PREPARED: 05/18/2023

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

LAND AREA:

194,370 SQ. FT. OR 4.462 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE PLAT OF "THE SANDS FILING NO. 1" UNDER RECEPTION NO. 219714414 OF THE RECORDINGS OF THE EL PASO COUNTY, COLORADO. A PORTION OF THE EAST LINE BEING MONUMENTED WITH ORANGE PLASTIC SURVEYOR'S CAPS STAMPED "PLS 25966" ON NUMBER 5 REBAR AS SHOWN ON THE PLAT, SAID LINE BEARS N00°03'07"W A DISTANCE OF 763.00 FEET. THE UNITS OF MEASUREMENT IS U.S. SURVEY FEET.

BENCHMARK:

THE VERTICAL RELIEF IS BASED ON COLORADO SPRINGS UTILITIES FIMS BENCHMARK NO. BL05, A 3.25" ALUMINUM CAP IN RANGE BOX STAMPED, "BL05" LOCATED NORTHEASTERLY OF THE INTERSECTION OF CONSTITUTION AVENUE AND MEADOWBROOK PARKWAY, WITH A NAVD ELEVATION OF 6,522.01 FEET.

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING WITHIN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH MERIDIAN, EL PASO COUNTY, COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF "THE SANDS FILING NO. 1" UNDER RECEPTION NO. 219714414 IN THE RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT ALSO BEING A POINT ON THE SOUTHERLY LINE OF "MARKSHEFFEL INDUSTRIAL PARK", RECORDED IN PLAT BOOK Z-3 AT PAGE 125 OF SAID COUNTY RECORDS;

THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING FOUR (4) COURSES:
1. N66°36'44"E, A DIISTANCE OF 37.03 FEET;
2. S89°55'19"E, A DISTANCE OF 349.88 FEET;
3. S00°12'12"E, A DISTANCE OF 4.51 FEET;
4. S89°55'54"E, A DISTANCE OF 270.12 FEET TO THE WEST OF THAT PARCEL DESCRIBED IN WARRANTY DEED UNDER RECEPTION NO. 20112950

THENCE S00°04'42"W, ALONG THE WEST LINE THEREOF, 1099.90 FEET TO THE CENTERLINE OF AN 80 FOOT EASEMENT FOR ROAD AND UTILITY PURPOSES (RECORDED IN BOOK 3863 AT PAGE 1414 AND BOOK 2988 AT PAGE 476 OF SAID COUNTY RECORDS);
THENCE S89°59'11"W ALONG SAID CENTERLINE, A DISTANCE OF 473.30 FEET TO THE EAST LINE OF "THE SANDS FILING NO. 1";
THENCE ALONG THE EASR LINE THEREOF THE FOLLOWING FOUR (4) COURSES:
1. N00°00'49"W, A DISTANCE OF 80.00 FEET;
2. S89°59'11"W, A DISTANCE OF 123.99 FEET;
3. N00°03'07"W, A DISTANCE OF 763.00 FEET;
4. N12°24'43"W, A DISTANCE OF 253.58 FEET TO THE POINT OF BEGINNING

PLATTED AS LOT 1 OF "THE SANDS INDUSTRIAL PARK FILING NO. 1" SUBDIVISION

APPROXIMATE SCHEDULE OF DEVELOPMENT:

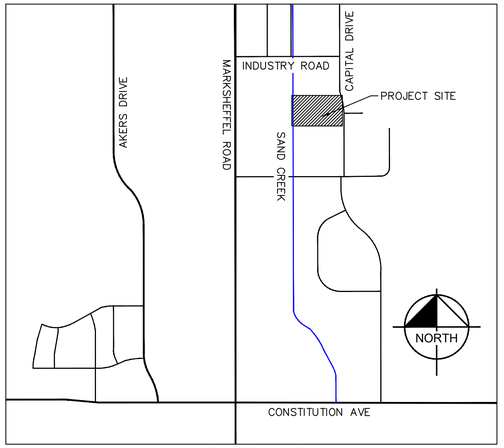
Q2 2023 THROUGH Q4 2023

FEMA CLASSIFICATION:

A LETTER OF MAP REVISION (LOMR) HAS BEEN APPROVED FOR THE SITE PER FEMA CASE NO. 20-08-0548P.
AS A RESULT, ALL SUBJECT PROPERTIES ARE OUTSIDE OF THE 100-YEAR FLOODPLAIN.

GENERAL NOTES:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
2. ALL CURBS, GUTTERS, SIDEWALKS, PEDESTRIAN RAMPS, AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG CAPITAL DRIVE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
3. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
4. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
5. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
6. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. PROPERTY OWNER WILL BE RESPONSIBLE FOR IRRIGATION RELATED TO ALL LANDSCAPING SHOWN ON THE FINAL LANDSCAPE PLANS, INCLUSIVE OF ANY LANDSCAPING FRONTING THE PROPERTY WITHIN THE RIGHT-OF-WAY AND THE STREAMSIDE OVERLAY.
8. AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE SANDS INDUSTRIAL PARK PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDEER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
9. ALL APPLICABLE STORMWATER FLOWS ARE TO BE TREATED IN AN OFF-SITE FULL-SPECTRUM EXTENDED DETENTION BASIN, OWNED AND MAINTAINED BY THE SANDS METROPOLITAN DISTRICT
10. GROUNDWATER WAS ENCOUNTERED DURING GEOTECHNICAL BORINGS; HOWEVER DEWATERING IS NOT ANTICIPATED AS A PART OF THE PROJECT DUE TO PROPOSED GRADES. REFERENCE THE STIE GEOTECHNICAL REPORT PREPARED BY GRANITE ENGINEERING FOR ADDITIONAL INFORMATION.
11. REFER TO THE SANDS ADDITION 1 ANNEXATION RECORDED SEPTEMBER 6,2018 (REC. NO. 218103950 FOR INFORMATION PERTAINING TO THE ANNEXATION. THIS PROPERTY SHALL BE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE SANDS INDUSTRIAL PARK SUBDIVISION.
12. ALL OUTDOOR STORED MATERIALS WITHIN LOT 1 SHALL NOT EXCEED SIX FEET IN HEIGHT.
13. GRAVEL STORAGE YARD SURFACING SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE GEOTECHNICAL REPORT ACCOMPANYING THIS DEVELOPMENT PLAN (PREPARED BY GRANITE ENGINEERING GROUP, DATED NOVEMBER 28, 2022) AS WELL AS MEET OR EXCEED HS-20 LOADING CAPACITY FOR EMERGENCY VEHICLES AND LOADS REQUIRED FOR THE GENERAL OPERATIONS OF THE ON-SITE VEHICLES AND EQUIPMENT. BINDING MATERIAL SHALL BE APPLIED TO THE SURFACE MATERIAL TO ENSURE STABILITY, DUST AND WEED MITIGATION, AND EFFECTIVE STORMWATER CONVEYANCE.
14. ON-SITE VEHICULAR TRAFFIC SHALL BE LIMITED TO 20 MPH.
15. COMPACTED GRAVEL SHALL BE KEPT IN GOOD CONDITION, MAINTAINING CLEAN EDGES AT LANDSCAPING AND MINIMIZING PONDING DUE TO RUTS AND WASHOUTS.
16. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF COLORADO SPRINGS STANDARD DRAWINGS AND SPECIFICATIONS. CITY ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
17. INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATIONS, SECTION 1001, AND REQUIRES THE COMPLETION OF THE COLORADO SPRINGS UTILITIES 'ELECTRICAL INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE' IN ACCORDANCE WITH UTILITIES REQUIREMENTS FOR ELECTRIFICATION. THIS CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
18. THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY, AND CONCLUSIONS OF A GEOLOGICAL HAZARD STUDY PROVIDED BY RMG ENGINEERS (DATED OCTOBER 26, 2017). COPIES OF SAID STUDY HAVE BEEN PLACED WITHIN FILE CPC CP 17-00084 OF THE CITY OF COLORADO SPRINGS CITY PLANNING OFFICE. THIS REPORT IDENTIFIED NO SIGNIFICANT GEOLOGIC HAZARDS THAT ARE ANTICIPATED TO PRECLUDE THE PROPOSED DEVELOPMENT. HOWEVER, THE POTENTIAL DOES EXIST FOR GEOLOGIC HAZARDS OR CONDITIONS RELATED TO THE FOLLOWING:
    - 18.1. EXPANSIVE SOILS AND EXPANSIVE BEDROCK
    - 18.2. COLLAPSIBLE SOIL
    - 18.3. RADON
    - 18.4. SHALLOW WATER TABLES
    - 18.5. FLOOD PRONE AREAS
    - 18.6. HISTORY OF LANDFALL ACTIVITY OR UNDOCUMENTED/UNCONTROLLED FILL ACTIVITY
    - 18.7. EROSION



VICINITY MAP
1" = 1000'

SHEET LIST INDEX	
SHEET NO.	SHEET TITLE
1	COVER SHEET
2	EX. CONDITIONS & DEMO PLAN
3	SITE PLAN
4	SITE DETAILS
5	FENCE AND SCREEN WALL DETAILS
6	TRASH ENCLOSURE AND RETAINING WALL DETAILS
7	PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
8	PRELIMINARY GRADING PLAN
9	FINAL LANDSCAPE PLAN
10	FINAL LANDSCAPE NOTES
11	FINAL LANDSCAPE DETAILS
12	FINAL LANDSCAPE DETAILS (2)
13	STREAMSIDE OVERLAY PLAN
14	LAND SUITABILITY ANALYSIS AND NOTES
15	RUNOFF REDUCTION PLAN
16	ARCHITECTURAL BUILDING ELEVATIONS
17	SITE PHOTOMETRIC PLAN
18	SITE PHOTOMETRIC DETAILS

CONTACTS:

OWNER / DEVELOPER / ARCHITECT:
EQUIPMENTSHARE.COM, INC
8026 IRON TOWER CT
COLORADO SPRINGS, CO 80939
TEL: (423) 321-9945
CONTACT: CHRIS SCHREINER

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (720) 636-8306
CONTACT: JEREMY POWELL, P.L.A.

