

URBAN COLLECTION AT BRIARGATE SQUARE

CITY OF COLORADO SPRINGS, COLORADO

PUD DEVELOPMENT PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0167
www.nesinc.com
© 2012, All Rights Reserved.

URBAN COLLECTION AT BRIARGATE SQUARE

SCARBOROUGH DRIVE
COLORADO SPRINGS,
CO 80920

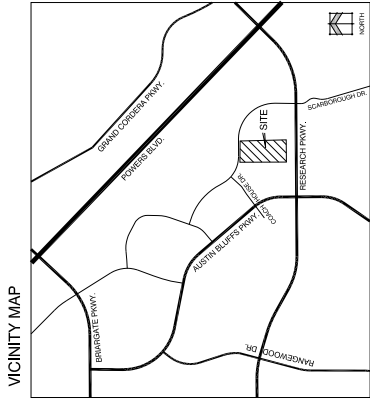
DATE: 10-2-2010
PROJECT NO: 10-000000
DRAWN BY: N. HANCOCK
PRINTED BY:

ENTITLEMENT

DATE	BY	CHECKED BY
08-24-09	HN	RELCR/REVER
08-25-09	HN	RELCR/REVER
		COMMENTS

COVER SHEET

1 OF 10
CPC PUD 20-00003



SITE DATA:
Site Location: Scarborough Dr, north of Research Pkwy, Colorado Springs, CO 80903
Site ID Number: 823832000
Site Area: 7.29 Acres
Current Zoning: PUD CR AO
Proposed Zoning: R-10
Master Plan: (CPC MAP 07-0068-164MN19) Residential, Single Family Attached, 70 Units
Proposed Unit: 9,600 DU/AC
Development Schedule: 2021

OWNER

Diverse of Colorado Springs
Colorado Springs, CO 80903

APPLICANT

N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

DEVELOPER

Richmond American Homes
4350 S. Monaco Street
Denver, CO 80237

SITE DATA

Site Location: Scarborough Dr, north of Research Pkwy, Colorado Springs, CO 80903
Site ID Number: 823832000
Site Area: 7.29 Acres
Current Zoning: PUD CR AO
Proposed Zoning: R-10
Master Plan: (CPC MAP 07-0068-164MN19) Residential, Single Family Attached, 70 Units
Proposed Unit: 9,600 DU/AC
Development Schedule: 2021

OWNER

Diverse of Colorado Springs
Colorado Springs, CO 80903

APPLICANT

N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

DEVELOPER

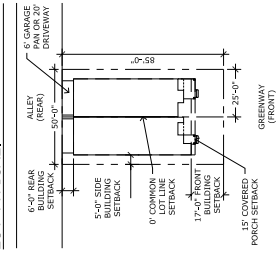
Richmond American Homes
4350 S. Monaco Street
Denver, CO 80237

Lot Standards:
Maximum building height: 30 feet
Minimum Lot Coverage: 17% Minimum (15% minimum to covered porch)
Setback minimums:
Front: 5' Minimum (0' on common lot line)
Side: 5' Minimum
Rear: 5' Minimum
Minimum Lot Size: 2,100 sq ft

Parking:
Formula: 2 spaces per 3 bedroom unit
Required: 70 units x 2 = 140 spaces
Provided: 2 car garages per unit = 140 spaces
Guest Formula: 70 units x 0.5 = 35 spaces
+ 29 parking stalls
+ 68 driveway spaces
Total: 204 spaces
ADA Formula: 2
Required: 2
Provided: 2

Open Space:
Formula: 200 SF per bedroom
Required: 210 rooms x 200 SF = 42,000 SF
Provided: 45,384 SF

LOT TYPICAL:



LEGAL DESCRIPTION

A portion of Lot 1, Block 1, Briargate Subdivision Filing No. 464 as recorded under Reception No. 98193353 of the records of El Paso County, Colorado, described as follows:
Commencing at the southwest corner of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, thence N07°33'34"W (Basis of Bearing), 130.96 feet along the west line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, and along the east line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, to the point of beginning;
thence S89°50'07"E, 116.80 feet along the west line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, and along the east line of Lot 1 of S-1; Gabriel the Archangel Subdivision Filing No. 1, to the northwest corner of said Lot 1, Block 1, Briargate Subdivision Filing No. 464;
thence easterly, 41.29 feet along the arc of a curve concave to the north and along the northerly line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, to the point of beginning;
thence S89°50'07"E, 116.80 feet along the northerly line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464;
thence S07°33'34"E, 480.00 feet along a line parallel with said S60.00 feet east of the west line of said Lot 1, Block 1, Briargate Subdivision No. 464,
thence S89°50'07"E, 360.00 feet to a point on the west line of said Lot 1, Block 1, Briargate Subdivision Filing No. 464, and the Point of Beginning.
County of El Paso,
State of Colorado

