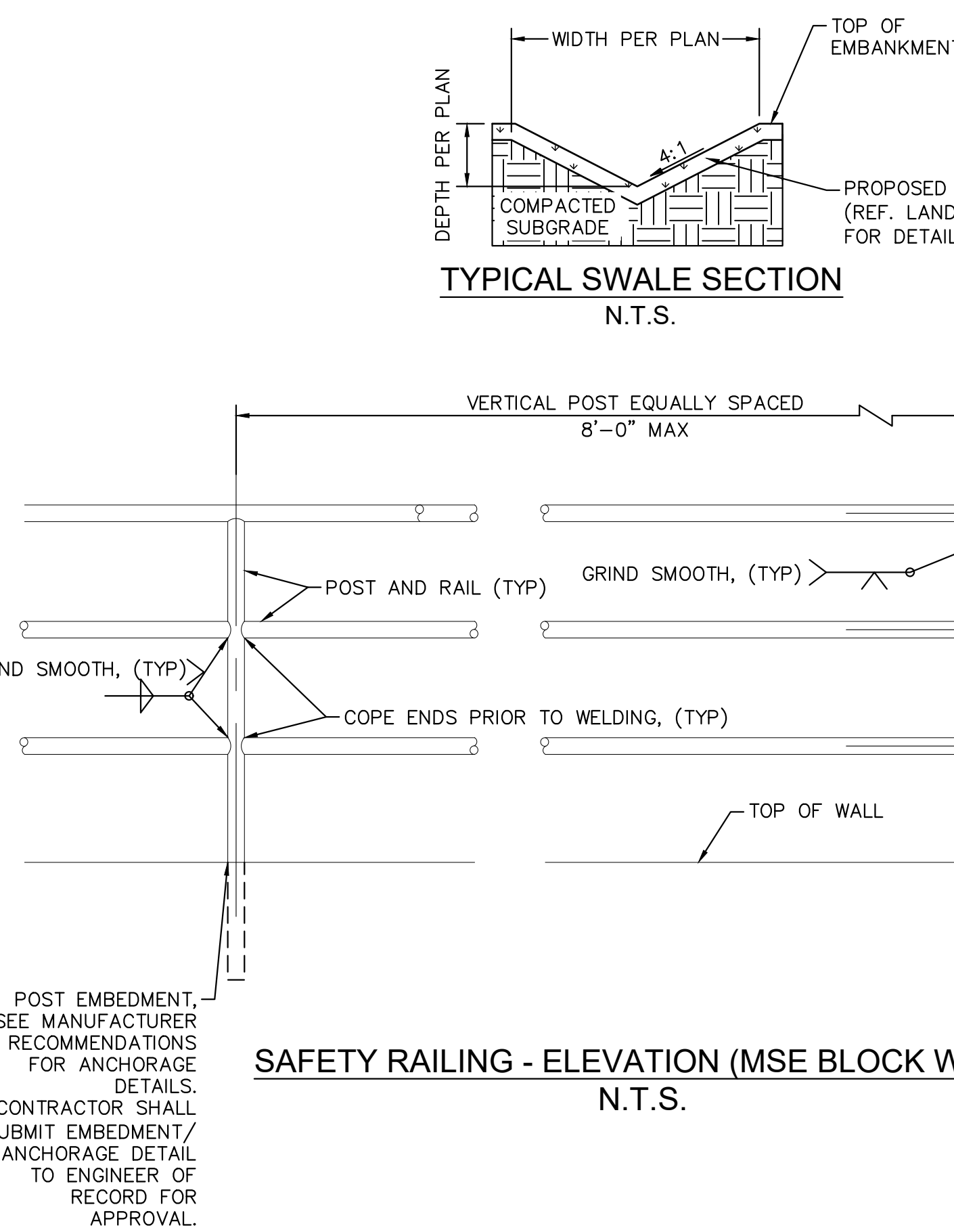
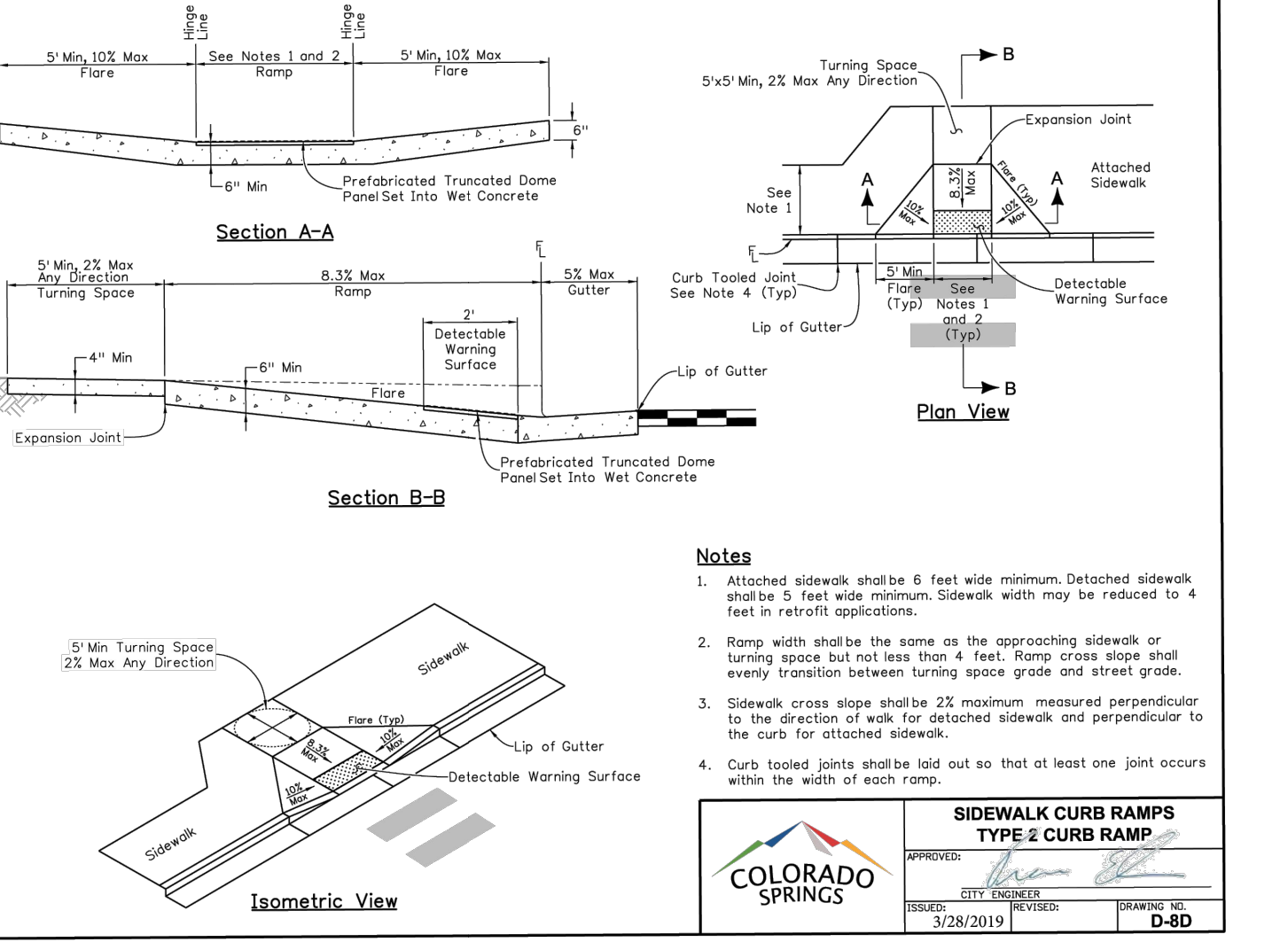
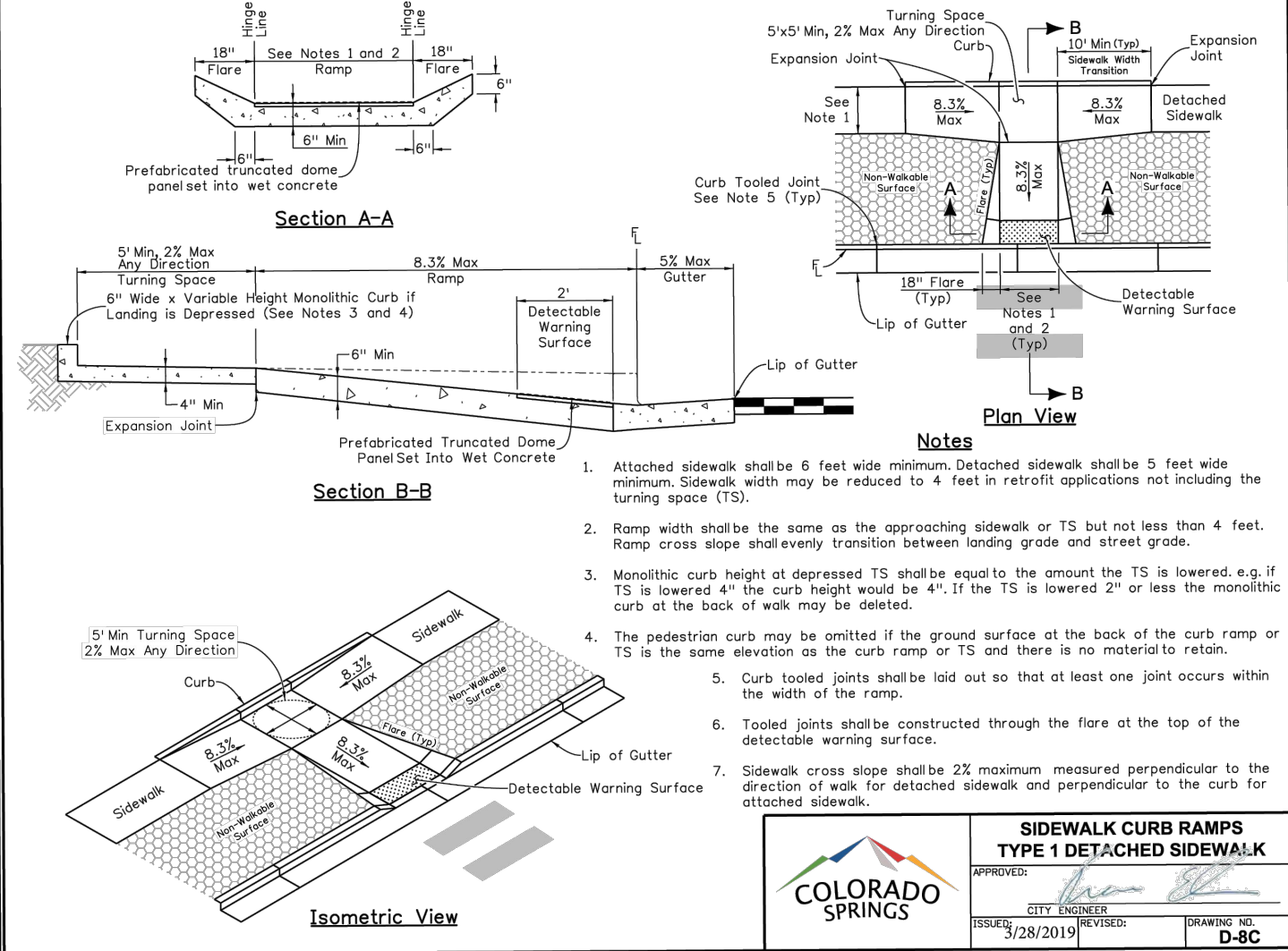
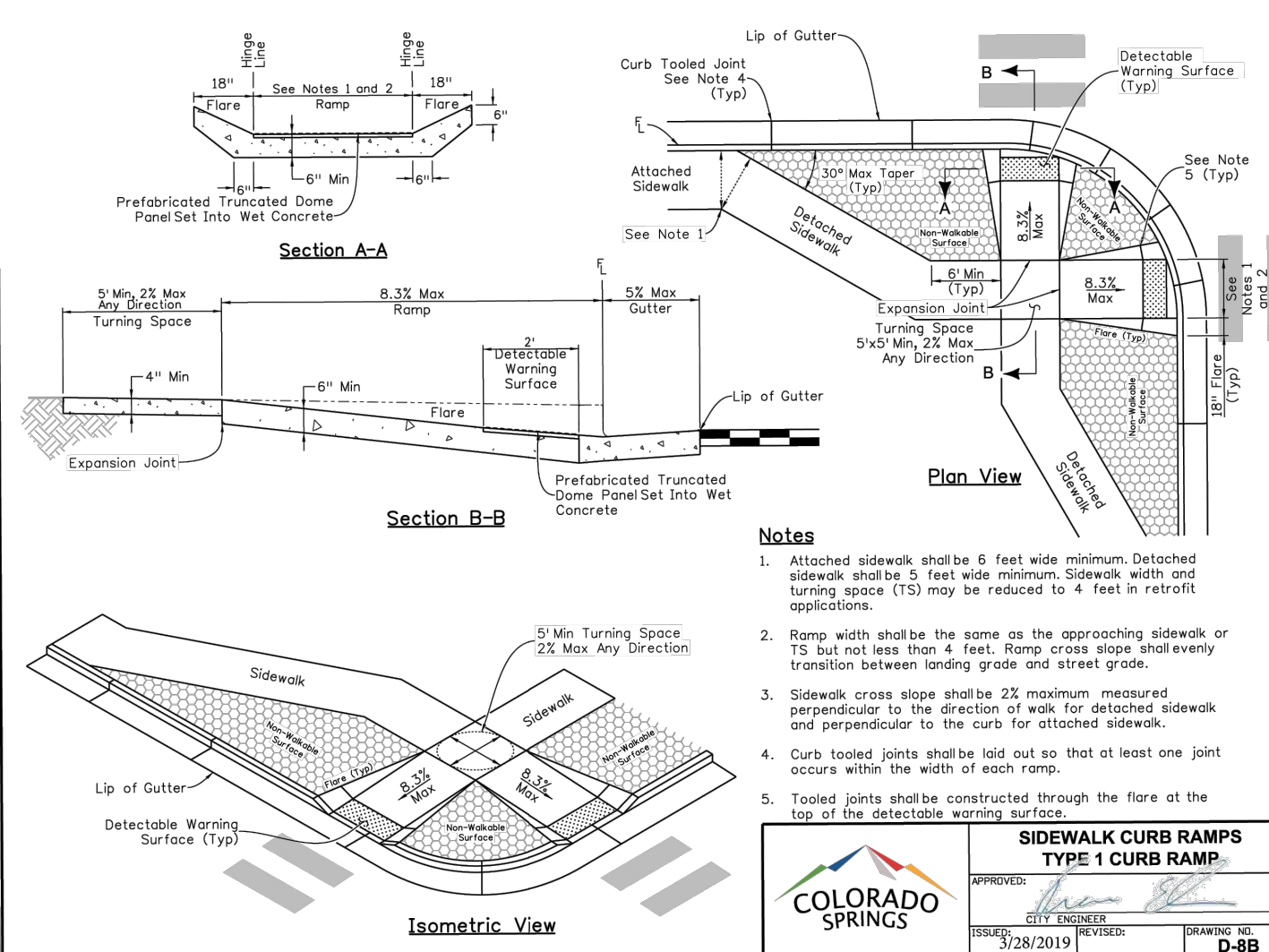
- General Notes**
1. All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
 2. The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
 3. Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
 4. A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
 5. The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
 6. Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome pavers approved by the City. The detectable warning pavers shall be set into the wet concrete. The domes shall be in a square grid pattern and slopes with grade as approved by the City.
 7. Detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
 8. Ramp and detectable warning running slope shall be 6.33% or flatter except on long ramps as specified by Note 14.
 9. Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space area.
 10. If a traffic signal/pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
 11. Diagram/ramps on the axes are not allowed in new construction. A single diagonal ramp on the axes may be permitted during reconstruction or alteration where physical site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
 12. Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
 13. All ramp joints and grade breaks shall be flush (0+0.01'). The joint between the roadway surface and gutter pan shall be flush.
 14. In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
 15. The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
 16. Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
 17. The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element other than 5 inches such as curb, the turning space shall be 5 feet by 5 feet.
 18. Contact the City Forestry Division if it is necessary to disturb trees or roots.
 19. All ramps shall have a minimum concrete thickness of 6 inches.
 20. All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
 21. Ramps shall align with each other across the street.