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7281
CONTACT: MITCHELL HESS, P.E.

SURVEYOR:
MANHARD CONSULTING
201 E 4TH STREET, SUITE 008
LOVELAND, CO 80537
TEL: (303) 531-3216
CONTACT: CHRIS DEPAULIS, PLS

SITE DATA:

SITE AREA:	4.462± AC (194,370 SF)
ZONING CLASSIFICATION:	M1 – LIGHT INDUSTRIAL SS – STREAM SIDE OVERLAY AO – AIRPORT OVERLAY
LAND USE:	CONSTRUCTION EQUIPMENT RENTAL & SALES OFFICE OUTDOOR STORAGE
JURISDICTION:	CITY OF COLORADO SPRINGS
SITE ADDRESS:	8026 IRON TOWER COURT, COLORADO SPRINGS, CO 80910
TAX SCHEDULE NO.:	5333202052
BUILDING SETBACKS:	20' FRONT SETBACK — 40.0' PROVIDED 10' SIDE SETBACK — 94.0' & 176.3' PROVIDED N/A REAR SETBACK — 359.3' PROVIDED 10' LANDSCAPE SETBACK ALONG CAPITAL DRIVE (10' PROVIDED)
MAXIMUM LOT COVERAGE:	N/A
PROPOSED EASEMENTS:	N/A
PROPOSED VARIANCES:	N/A
SITE COVERAGE:	BUILDING – 5.8%± (11,203 SF) PAVEMENT – 17.8%± (34,645 SF) GRAVEL LOT – 46.1%± (89,589 SF) LANDSCAPING – 30.3%± (58,933 SF)
DRAINAGE BASIN:	SAND CREEK
MASTER DEVELOPMENT:	THE SANDS MASTER PLAN (CPC MP 17-00080) THE SANDS CONCEPT PLAN (CPC CP 17-00084) THE SANDS INDUSTRIAL PARK FINAL PLAT (AR FP 19-00754)

DETENTION FACILITY:

STORMWATER QUALITY AND DETENTION WILL BE PROVIDED BY AN OFF-SITE FACILITY.

BUILDING DATA:

BUILDING FOOTPRINT AREA: 11,203 SF
TOTAL BUILDING GROSS AREA: 13,554 SF

BUILDING HEIGHT:	
PROPOSED:	29'-4"
MAXIMUM BY CODE:	40'-0"
PROPOSED LOT COVERAGE:	±5.8%

PARKING COUNTS:

BUILDING TYPE	PARKING RATIO	BUILDING AREA (SF)	PARKING REQUIRED	PARKING PROVIDED
AUTOMOTIVE EQUIPMENT RENTAL AND SALES	1/400 SF (OFFICE)	3,780 SF	10	28
ACCESSIBLE (INCLUDED IN TOTAL COUNT)	2 / 26-50 STALLS		2 (1 VAN)	3 (1 VAN, 1 EV)

CITY APPROVAL:

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

COVER SHEET
SHEET 1 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

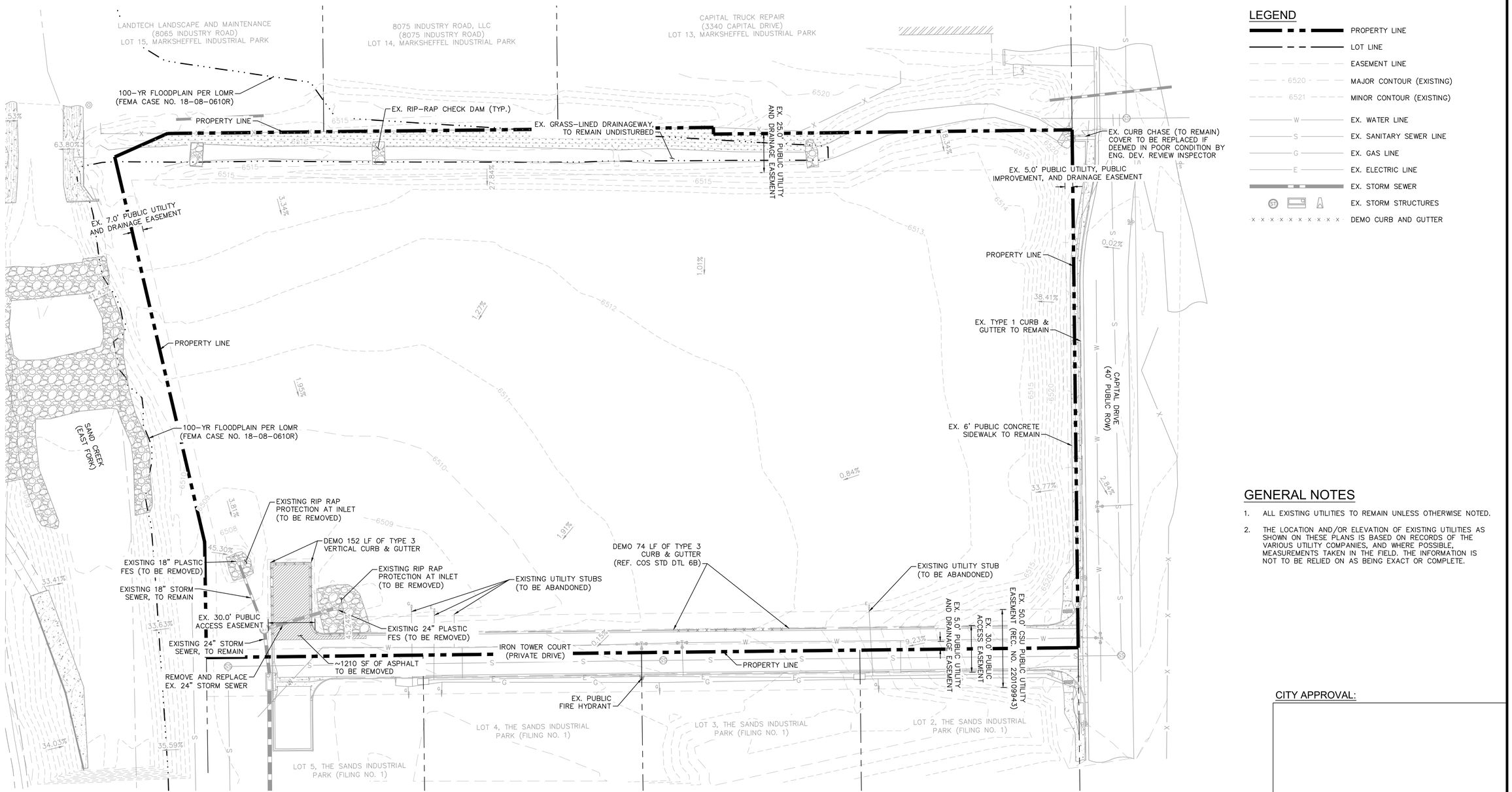
EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- 6520 MAJOR CONTOUR (EXISTING)
- 6521 MINOR CONTOUR (EXISTING)
- W EX. WATER LINE
- S EX. SANITARY SEWER LINE
- G EX. GAS LINE
- E EX. ELECTRIC LINE
- EX. STORM SEWER
- EX. STORM STRUCTURES
- DEMO CURB AND GUTTER

GENERAL NOTES

1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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EX. CONDITIONS & DEMO PLAN
SHEET 2 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

GRAPHIC SCALE IN FEET
0 15 30 60

NORTH

LANDTECH LANDSCAPE AND MAINTENANCE (8065 INDUSTRY ROAD) LOT 15, MARKSHEFFEL INDUSTRIAL PARK

8075 INDUSTRY ROAD, LLC (8075 INDUSTRY ROAD) LOT 14, MARKSHEFFEL INDUSTRIAL PARK

CAPITAL TRUCK REPAIR (3340 CAPITAL DRIVE) LOT 13, MARKSHEFFEL INDUSTRIAL PARK

100-YR FLOODPLAIN PER LOMR (FEMA CASE NO. 18-08-0610R)