GENERAL NOTES

- All common area and facilities outside of proposed residential lots will be owned and maintained by the Urban Collection at Briargate Square Home Owners Association.
- Proposed residential lots will be maintained by the Urban Collection at Briargate Square Home Owners Association.
- All sidewalks shown on development plan are to be 5' concrete unless otherwise specified.
- There will be no direct lot access from Scarborough Drive, posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current city engineering standards along public streets adjacent to the site will need to be removed and replaced prior to issuing the Certificate of Occupancy (CO). An on-site meeting can be set up with the Engineering Department for inspection to determine what, if any, apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities. Private costs will be paid to construct a minimum of 2700lbs single axle weight and 7500lb total apparatus weight. Private costs will be paid to construct a minimum of 2700lbs single axle weight and 7500lb total apparatus weight.
- This installation shall occur. A fire inspection may be requested by calling 719-585-5978.
- This site is not within a designated FEMA-A floodplain as determined by the Flood Insurance Rate Map. Community number 0841 035836, effective December 7, 2010.
- Signage will be posted stating "Private Road / No Cut Through Traffic". Additional traffic calming measures may be installed as City deems appropriate.
- An access easement will be provided in the front of all residential lots to provide pedestrian and bicycle access to the site.
- The parties responsible for this plan have familiarized themselves with all current applicability criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not constitute an endorsement of the ADA, or any Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws rests with the property owner.
- This plan is an aviation assessment for the Colorado Springs Airport, recorded in book 5377, at page 84, of the El Paso County Records. NOTICE: This property may be impacted by noise and other similar incidental sensory effects of flight caused by aircraft operating into and out of the Colorado Springs Municipal Airport. Buyers should familiarize themselves with the potential impacts of such operations.
- NOTICE: This property may be impacted by noise and other similar incidental sensory effects of flight caused by aircraft used in the United States Air Force Academy's Alumnus Program. This notice shall remain in effect until the Academy shall cease to be actively used. This notice shall run with the land, and shall be binding on all subsequent purchasers of the land. A copy of said exemption request prepared by Hinely-Horn and Associates, Inc., dated July 8, 1985. A copy of said exemption request placed within file CPC DP-88-242 of the City of Colorado Springs - Development Services Division, 30 S. Nevada Ave., Suite 701, Colorado Springs, CO. You would like to review said exemption.



N.B.S., Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel: 719.471.0073
Fax: 719.471.1067
www.nbsinc.com

LEGEND
--- ADA Route
--- Fire Lane /
--- No parking

URBAN COLLECTION AT BRIARGATE SQUARE

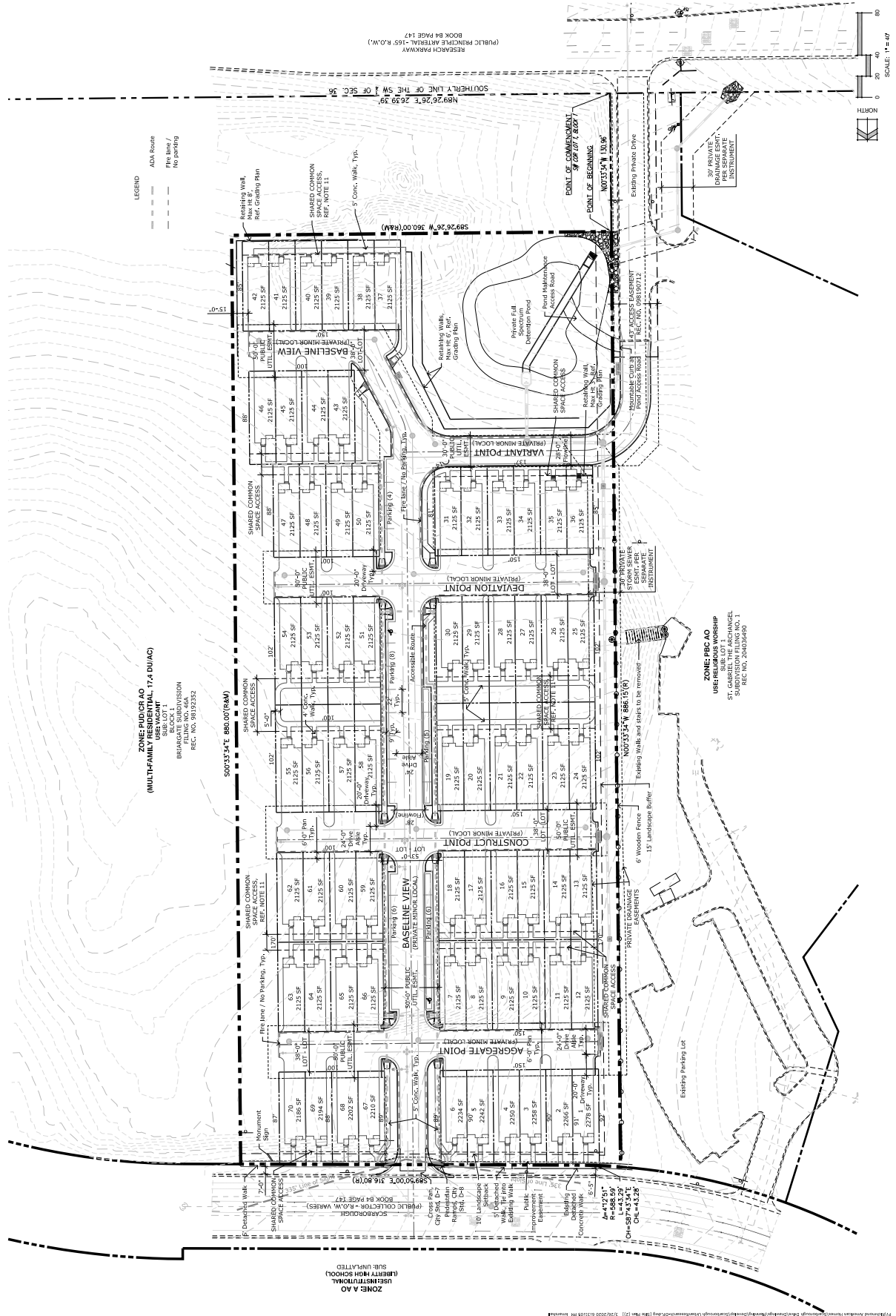
SCARBOROUGH DRIVE
COLORADO SPRINGS, CO 80920
DATE: 10-20-2019
PREPARED BY: A. HANSEN