Slope Table
The table below is intended to be used to convert between the percent (cross) and ratio (run/rise) methods of expressing the magnitude of a slope:
PERCENT SLOPE: 0.5% 1.0% 2.0% 5.0% 7.1% 8.3% 10.0%
RATIO SLOPE: 200:1 100:1 50:1 20:1 14:1 12:1 10:1



Ramp Cross Slope Transition To Match Roadway Profile

SEAWALK CURB RAMPS GENERAL NOTES & DETAILS
APPROVED: <i>Jaime Stewardant</i>
CITY ENGINEER
DESIGNED: 3/28/2019
REVIEWED: 3/28/2019
DRAWING NO. 8-EA



N.E.S. Inc.
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www.nescolorado.com
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Kimley»Horn
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2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

FLATS AT SAND CREEK

COLORADO SPRINGS

DATE: 11.27.2024
PROJECT MGR: NMB
PREPARED BY: MEL

COLORADO SPRINGS
OLYMPIC CITY USA
Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE: BY: DESCRIPTION:

SITE DETAILS

9
9 OF 14

ELEVATIONS AT APARTMENT BUILDING NOS. 1, 3 & 5



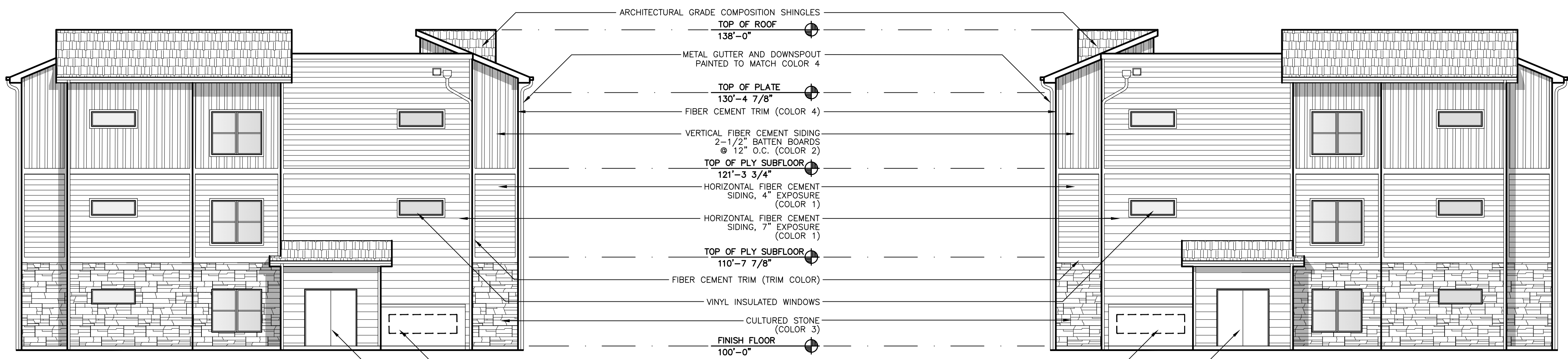
1 FRONT ELEVATION

SCALE: 1/8"=1'-0"