PROPERTY LINE

N89°21'42"E 349.82'

EX. GRASS-LINED DRAINAGEWAY, TO REMAIN UNDISTURBED

S1°48'34"E 4.31'

EX. 25.0' PUBLIC UTILITY AND DRAINAGE EASEMENT

N89°18'59"E 229.87'

N66°03'16"E 37.06'

EX. 7.0' PUBLIC UTILITY AND DRAINAGE EASEMENT

PROP. RETAINING WALL (398 LF, 3.5' MAX HEIGHT) REF. DTL SHEET 6

EX. 5.0' PUBLIC UTILITY, PUBLIC IMPROVEMENT, AND DRAINAGE EASEMENT

PROP. STORM DRAIN AREA INLET W/ CONCRETE COLLAR

PROP. LANDSCAPING AMENITY AREA REF. FINAL LANDSCAPE PLAN (SHEET 9)

372.8'

PROP. CONCRETE PAD FOR FUEL STORAGE (TO BE PERMITTED SEPARATELY)

PROPOSED ±11,203 SF EQUIPMENT RENTAL FACILITY

S0°40'25"E 332.01'

N13°07'45"W 253.73'

PROPERTY LINE

PROP. GRASS LINED SWALE (2' BOTTOM WIDTH, 6' SIDES @ 4:1 SLOPE)

359.3'

SAND CREEK (EAST FORK)

PROP. TRASH RECEPTACLE W/ SCREENING FENCE (PER STD DTL, SHEET 6)

PROP. FIRE DEPARTMENT ACCESS LANE (UNMARKED)

PROP. OUTDOOR GRAVEL EQUIPMENT STORAGE YARD

PROP. MASONRY SCREEN WALL (PER STD DTL, SHEET 5)

280' SIGHT DISTANCE TRIANGLE (25 MPH POSTED SPEED LIMIT)

PROP. EV CHARGING STATION (W/ BOLLARD PROTECTION) REF. DTL, SHEET 4

ACCESSIBLE

176.3'

PROP. EV CHARGING STATION (W/ BOLLARD PROTECTION) REF. DTL, SHEET 4

PROP. RIP-RAP RUNDOWN

PROP. LANDSCAPING TRAIL REF. FINAL LANDSCAPE PLAN (SHEET 9)

PROP. GRASS LINED SWALE (2' BOTTOM WIDTH, 6' SIDES @ 4:1 SLOPE)

(6.0') MAN GATE

24.0' (FL-FL)

9.0' (TYP.)

18.0' (TYP.)

26 LF DRIVE PAN (STRAIGHT GRADED TO GRAVEL LOT)

PROP. RIP-RAP RUNDOWN

EX. 30.0' PUBLIC ACCESS EASEMENT

N0°48'54"W 73.88'

S89°20'56"W 558.90'

IRON TOWER COURT (PRIVATE DRIVE) 28.0' FL-FL

PROPERTY LINE

5' CURB TRANSITION (PROP. TYPE 2 TO EX. TYPE 3)

90' SIGHT DISTANCE TRIANGLE (15 MPH SPEED AT 6% DOWNGRADE)

EX. 5.0' PUBLIC UTILITY AND DRAINAGE EASEMENT

EX. 30.0' PUBLIC ACCESS EASEMENT

EX. 50.0' CSU PUBLIC UTILITY EASEMENT (REC. NO. 220109431)

PROP. TRASH RECEPTACLE W/ SCREENING FENCE (PER STD DTL, SHEET 6)

PROP. MASONRY SCREEN WALL (PER STD DTL, SHEET 5)

PROP. RIP-RAP RUNDOWN

PROP. LANDSCAPE TRAIL STUB FOR FUTURE ACCESS

100-YR FLOODPLAIN PER LOMR (FEMA CASE NO. 18-08-0610R)

LOT 5, THE SANDS INDUSTRIAL PARK (FILING NO. 1)

LOT 4, THE SANDS INDUSTRIAL PARK (FILING NO. 1)

LOT 3, THE SANDS INDUSTRIAL PARK (FILING NO. 1)

LOT 2, THE SANDS INDUSTRIAL PARK (FILING NO. 1)

CAPITAL DRIVE (40' PUBLIC ROW)

LEGEND

- SITE PROPERTY LINE
- PARCEL LINE (ADJACENT)
- EASEMENT LINE
- 100-YR FLOODPLAIN
- EX. CHAIN LINK FENCE
- PROP. CHAIN LINK FENCE
- PROP. SCREEN WALL
- AR AR ADA ACCESSIBLE PATH
- PROPOSED GRAVEL YARD
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPE
- PROPOSED LANDSCAPE TRAIL
- SIGHT TRIANGLE

KEY NOTES

1. PROPOSED TYPE 2 CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING 6B
2. PROPOSED TYPE 1 PEDESTRIAN RAMP PER COLORADO SPRINGS STANDARD DRAWINGS D-8B
3. PROPOSED 5' CONCRETE SIDEWALK PER COLORADO SPRINGS STANDARD DRAWING D-18 (UNLESS OTHERWISE DIMENSIONED PER PLAN)
4. PROPOSED ACCESS WITH CROSSPAN PER COLORADO SPRINGS STANDARD DRAWING D-7
5. PROPOSED ADA PARKING STRIPING WITH WHEEL STOP (REF. DETAIL, SHEET 4)
6. PROPOSED ADA PARKING SIGN (REF. DETAIL, SHEET 4)
7. PROP. ARCHITECTURAL BOLLARD
8. PROPOSED SECURITY SCREEN FENCE (REF. DETAIL,. SHEET 5)
9. ACCESS GATE W/ KNOX BOX (REF. DETAIL, SHEET 5)
10. PROPOSED ELECTRIC VEHICLE PARKING STRIPING (REF. DETAIL, SHEET 4)
11. PROPOSED ELECTRIC VEHICLE PARKING SIGN (REF. DETAIL, SHEET 4)

CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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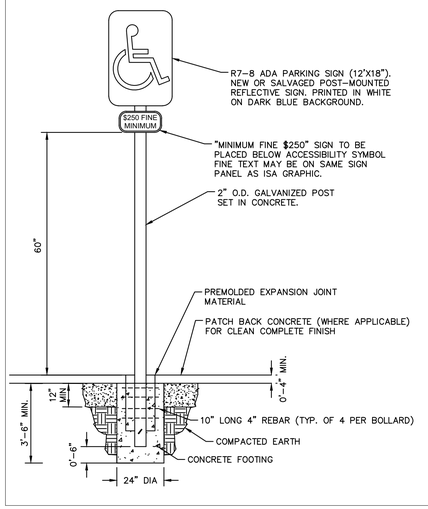
EQUIPMENTSHARE - 8026 IRON TOWER COURT

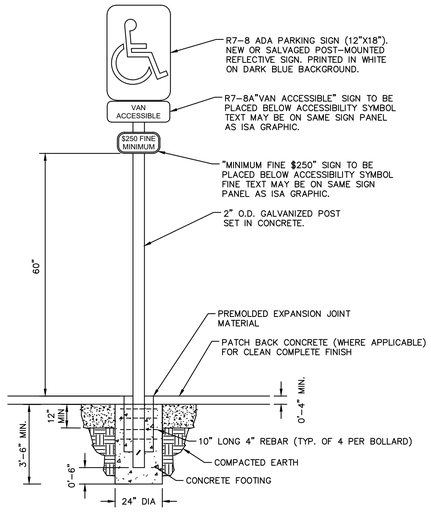
CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

PARKING DETAILS

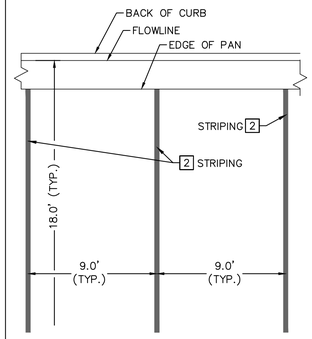
N.T.S.





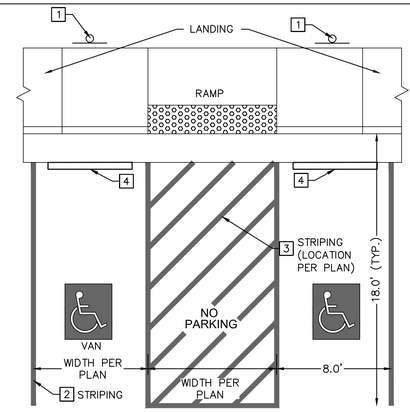
PARKING DETAILS

N.T.S.



STANDARD PARKING DETAIL

N.T.S.



*ALL STALLS ARE STANDARD UNLESS OTHERWISE NOTED ON PLAN.