ENTITLEMENT

DATE	BY	REVISION
10-20-2019	PH	REVISION
10-20-2019	PH	REVISION
10-20-2019	PH	COMMENTS

DEVELOPMENT PLAN

2 OF 10
CPC PUD 20-00003

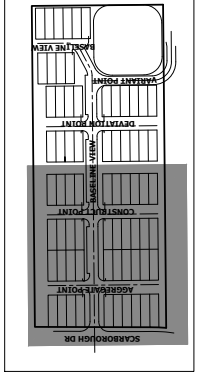


ZONE: PUD/CR AO
(MULTI-FAMILY RESIDENTIAL, T-4 DU/AC)
BRIARGATE SQUARE SUBDIVISION
SUB-LOT 1
FILINGS NO. 46A
REC. NO. 3912532

ZONE: PBC AO
USING PER SUB-LOT 11 WORKSHOP
SIT. GABRIEL THE RANCH/EL
SUB-LOT 11
REC. NO. 204036490

ZONE: A AO
(UBERTY HIGH SCHOOL)
USER: UNPLATTED
SUB: UNPLATTED

FIGURE 2



STANDARD GRADING, EROSION, AND STORMWATER QUALITY CONTROL PLAN NOTES:

- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL BE COMPLETED WITHIN THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL PLAN. ANY CHANGES TO THIS PLAN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND CITY OF COLORADO SPRINGS BEFORE ANY CONSTRUCTION BEGINS. ALL PROPOSED STREETS ARE PRIVATE UNLESS OTHERWISE NOTED.
- NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES OF ENGINEERING AND SURVEYING.
- THE INSTALLATION OF THE BEST MANAGEMENT PRACTICES (BMP'S) FOR EROSION CONTROL, FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE BEING PERMITTED. CITY STORMWATER INSPECTIONS, 385-5880, 48 HOURS PRIOR TO CONSTRUCTION.
- SEWERAGE (SAND AND OIL) TRANSPORTED INTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED OR ALLOWED TO RUNOFF TO BENEFIT TO STATE WATERWAYS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- CONSTRUCTION ACTIVITIES FOR ALL EXPOSED CHANNELS, DITCHES, OR ANY DISCHARGED AREA SHALL BE COMPLETED WITHIN THIRTY (30) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- RE-ACCEPTANCE BY EROD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT MEET THE REQUIREMENTS OF THE EROSION CONTROL PLAN, PROPOSED DEVELOPMENT CHANGES, PROPOSED GRADING REVISIONS.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO ANY UTILITY FACILITIES, OR THE LOCATION OF ANY UTILITY FACILITIES. APPROVALS TO GRADE WITHIN ANY UTILITY FACILITY OR HIGHWAY SHALL BE OBTAINED FROM THE APPROPRIATE AGENCIES. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY LOT OR PORTION OF A LOT WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE IMPLEMENTING THE PLAN, THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.

GRADING AND UTILITY NOTES

- ALL PROPOSED STREETS ARE PRIVATE UNLESS OTHERWISE NOTED.
- ALL PROPOSED WATER AND SANITARY UTILITIES ARE PUBLIC.
- ALL PROPOSED STREETS ARE PRIVATE UNLESS OTHERWISE NOTED.
- BY COLORADO SPRINGS UTILITIES UNLESS OTHERWISE NOTED.



20 10 0 20 40
 ORIGINAL SCALE: 1" = 20'
 Know what's below.
 Call before you dig.