2 REAR ELEVATION

SCALE: 1/8"=1'-0"



3 LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



4 RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"

THIS PROJECT IS BEING DESIGNED TO REQUIRE ONLY ELECTRIC SERVICES FOR POWER (NOT GAS). HOWEVER, IF GAS METERS ARE INSTALLED, GAS METERS MUST BE A MINIMUM OF 3'-FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.

EIFS NOTE:
EIFS IS NOT BEING PROPOSED AS AN EXTERIOR FINISH MATERIAL IN THIS PROJECT AND THEREFORE ELEVATIONS COMPLY WITH THE REQUIREMENTS OF UDC 7.4.1104-C.2.

FIRE SPRINKLER NOTE:
DUE TO THE SINGLE POINT OF ACCESS, APARTMENT BUILDINGS AND CLUBHOUSE/FITNESS WILL BE FIRE SPRINKLERED PER THE EXCEPTION TO IFC D106.1.



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WAY ARCHITECTS, P.C.
318 North Tejon
Colorado Springs, Colorado 80903
(719)473-8400 FAX (719)473-0400
www.waygroup.com

FLATS AT
SAND CREEK

COLORADO SPRINGS



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

APARTMENT
ELEVATIONS

10

10 OF 14

CPC #DEPN-24-0133

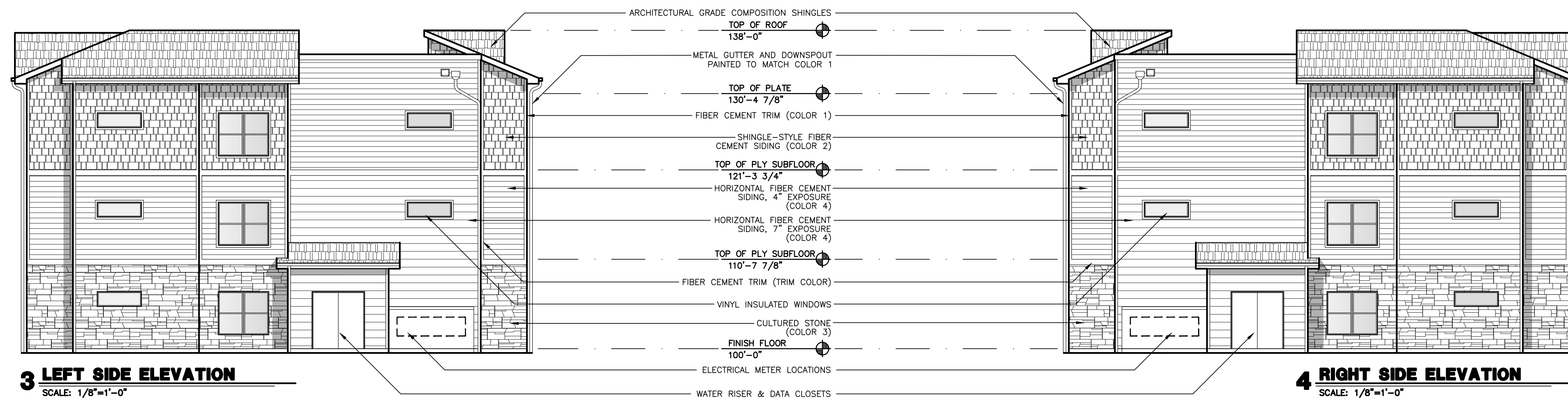
ELEVATIONS AT APARTMENT BUILDING NOS. 2, 4 & 6



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 REAR ELEVATION
SCALE: 1/8"=1'-0"

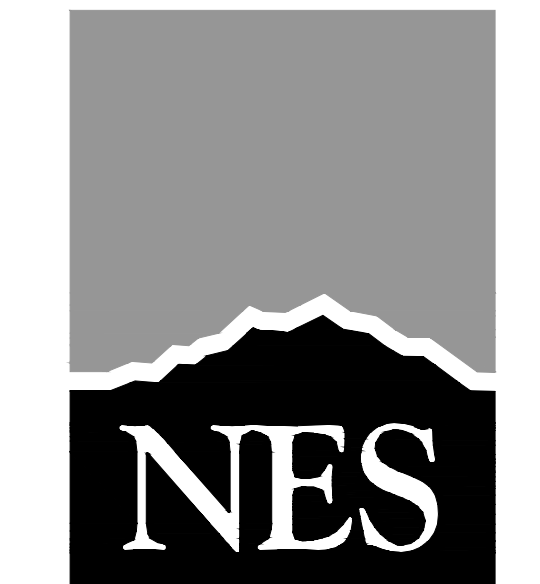


3 LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

4 RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

UTILITY METER NOTE:
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318 North Tejon
Colorado Springs, Colorado 80903
(719)473-8400 FAX (719)473-0400
www.waygroup.com