ACCESSIBLE PARKING DETAIL

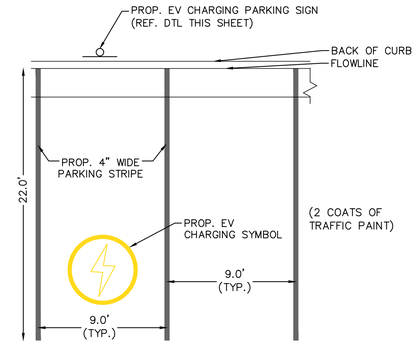
N.T.S.

1 PROPOSED ADA SIGNAGE. BOTTOM OF SIGN TO BE MOUNTED 5' ABOVE FINISHED GRADE.

2 PROPOSED 4" WIDE PARKING STRIPE

3 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER

4 PROPOSED WHEEL STOP BLOCK



ELECTRIC VEHICLE PARKING DETAIL

N.T.S.

EV CHARGING PARKING SIGNAGE

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chargepoint+

CT4000 Level 2 Commercial Charging Stations

Specifications and Ordering Information

Ordering Information

Specify model number followed by the applicable code(s). The order code sequence is: **Model-Options**, **Software**, **Services** and **Misc** are ordered as separate line items.

Hardware

Description		Order Code
Model	1830 mm (6') Single Port Bollard Mount 1830 mm (6') Dual Port Bollard Mount	CT4011 CT4021
	1830 mm (6') Single Port Wall Mount 1830 mm (6') Dual Port Wall Mount	CT4013 CT4023
	2440 mm (8') Dual Port Bollard Mount 2440 mm (8') Dual Port Wall Mount	CT4025 CT4027
Options	Integral Gateway Modem - USA Integral Gateway Modem - Canada	-GW1 -GW2
Misc	Power Management Kit Bollard Concrete Mounting Kit	CT4000-PMGMT CT4001-CCM

Software & Services

Description	Order Code
ChargePoint Commercial Service Plan	CTSW-SAS-COMM-n[1]
ChargePoint Service Provider Plan	CTSW-SAS-SP-n[1]
ChargePoint Assure	CT4000-ASSURE-n[2]
Station Activation and Configuration	CPSUPPORT-ACTIVE
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID

Note: All CT4000 stations come with 1 year of ChargePoint Assure coverage at no charge for qualified installations. Other conditions apply. All CT4000 stations require a network service plan.

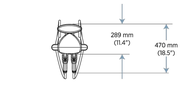
[1] Substitute n for desired years of service (1, 2, 3, 4, or 5 years).
[2] Substitute n for the duration of the additional coverage (1, 2, 3, or 4 years).

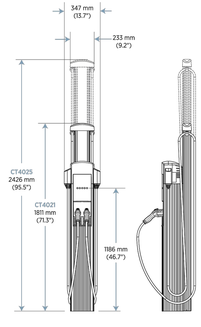
Order Code Examples

If ordering this	the order code is
1830 mm (6') Dual Port Bollard USA Gateway Station with Concrete Mounting Kit	CT4021-GW1 CT4001-CCM
ChargePoint Commercial Service Plan, 3 Year Subscription	CTSW-SAS-COMM-3
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID
2 Additional Years of Assure Coverage	CT4000-ASSURE2
1830 mm (6') Single Port Wall Mount Station	CT4013
ChargePoint Commercial Service Plan, 5 Year Subscription	CTSW-SAS-COMM-5
4 Additional Years of Assure Coverage	CT4000-ASSURE4
Station Activation and Configuration	CPSUPPORT-ACTIVE

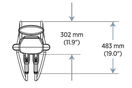
CT4021

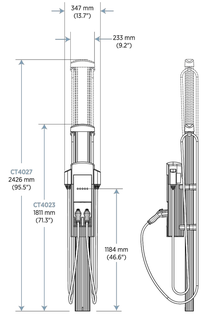
CT4021 1830 mm (6')
CT4025 2440 mm (8')
Bollard





CT4023 1830 mm (6')
CT4027 2440 mm (8')
Wall Mount





chargepoint+

CT4000 Family Specifications

Electrical Input	Single Port (AC Voltage 208/240V AC)			Dual Port (AC Voltage 208/240V AC)		
	Input Current	Input Power Connection	Required Service Panel Breaker	Input Current	Input Power Connection	Required Service Panel Breaker
Standard	30A	One 40A branch circuit	40A dual pole (non-GFCI type)	30A x 2	Two independent 40A branch circuits	40A dual pole (non-GFCI type) x 2
Standard Power Share	n/a	n/a	n/a	32A	One 40A branch circuit	40A dual pole (non-GFCI type)
Power Select 24A	24A	One 30A branch circuit	30A dual pole (non-GFCI type)	24A x 2	Two independent 30A branch circuits	30A dual pole (non-GFCI type) x 2
Power Select 24A Power Share	n/a	n/a	n/a	24A	One 30A branch circuit	30A dual pole (non-GFCI type)
Power Select 16A	16A	One 20A branch circuit	20A dual pole (non-GFCI type)	16A x 2	Two independent 20A branch circuits	20A dual pole (non-GFCI type) x 2
Power Select 16A Power Share	n/a	n/a	n/a	16A	One 20A branch circuit	20A dual pole (non-GFCI type)
Service Panel GFCI	Do not provide external GFCI as it may conflict with internal GFCI (CCID)					
Wiring - Standard	3-wire (L1, L2, Earth)			5-wire (L1, L1, L2, L2, Earth)		
Wiring - Power Share	n/a			3-wire (L1, L2, Earth)		
Station Power	8W typical (standby), 15W maximum (operation)					

Electrical Output		
Standard	7.2kW (240V AC @ 30A)	7.2kW (240V AC@30A) x 2
Standard Power Share	n/a	7.2kW (240V AC@30A) x 1 **or** 3.8kW (240V AC@16A) x 2
Power Select 24A	5.8kW (240V AC@24A)	5.8kW (240V AC@24A) x 2
Power Select 24A Power Share	n/a	5.8kW (240V AC@24A) x 1 **or** 2.9kW (240V AC@12A) x 2
Power Select 16A	3.8kW (240V AC@16A)	3.8kW (240V AC@16A) x 2
Power Select 24A Power Share	n/a	3.8kW (240V AC@16A) x 1 **or** 1.9kW (240V AC@8A) x 2

Functional Interfaces		
Connector(s) Type	SAE J1772™	SAE J1772™ x 2
Cable Length - 1830 mm (6') Cable Management	5.5 m (18')	5.5 m (18') x 2
Cable Length - 2440 mm (8') Cable Management	n/a	7 m (23')
Overhead Cable Management System	Yes	
LCD Display	145 mm (5.7") full color, 640x480, 30fps full motion video, active matrix, UV protected	
Card Reader	ISO 15693, ISO 14443, NFC	
Locking Holster	Yes	Yes x 2

Safety and Connectivity Features

Ground Fault Detection	20mA CCID with auto retry
Open Safety Ground Detection	Continuously monitors presence of safety (green wire) ground connection
Plug-Out Detection	Power terminated per SAE J1772™ specifications
Power Measurement Accuracy	+/- 2% from 2% to full scale (30A)
Power Report/Store Interval	15 minute, aligned to hour
Local Area Network	2.4 GHz Wi-Fi (802.11 b/g/n)
Wide Area Network	3G GSM, 3G CDMA

Safety and Operational Ratings

Enclosure Rating	Type 3R per UL 50E
Safety Compliance	UL listed for USA and cUL certified for Canada; complies with UL 2594, UL 2231-1, UL 2231-2, and NEC Article 625
Surge Protection	6kV @ 3000A. In geographic areas subject to frequent thunder storms, supplemental surge protection at the service panel is recommended.
EMC Compliance	FCC Part 15 Class A
Operating Temperature	-30°C to +50°C (-22°F to 122°F)
Storage Temperature	-30°C to +60°C (-22°F to 140°F)
Non-Operating Temperature	-40°C to +60°C (-40°F to 140°F)
Operating Humidity	Up to 85% @ +50°C (122°F) non-condensing
Non-Operating Humidity	Up to 95% @ +50°C (122°F) non-condensing
Terminal Block Temperature Rating	105°C (221°F)
Charging Stations per 802.11 Radio Group	Maximum of 10. Each station must be located within 45m (150') "line of sight" of a gateway station.

Contact Us

To order your CT4000 charging station:

- Visit chargepoint.com/sales
- Call +1.408.705.1992
- Email sales@chargepoint.com

chargepoint+

ChargePoint, Inc.
254 East Hacienda Avenue | Campbell, CA | 95008-6617 USA
+1.408.841.4500 or toll free +1.877.370.3802
chargepoint.com

Printed on paper made with 100% post-consumer fiber and 100% certified renewable energy, and processed chlorine free.