CITY PROJECT NUMBER:
 CPC PUD 20-00003

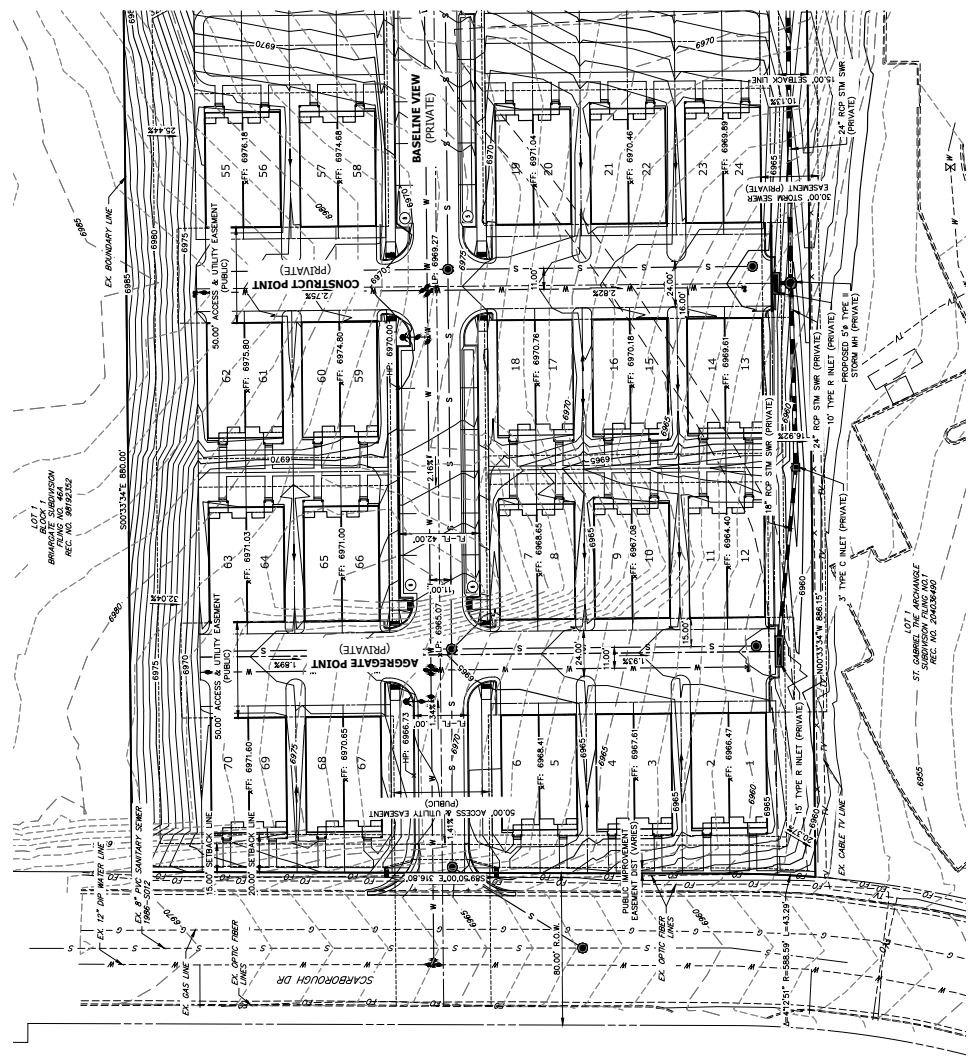


FIGURE 2

URBAN COLLECTION AT
BIRNAR GATE SQUARE
PRELIMINARY GRADING PLAN

CHECKED BY	DATE	H-SCALE	NO. REVISION
DESIGNED BY	3/26/20	1"=30'	
DRAWN BY			
DATE			

J.R. ENGINEERING
A Wisconsin Company
Contact: 910-491-8888 • Contact: 910-491-8888
Fax: 910-491-8888 • Contact: 910-491-8888

PREPARED FOR
RICHMOND AMERICAN HOMES
4350 S. MONACO STREET
CLIENT: INFO. 2
MATT CHILDERS
(720) 977-3540
MATT.CHILDERS@MCH.COM
AUTHORIZATION
ONLY FOR THE PURPOSES
DESCRIBED BY WRITTEN
AGREEMENT BY THE
APPROPRIATE REVIEWING
AGENCIES. AN ENGINEERING
SEAL IS REQUIRED FOR THESE DRAWINGS AS
UNTIL SUCH TIME AS



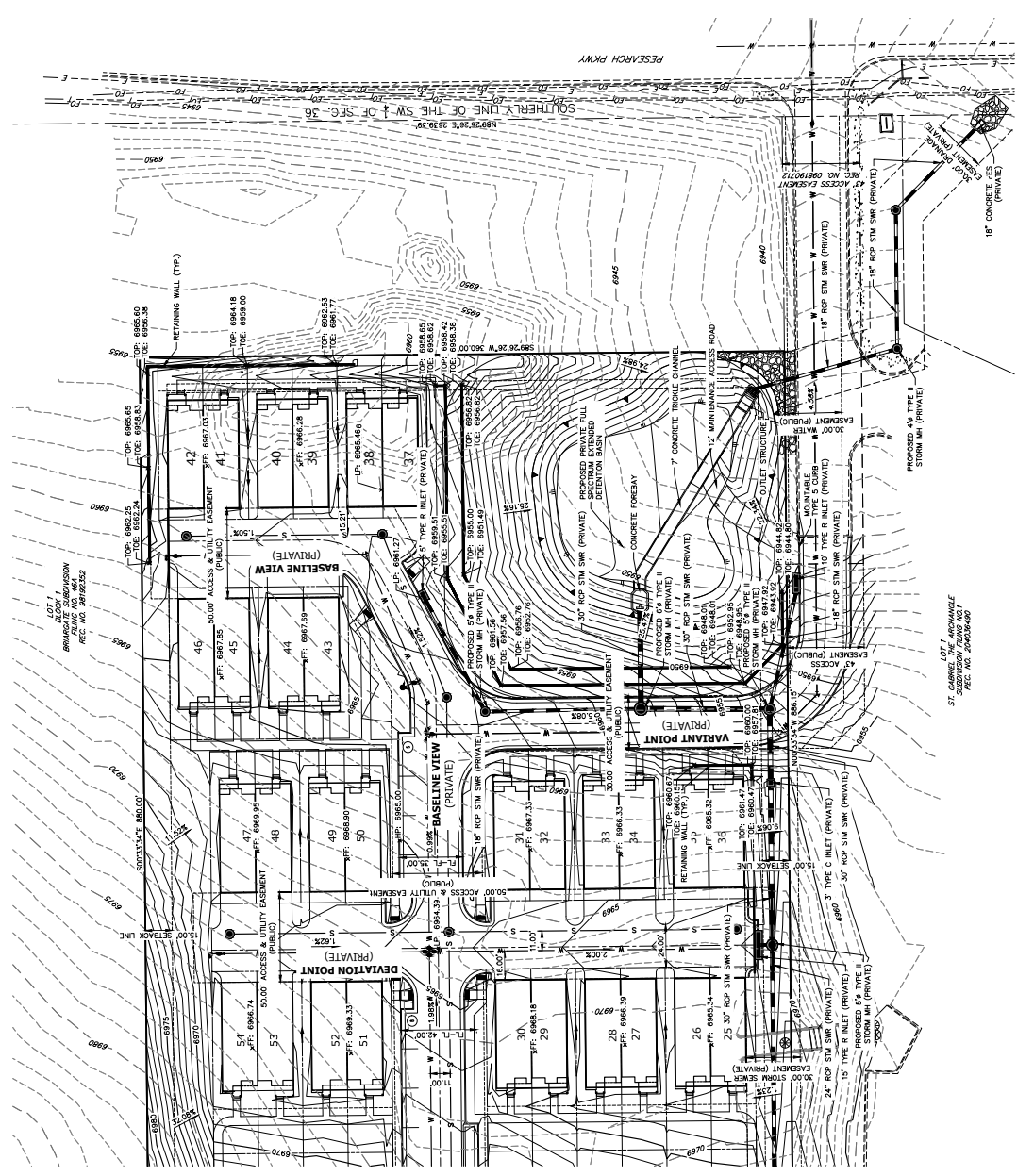
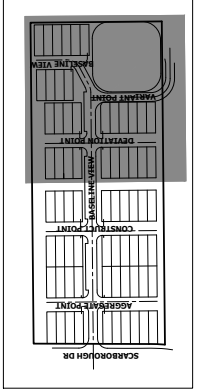
Know what's below.
Call before you dig.