FLATS AT
SAND CREEK

COLORADO SPRINGS

DATE: 8.20.24
PROJECT MGR: B.SWENSON
PREPARED BY: C.HELMLINGER



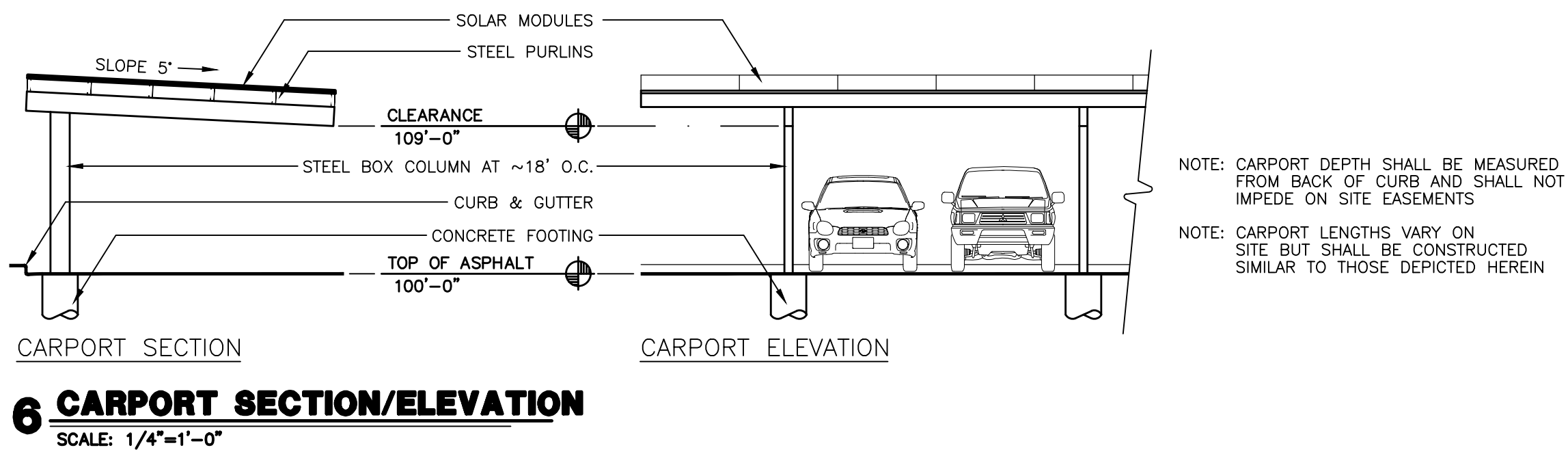