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CITY APPROVAL:

Kimley»Horn

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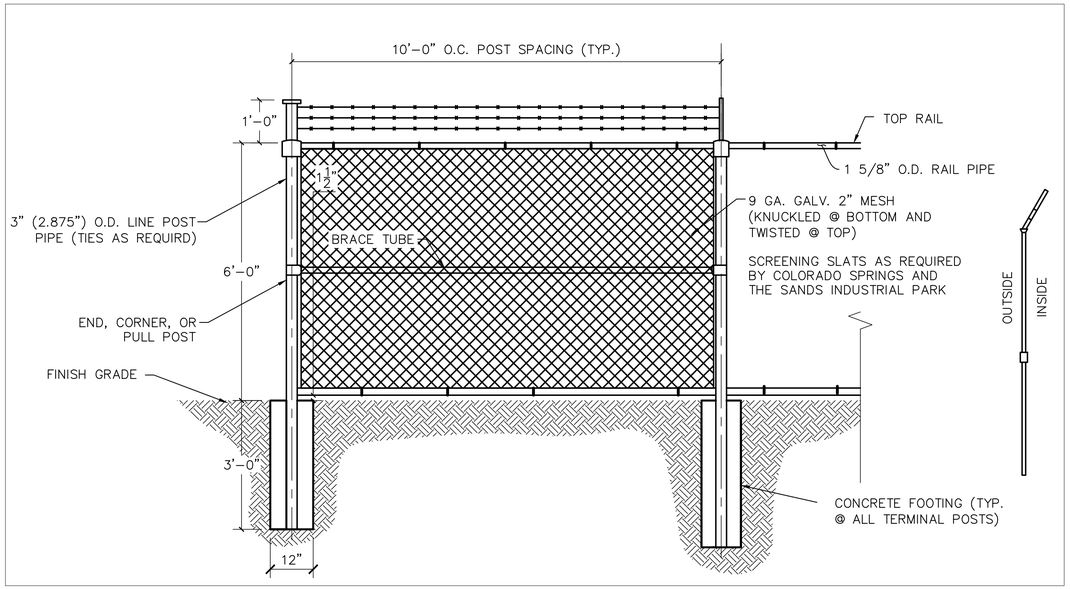
SITE DETAILS
SHEET 4 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

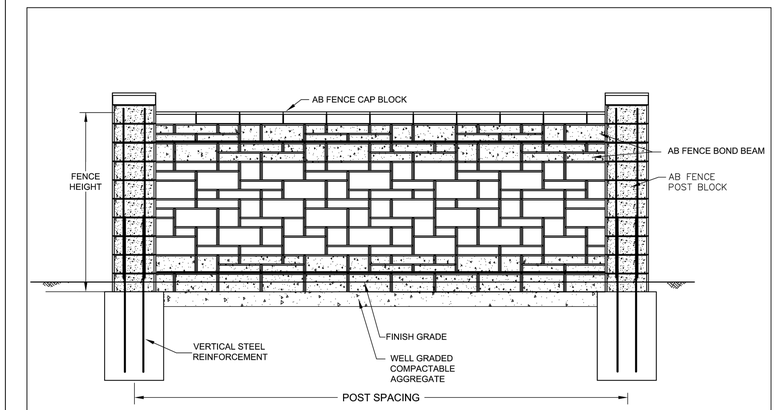
LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



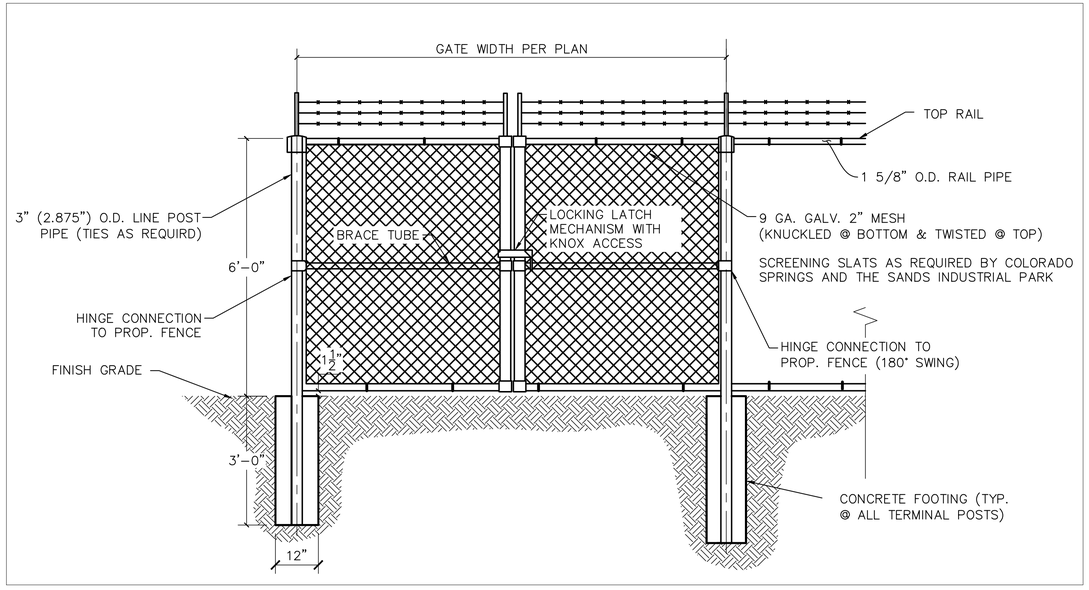
TYPICAL CHAIN LINK FENCE DETAIL

N.T.S.

* ALL FENCING TO MEET SCREENING REQUIREMENTS OF THE SANDS INDUSTRIAL PARK SUBDIVISION



Designed By:	Title: ASHLAR PATTERN FENCE WITH PATTERN BOND BEAMS	Date:
Checked By:	The purpose of this drawing is for preliminary design only. This drawing should not be used for final design or construction without the certification of a professional engineer registered in the state in which the fence will be built. The accuracy and use of details contained in this document are the sole responsibility of the user. The user must verify each detail for accuracy as they pertain to their particular project. © 2005 Allan Block	Project No:
Scale: NOT TO SCALE		Drawing No:



TYPICAL FENCE GATE DETAIL

N.T.S.

* ALL FENCING TO MEET SCREENING REQUIREMENTS OF THE SANDS INDUSTRIAL PARK SUBDIVISION

6' ALLAN BLOCK CONCRETE PRIVACY WALL

N.T.S.

FENCE TYPE LIMITED TO THE WEST PROPERTY LINE, COLOR AND STAMP DESIGN MAY VARY

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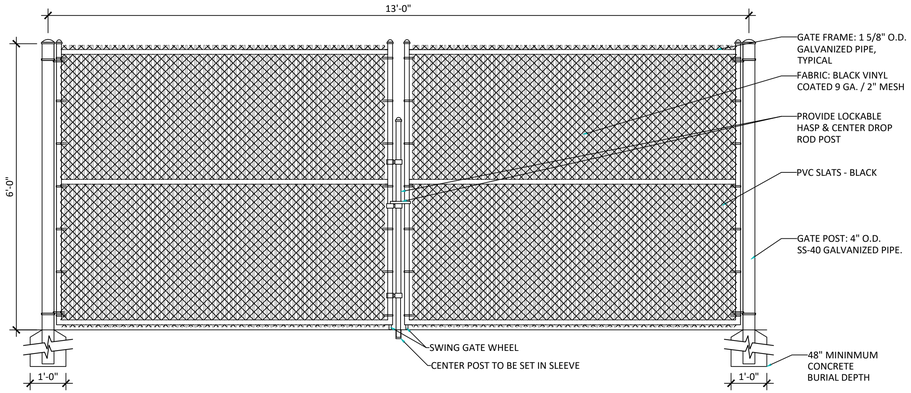
FENCE AND SCREEN WALL DETAILS

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

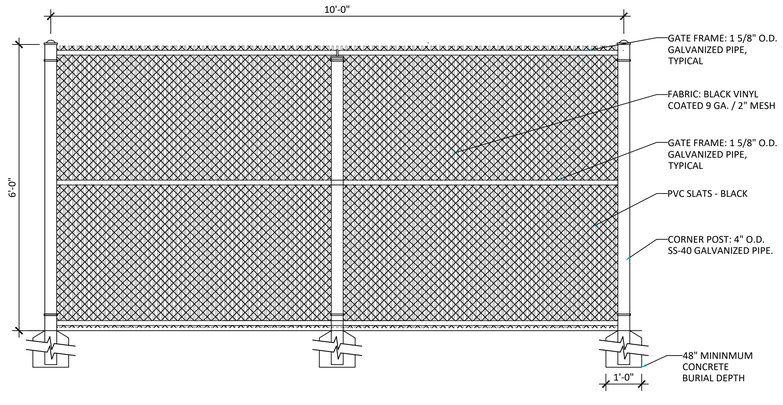
CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



TRASH ENCLOSURE - FRONT VIEW

N.T.S..



TRASH ENCLOSURE - SIDE VIEW

N.T.S..

BROADSTONE® 6IN - ROCKFACE

The BroadStone series minimizes installation costs while maximizing structural performance and aesthetics. The lug connection system ensures setback and ease of installation. The vertically aligned cores enhance core fill placement and speed of installation. BroadStone delivers these advantages across a full line of block heights and face styles, including multi-piece and ashlar options that install at single-piece speed.