ORIGINAL SCALE: 1" = 20'



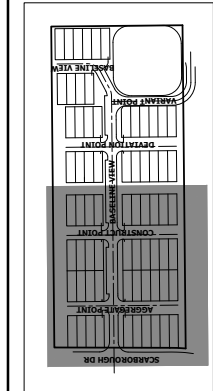
LAYER LINETYPE LEGEND

EXISTING	PROPOSED
SECTION LINE	SECTION LINE
BOUNDARY LINE	BOUNDARY LINE
PROPERTY LINE	PROPERTY LINE
RIGHT OF WAY	RIGHT OF WAY
CENTRLINE	CENTRLINE
ELECTRIC	ELECTRIC
FIBER OPTIC	FIBER OPTIC
GAS MAIN	GAS MAIN
IRRIGATION MAIN	IRRIGATION MAIN
OVERHEAD UTILITY	OVERHEAD UTILITY
SAWTOOTH UTILITY	SAWTOOTH UTILITY
TELEPHONE MAIN	TELEPHONE MAIN
WATER MAIN	WATER MAIN
SMALL WATERWAY FLOWLINE	SMALL WATERWAY FLOWLINE
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
DEPRESSION CONT. (INDEX)	DEPRESSION CONT. (INDEX)
DEPRESSION CONT. (VIEW)	DEPRESSION CONT. (VIEW)
CURB & GUTTER	CURB & GUTTER
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
SCLOPE	SCLOPE
FLOW DIRECTION	FLOW DIRECTION



CITY PROJECT NUMBER:
CPC PUD 20-00003

FIGURE 2



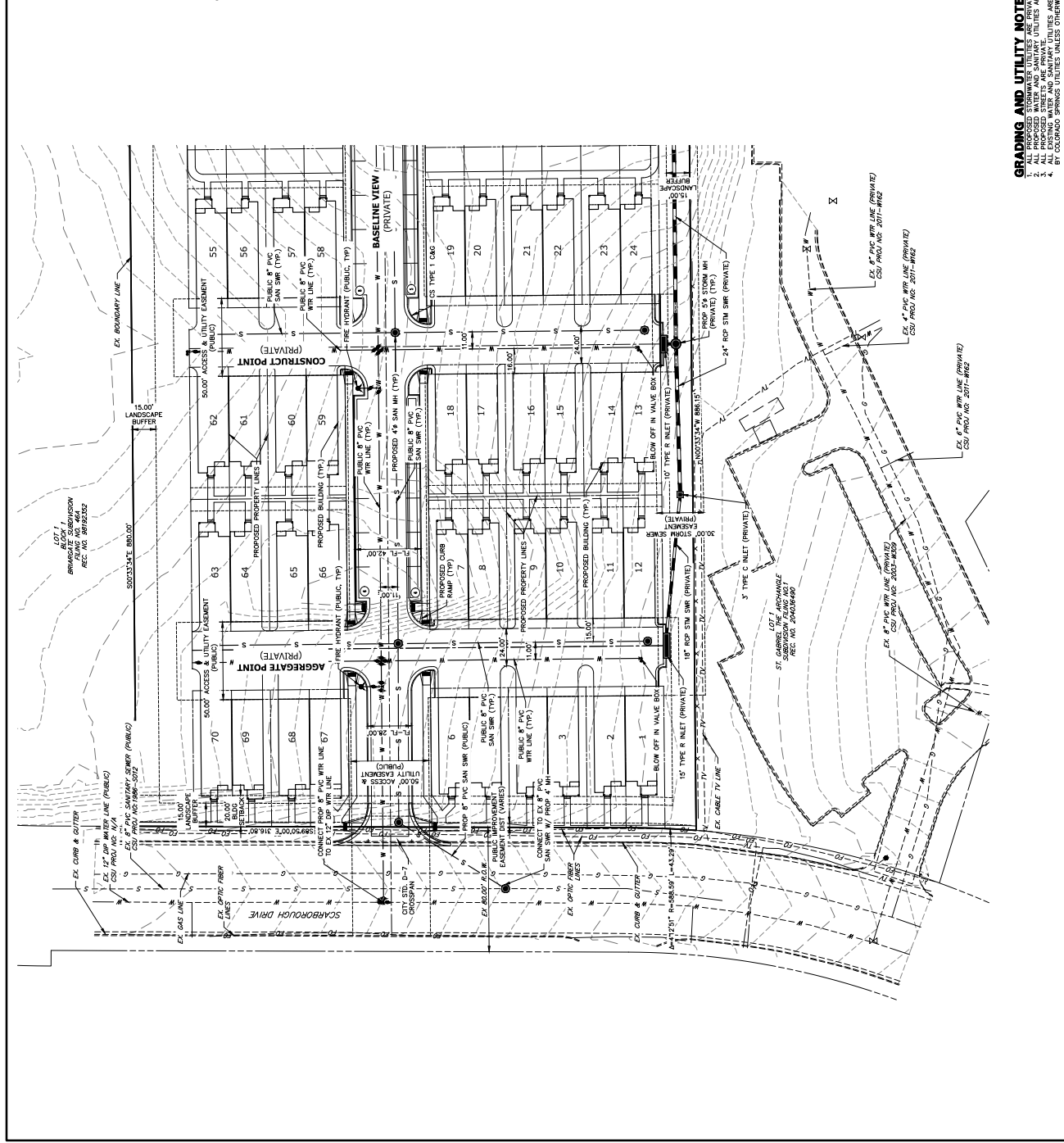
GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:
 PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- THE LOCATION OF ALL UTILITIES SHALL BE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY BE NECESSARY TO SERVE THE PROJECT. THE PRELIMINARY UTILITY PLAN IS A CONCEPTUAL PLAN AND DOES NOT REPRESENT THE FINAL DESIGN. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES. THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.
- THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE COST OF ANY REQUIRED UTILITY LINE EXTENSION & SERVICE STANDARDS (STANDARDS) CHARGES, PERMITS, AND FEES.