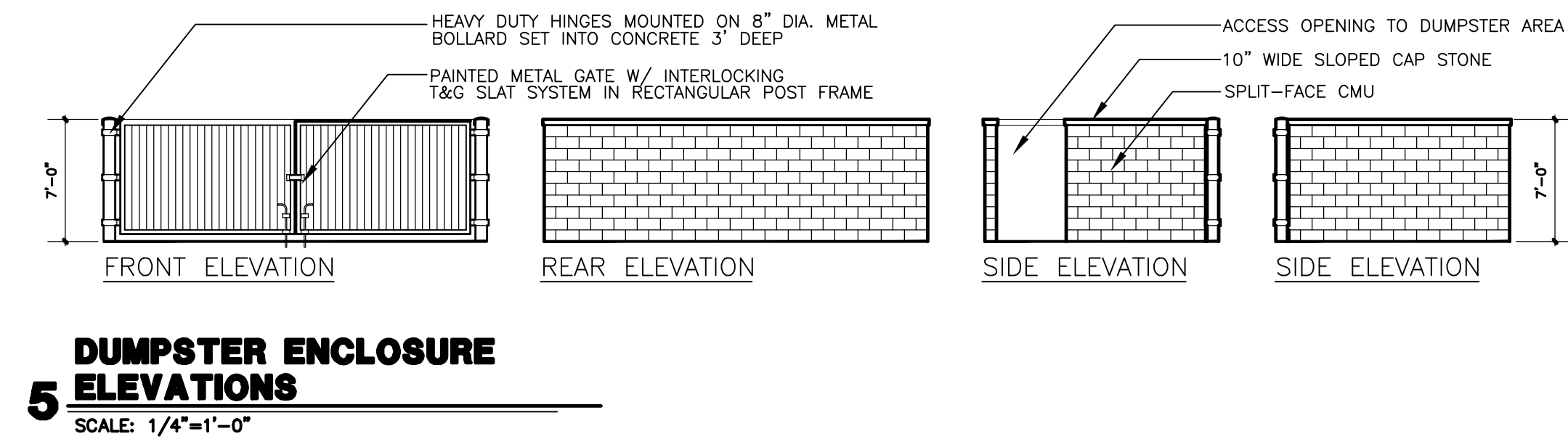
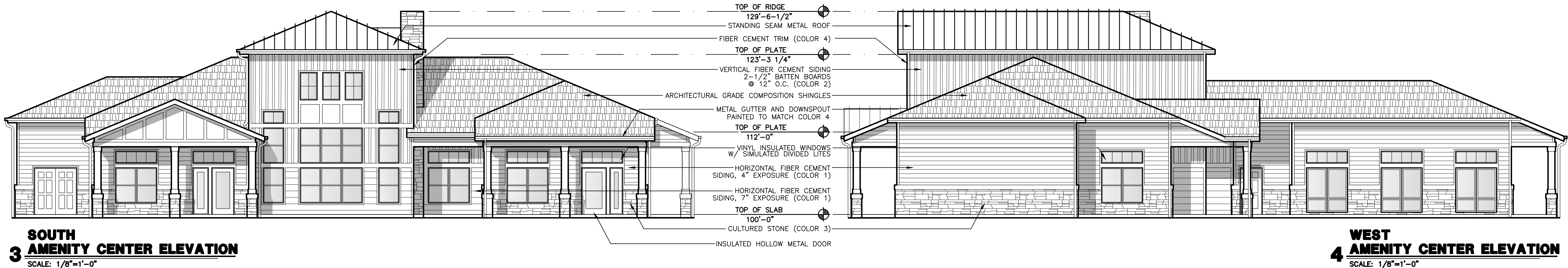
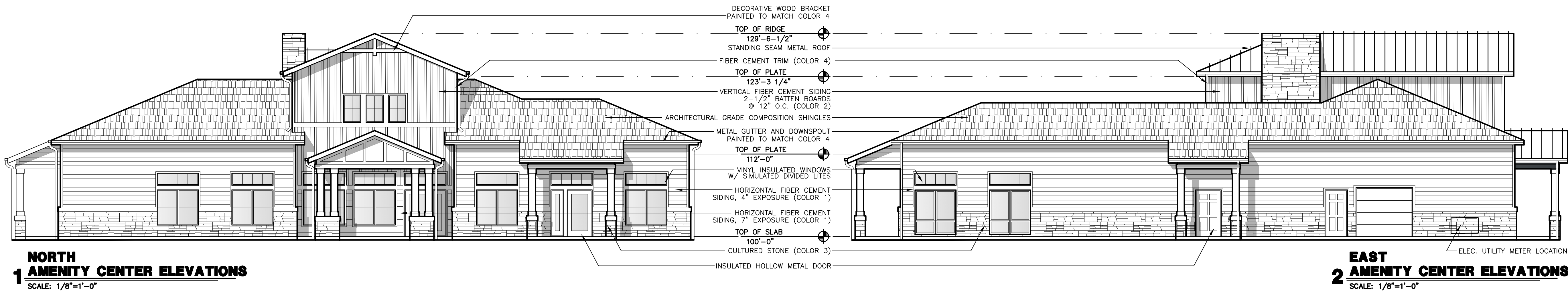
Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