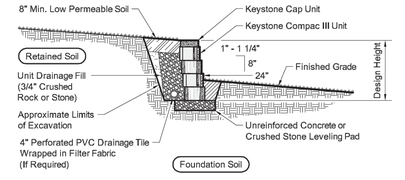
RETAINING WALLS COLUMNS STEPS

RockFace Unit

Unit Dimensions:
6"h x 18"w x 12"d (152mm x 457mm x 305mm)

Unit Weights:
54 lbs (24 kg)

Units/sq.ft.: .1



Typical Gravity Wall Section

Compac III Unit - 1" Setback

TYPICAL RETAINING WALL DETAIL

N.T.S.

(IMAGES COURTESY OF KEYSTONE RETAINING WALL SYSTEMS)

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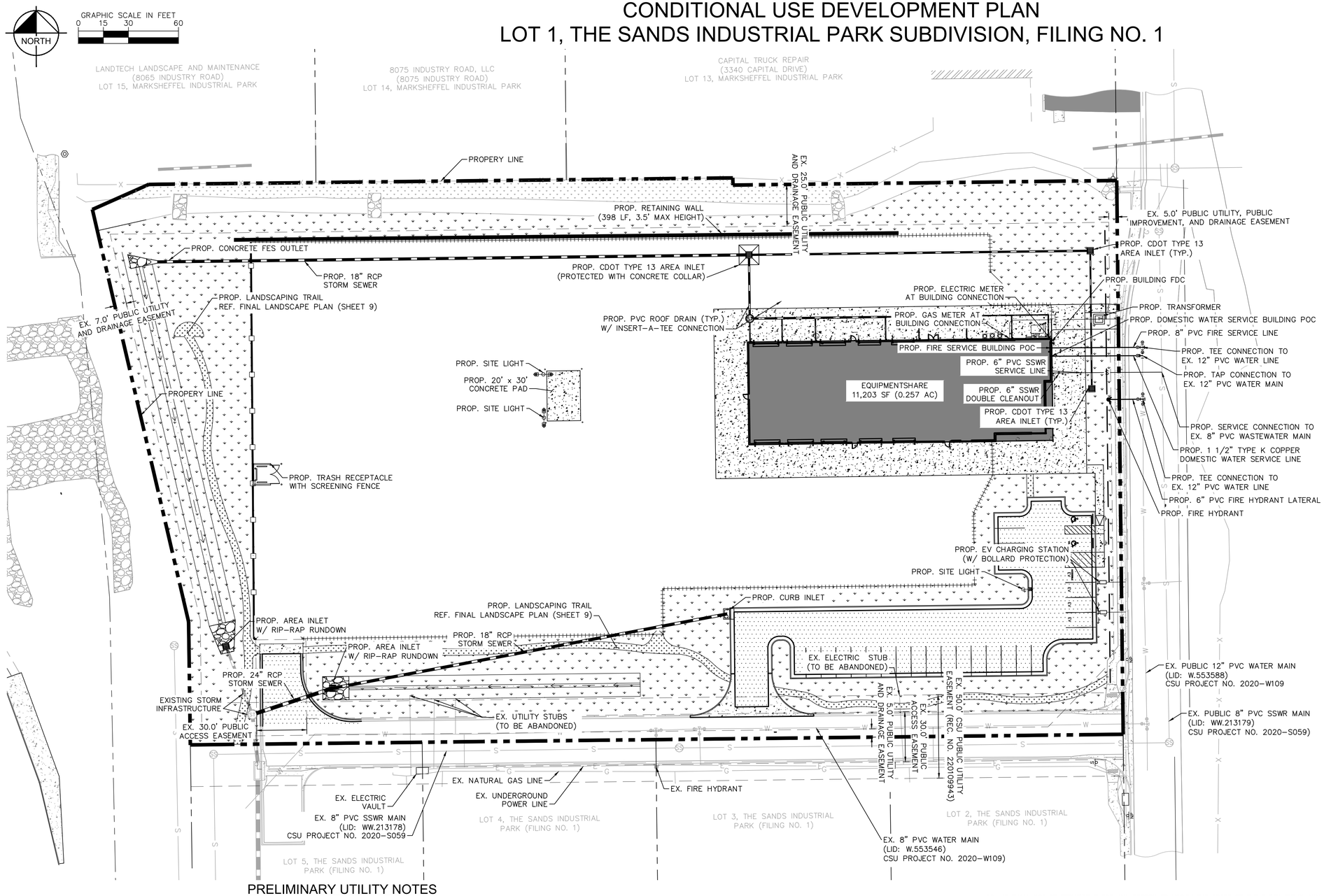
TRASH ENCLOSURE AND RETAINING WALL DETAILS

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



LEGEND

- SITE PROPERTY LINE
- PARCEL LINE (ADJACENT)
- EASEMENT LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE
- EX. NATURAL GAS LINE
- EX. ELECTRIC LINE
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. NATURAL GAS LINE
- PROP. ELECTRIC LINE
- PROP. WATER STRUCTURES (HYDRANT, GATE VALVE, TEE)
- PROP. SITE LIGHT

FIRE DEPARTMENT NOTES

1. 2015 IFC – ACCESS AND LOADING. FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS WITH A MINIMUM SINGLE AXLE WEIGHT OF 27,000 POUNDS. (2018 CSFC §D102.1)

ADDITIONAL NOTES

1. NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
2. UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
3. FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.

CITY APPROVAL:

PRELIMINARY UTILITY NOTES

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ('OWNER') ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ('PROPERTY') SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ('STANDARDS'), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A 'FIRST-COME, FIRST-SERVED' BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
12. ALL VEHICULAR ACCESS GATES TO MAINTENANCE AREAS ARE TO BE ACCESSIBLE BY COLORADO SPRINGS UTILITIES VIA KNOX BOX.

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PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

SHEET 7 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

NORTH

GRAPHIC SCALE IN FEET
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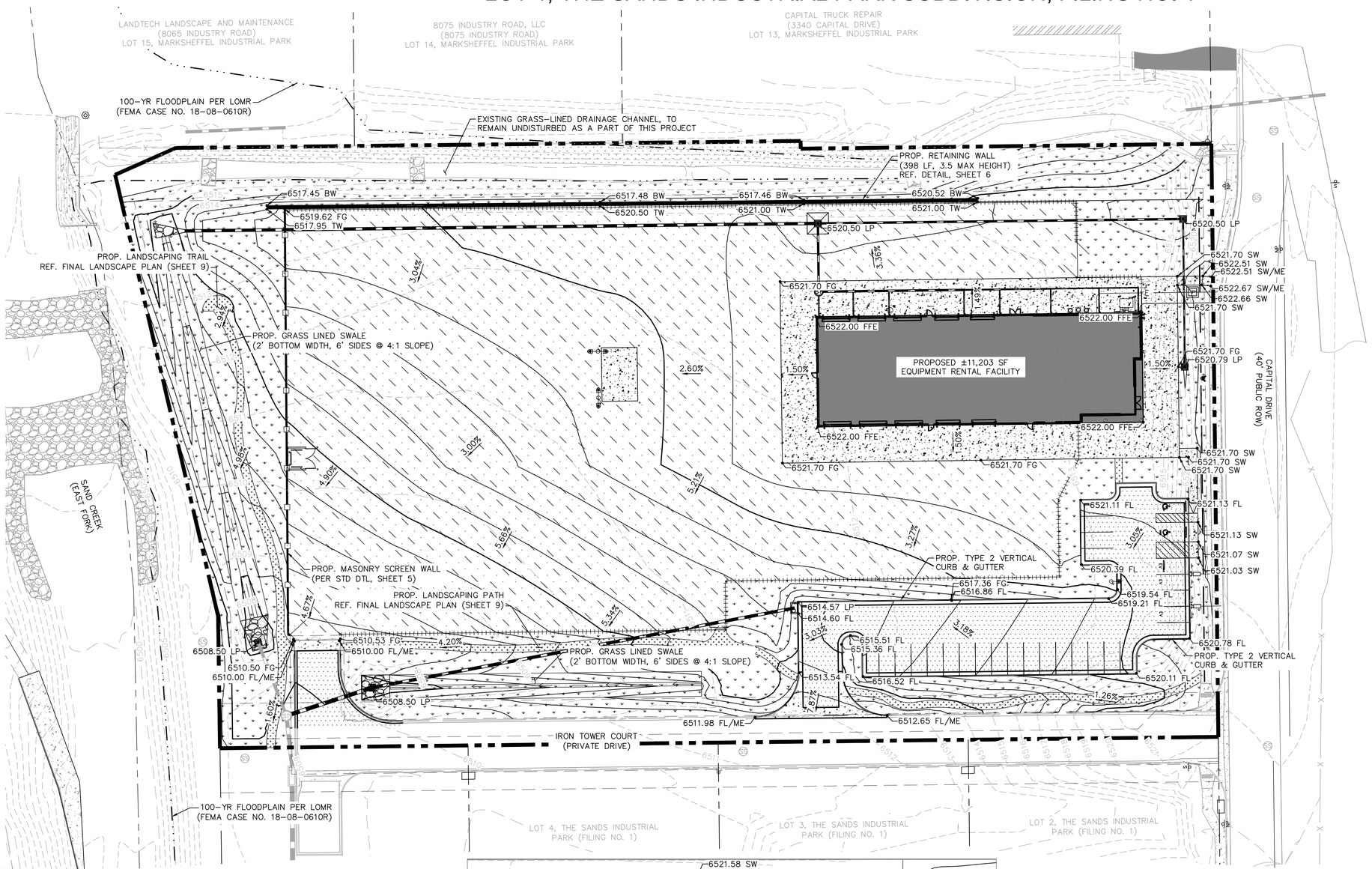
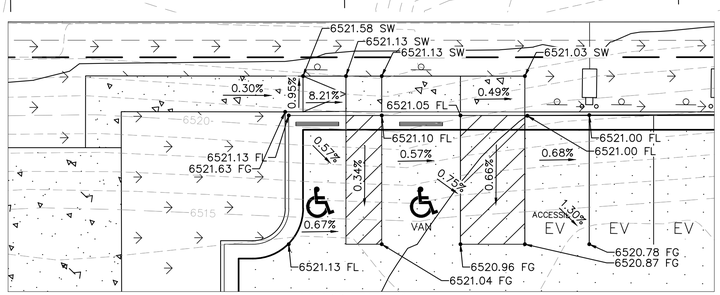