LAYER LINETYPE LEGEND

SECTION LINE	EXISTING	PROPOSED
BOUNDARY LINE	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY	---	---
CELESTIAL	---	---
FIRE OPTIC	---	---
GAS MAIN	---	---
IRRIGATION MAIN	---	---
OVERHEAD UTILITY	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
TELEPHONE	---	---
WATER MAIN	---	---
CURB & GUTTER	---	---
LIMITS OF DISTURBANCE	---	---

ORIGINAL SCALE: 1" = 20'
 CITY FILE NUMBER: CPC PUD 20-00003
 Know what's below. Call before you dig.



GRADING AND UTILITY NOTES
 1. ALL PROPOSED STORMWATER UTILITIES ARE PRIVATE.
 2. ALL PROPOSED WATER UTILITIES ARE PUBLIC.
 3. ALL PROPOSED SEWER UTILITIES ARE PRIVATE.
 4. ALL PROPOSED UTILITY LINES SHALL BE INSTALLED AT THE PROPERTY OWNER'S RISK AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.

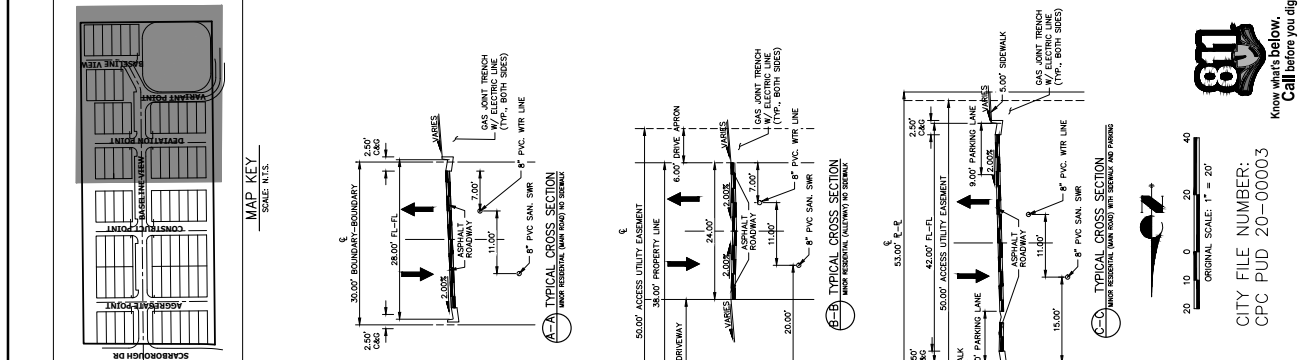
FIGURE 2

PREPARED FOR
 RICHMOND AMERICAN HOMES
 4350 S. MONACO STREET
 DENVER, CO 80237
 MATT CHILDERS
 (720) 977-3540
 MATT.CHILDERS@MCH.COM

J.R. ENGINEERING
 A DESIGN COMPANY
 4300 S. MONACO STREET
 DENVER, CO 80237
 (720) 977-3540
 MATT.CHILDERS@MCH.COM

NO.	REVISION	BY	DATE
1	H-SCALE 1"=30'		
2	V-SCALE 1"=X'		
3	DATE 3/25/20		
4	DESIGNED BY RB		
5	DRAWN BY EA		
6	CHECKED BY		

URBAN COLLECTION AT
 BRIARGATE SQUARE
 & PRELIMINARY UTILITIES PLAN
 SHEET 6 OF 10
 JOB NO. 25170.01



Know what's below.
 Call before you dig.