APARTMENT
ELEVATIONS

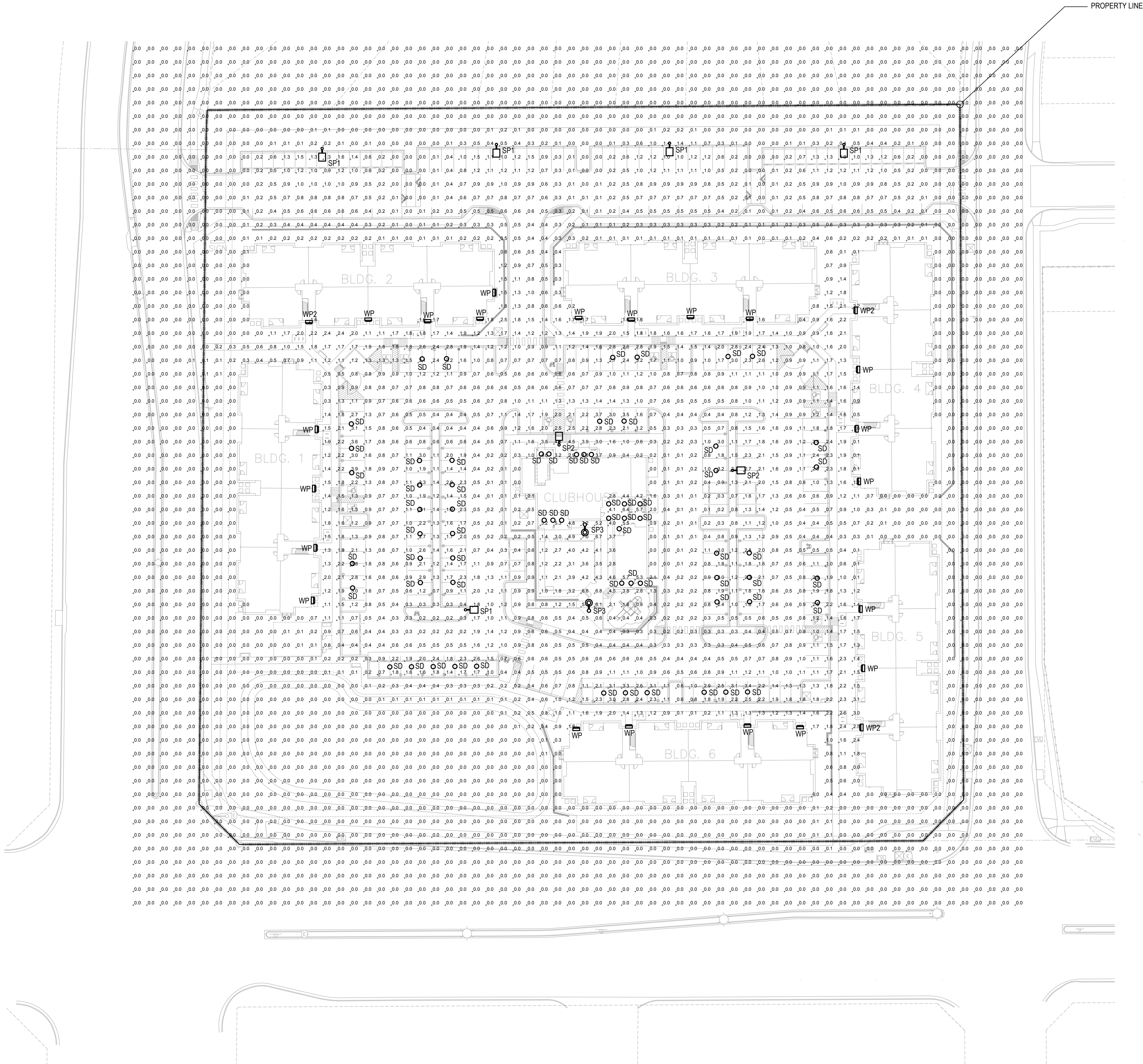
11
11 OF 14
CPC #DEPN-24-0133



UTILITY METER NOTE:
THIS PROJECT IS BEING DESIGNED TO REQUIRE ONLY
ELECTRIC SERVICES FOR POWER (NOT GAS), HOWEVER,
IF GAS METERS ARE INSTALLED, GAS METERS MUST
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WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.

EIFS NOTE:
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MATERIAL IN THIS PROJECT AND THEREFORE ELEVATIONS
COMPLY WITH THE REQUIREMENTS OF UDC 7.4.1104-C.2.

FIRE SPRINKLER NOTE:
DUE TO THE SINGLE POINT OF ACCESS, APARTMENT
BUILDINGS AND CLUBHOUSE/FITNESS WILL BE FIRE
SPRINKLERED PER THE EXCEPTION TO IFC D106.1.



LIGHTING CALCULATION STATISTICS SUMMARY:					
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	7.2fc	0.0fc	N/A	N/A
PROPERTY LINE:	0.0fc	0.1fc	0.0fc	N/A	N/A

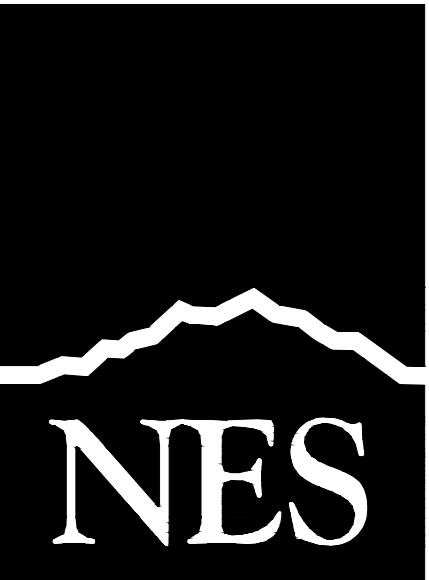
1

SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 40'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF COLORADO SPRINGS EXTERIOR LIGHTING STANDARDS



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

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STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

FLATS AT
SAND CREEK

COLORADO SPRINGS

DATE: 10.21.24
PROJECT MGR: JMB
PREPARED BY: JLC



Land Use Review
Approved
02-24-2025
2:08:52 PM
Austin Cooper

DEVELOPMENT PLAN

DATE:	BY:	DESCRIPTION:

SITE LIGHTING
PHOTOMETRIC

13

13 OF 14

CPC #DEPN-24-0133