LEGEND

- SITE PROPERTY LINE
- PARCEL LINE (ADJACENT)
- EASEMENT LINE
- 100-YR FLOODPLAIN
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- PROPOSED GRAVEL YARD
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPE
- PROPOSED LANDSCAPE TRAIL

ABBREVIATION LEGEND

FFE – FINISHED FLOOR ELEVATION
FG – FINISH GRADE
SW – SIDEWALK
FL – FLOW LINE
HP – HIGH POINT
LP – LOW POINT
ME – MATCH EXISTING



INSET 1

CITY APPROVAL:

2 NORTH NEVADA AVENUE, SUITE 900
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GRAPHIC SCALE IN FEET
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PRELIMINARY GRADING PLAN
SHEET 8 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

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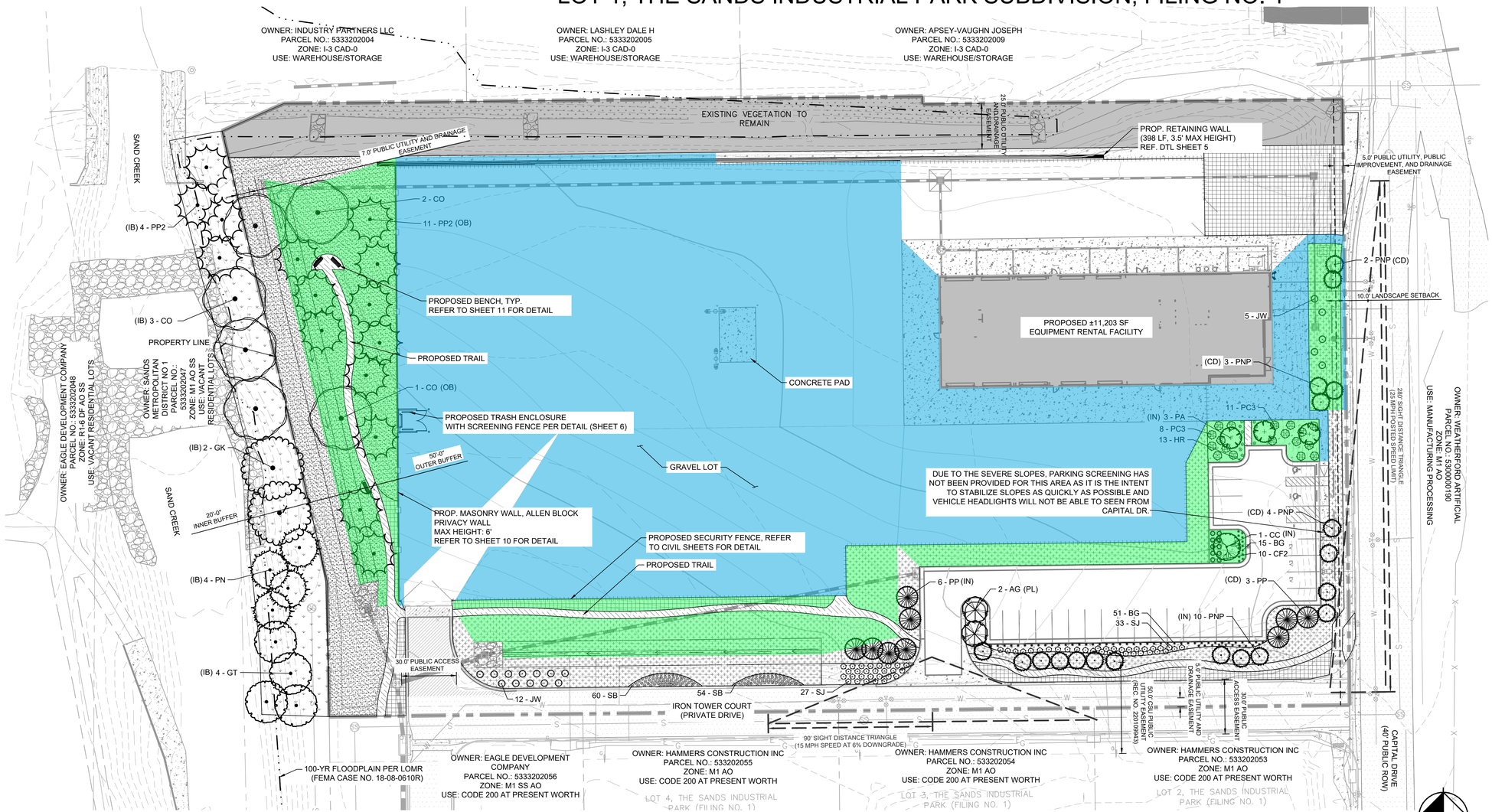
EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



LEGEND

- RECEIVING PERVIOUS AREAS
- UNCONNECTED IMPERVIOUS AREAS

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AG	2	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE` / AUTUMN BRILLIANCE SERVICEBERRY
	CC	1	CRATAEGUS CRUS-GALLI `INERMIS` / THORNLESS HAWTHORN
	CO	6	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	GK	2	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
	GT	4	GLEDITSIA TRIACANTHOS F. INERMIS / THORNLESS HONEY LOCUST
	PA	3	PRUNUS AMERICANA / AMERICAN PLUM

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	PN	4	PINUS NIGRA / AUSTRIAN PINE
	PNP	19	PINUS EDULIS / PINYON PINE
	PP	9	PICEA PUNGENS `BAKERI` / BAKER BLUE SPRUCE
	PP2	15	PINUS PONDEROSA / PONDEROSA PINE

DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CF2	10	CORNUS SERICEA `FARROW` / ARCTIC FIRE® RED TWIG DOGWOOD
	PC3	18	PHYSOCARPUS OPULIFOLIUS `CENTER GLOW` / CENTER GLOW NINEBARK
	SJ	60	SPIRAEA JAPONICA `NEON FLASH` / NEON FLASH SPIREA

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	JW	17	JUNIPERUS SCOPULORUM `WOODWARD` / WOODWARD COLUMNAR JUNIPER

GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	BG	66	BOUTELOUA GRACILIS `BLONDE AMBITION` / BLONDE AMBITION BLUE GRAMA
	SB	114	SCHIZACHYRIUM SCOPARIUM `BLAZE` / BLAZE LITTLE BLUESTEM

PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME
	HR	13	HEMEROCALLIS X `HAPPY RETURNS` / HAPPY RETURNS DAYLILY

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	FINES	3,258 SF	CRUSHER FINES - TAN BREEZE / ROCK MULCH
	ROCK1	6,495 SF	3/4" CIMARRON DECORATIVE ROCK / ROCK MULCH
	ROCK2	5,579 SF	1-1/2" MOUNTAIN GRANITE DECORATIVE GRANITE / ROCK MULCH
	SEED1	10,254 SF	STREAMBANK GRASS MIX SEE STEAMBANK GRASS MIX CHART FOR SEED TYPES AND LBS/ACRE ON SHEET 9, THE LANDSCAPE DETAILS PAGE OF THE LANDSCAPE PLAN SET.
	SEED2	17,539 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	SEED3	16,336 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	EXIST	16,811 SF	EXISTING VEGETATION TO REMAIN.

CITY APPROVAL:

Kimley»Horn

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FINAL LANDSCAPE PLAN

SHEET 9 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

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EQUIPMENTSHARE - 8026 IRON TOWER COURT
CONDITIONAL USE DEVELOPMENT PLAN
LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS ($400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.

c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.

d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 3/4 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.

g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.

h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.

i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:

2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.

2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

3. B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.

6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.

8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.

9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMEN.

10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.

11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".