ORIGINAL SCALE: 1" = 20'
 CITY FILE NUMBER:
 CPC PUD 20-00003

CROSS SECTION NOTES
 1. ASPHALT SECTION WILL BE DETERMINED AFTER GRADING.
 2. SEE PLAN FOR CURB AND GUTTER TYPE.
 3. SECTION SHOWN ARE A TYPICAL REPRESENTATION OF THE PRECEDENCE OVER THE TYPICAL CROSS SECTIONS. TYPICAL SECTIONS DO NOT APPLY TO INTERSECTIONS.

GRADING AND UTILITY NOTES
 1. ALL PROPOSED WATER AND SANITARY UTILITIES ARE PUBLIC.
 2. ALL EXISTING WATER AND SANITARY UTILITIES ARE OWNED BY COLORADO SPRINGS UTILITIES UNLESS OTHERWISE NOTED.
 3. ALL EXISTING WATER AND SANITARY UTILITIES ARE OWNED BY COLORADO SPRINGS UTILITIES UNLESS OTHERWISE NOTED.
 4. TYPICAL SECTIONS DO NOT APPLY TO INTERSECTIONS.

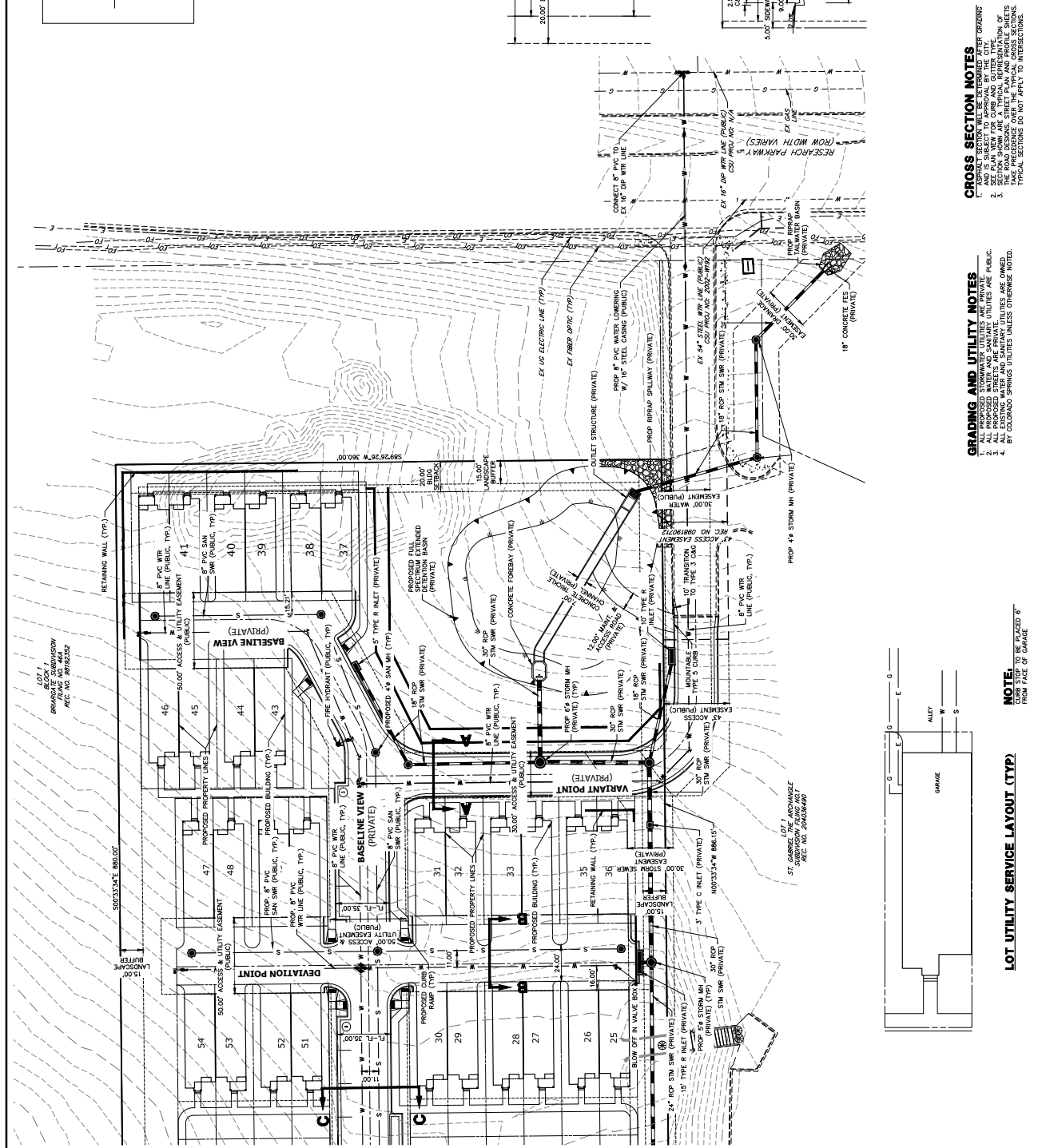


FIGURE 2

**URBAN
COLLECTION
AT BRIARGATE
SQUARE**

SCARBOROUGH DRIVE,
COLORADO SPRINGS,
CO 80920

DATE: 12.23.19
PROJECT NO.: 19-036
DRAWN BY: J. FAYARDSON

ENTITLEMENT

DATE:	NO.	DESCRIPTION
12-23-19	01	PRELIMINARY PLAN
12-23-19	02	REVISIONS
12-23-19	03	REVISIONS
12-23-19	04	REVISIONS
12-23-19	05	REVISIONS

PRELIMINARY
LANDSCAPE PLAN

8 OF 10

CPC PUD 20-00003

GROUND COVER LEGEND

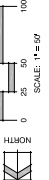
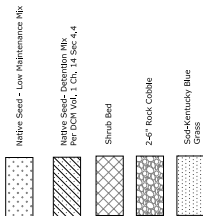


FIGURE 2

ENTITLEMENT

DATE	NO.	DRAWN BY
02-20-20	01	REL. CTR. REVIEW
02-25-20	02	REL. CTR. REVIEW
02-25-20	03	COMMENTS

PRELIMINARY
LANDSCAPE PLAN

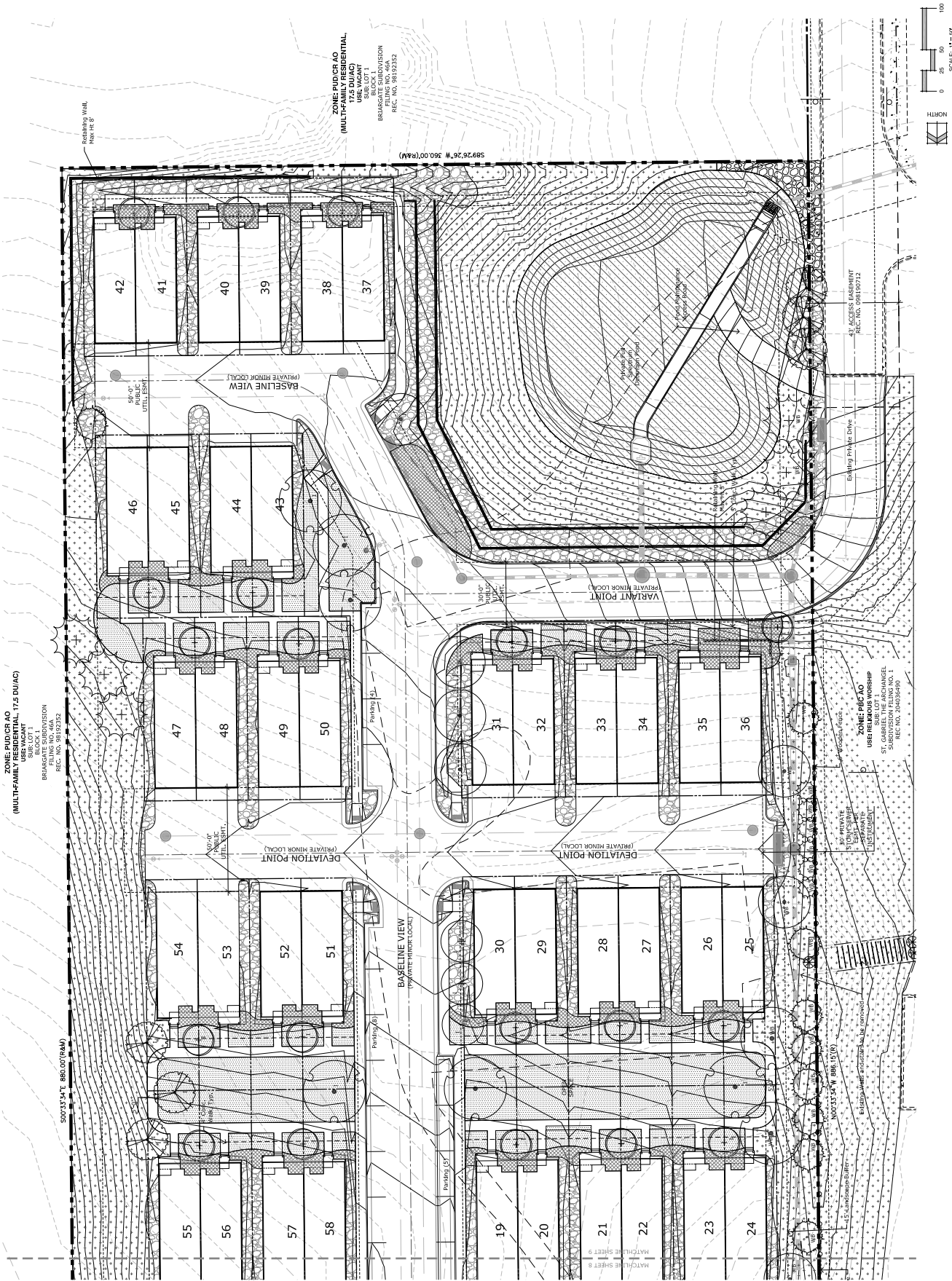


FIGURE 2

URBAN COLLECTION AT BRIARGATE SQUARE

CITY OF COLORADO SPRINGS, COLORADO
PUD DEVELOPMENT PLAN



FIGURE 2



URBAN SINGLE FAMILY ATTACHED
D769 - BOSTON/ D770 - CHICAGO

3/26/2020



N.E.S., Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.1067
www.nescolorado.com
© 2013, All Rights Reserved.

URBAN
COLLECTION
AT BRIARGATE
SQUARE

SCARBOROUGH DRIVE
COLORADO SPRINGS,
CO 80920

DATE: 11/11/19
DRAWN BY: J. HANCOCK
PREPARED BY: J. HANCOCK

ENTITLEMENT

DATE:	NO.	ISSUED BY:
10/26/20	04	PER COTA REVIEW
10/26/20	04	PER COTA REVIEW
10/26/20	04	COMMENTS:

BUILDING
ELEVATIONS

10 OF 10
CPC PUD 20-00003