13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.

14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.

16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.

b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

a. CONTRACTOR SHALL INSTALL 4"X1/8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

T. PARKING LOT ISLAND NOTE

1. THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.

U. MAINTENANCE

1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER

2. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

V. MISCELLANEOUS CITY SUBMITTAL NOTES

1. AN IRRIGATION AND FINAL LANDSCAPE PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT AND BEFORE ANY IRRIGATION CONSTRUCTION.

LANDSCAPE SETBACKS AND BUFFERS

STREET NAME OR BOUNDARY:	CAPITAL DR	NORTH BNDY	SOUTH BNDY	WEST BNDY
ZONE DISTRICT BOUNDARY:	NO	SAME USE	SAME USE SAME ZONE	SAME USE SAME ZONE
STREET CLASSIFICATION:	NON-ARTERIAL	N/A	N/A	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	10' / 10'	N/A	N/A	N/A
LINEAR FOOTAGE:	333'	621'	559'	238'
TREE PER FEET REQ.:	1 TREE PER 30 LF	N/A	N/A	N/A
NUMBER OF TREES REQ. / PROV.	12 / 12	N/A	N/A	N/A
EVERGREEN TREES REQ. / PROV.	N/A	N/A	N/A	N/A
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	CD	MK	SB	EB

PARKING LOT LANDSCAPING

NUMBER OF VEHICLE SPACES PROVIDED:	30	
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS	
SHADE TREES REQ. / PROV.:	2 / 2	
PARKING LOT FRONTAGES:	EAST	SOUTH
LENGTH OF FRONTAGE:	79'	154'
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	79'	154'
LENGTH OF BERM OR FENCE REQ. / PROV.:	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	PL	

SIGNATURE PLANTS

SIGNATURE TREES	SIGNATURE SHRUBS
67 SIGNATURE TREES PROVIDED	225 SIGNATURE SHRUBS PROVIDED
67 TOTAL TREES PROVIDED	298 TOTAL SHRUBS PROVIDED
100% SIGNATURE TREES	76% SIGNATURE SHRUBS

INTERNAL LANDSCAPING

NET SITE AREA:	194,319 SF (4.46 AC)
PERCENT MINIMUM INTERNAL AREA:	5%
INTERNAL LANDSCAPE AREA REQ. / PROV.	9,716 SF / 65,012 SF
TREE PER FEET REQ.	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.	20 / 20
SHRUB SUBSTITUTES REQ. / PROV.	0 / 123
ORN. GRASS SUBSTITUTES REQ. / PROV.	0 / 200
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.	75% / 75.98%

STREAMSIDE OVERLAY

STREAM NAME - TYPE:	SAND CREEK EAST FORK - TYPE 1	
BUFFER LINE:	INNER BUFFER	OUTER BUFFER
BUFFER WIDTH:	20'	50'
LINEAR FOOTAGE:	328'	343'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 30 LF
TREES REQ. / PROV.:	17 / 17	12 / 12
SHRUB SUBSTITUTES REQ. / PROV.:	0 / 0	0 / 0
AREA WITHIN BUFFER:	8,354 SF	23,075 SF
IMPERVIOUS SURFACE ALLOWED (25%):	0 SF	N/A
IMPERVIOUS SURFACE PROPOSED:	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IB	OB

Schematic Landscape Diagram

Climate Zone (From Figure 4 of Landscape Policy Manual) - Circle One:

Foothills | [Foothills & Plains] | Plains

Plant Communities
-to be labeled by number(s) on diagram:

1 - Semiarid Shrublands
2 - Pinon-juniper woodlands
3 - Prairie
4 - Lower Elevation Riparian
5 - Foothill Shrublands
6 - Ponderosa Pine Forest
7 - Upper Elevation Riparian
8 - Douglas-fir Forest

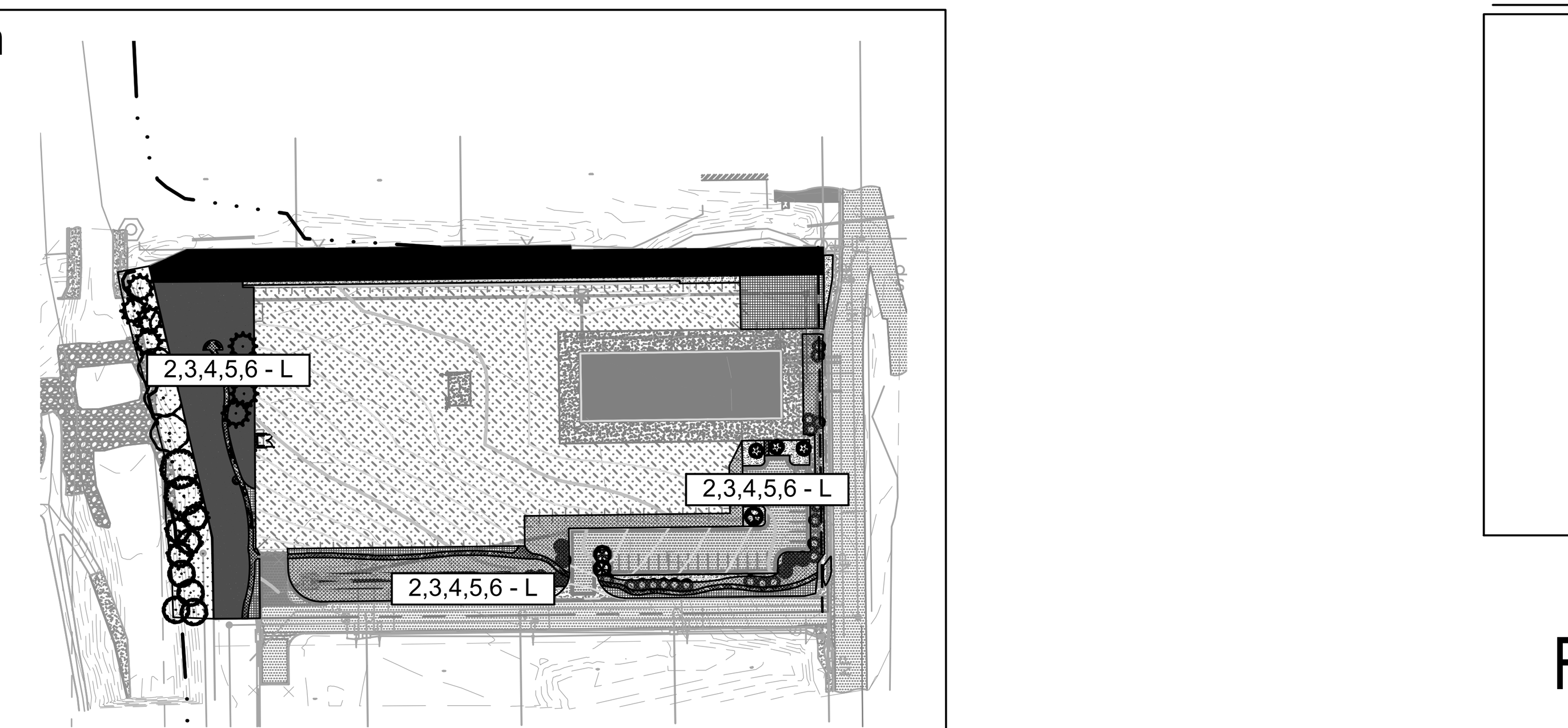
Hydrozones (supplemental water) -to be labeled by letter(s) on diagram:

V - Very Low (0 to 7 inches per year)

L - Low (7 to 15 inches per year)

M - Moderate (15 to 25 inches per year)

H - High (more than 25 inches per year)



CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

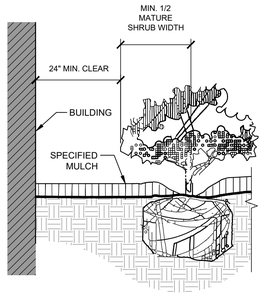
FINAL LANDSCAPE NOTES

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

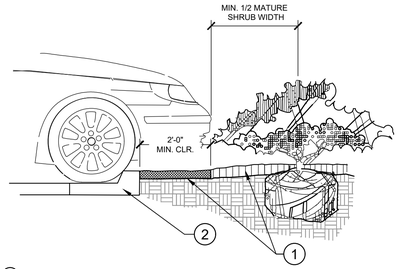
LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



NOTES:

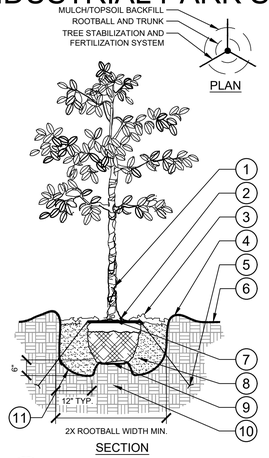
1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

1 / 10 PLANTINGS ADJACENT TO BUILDINGS
SECTION NTS



1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
2. CURB / PARKING LOT EDGE.

2 / 10 PARKING SPACE/CURB PLANTING
SECTION NTS

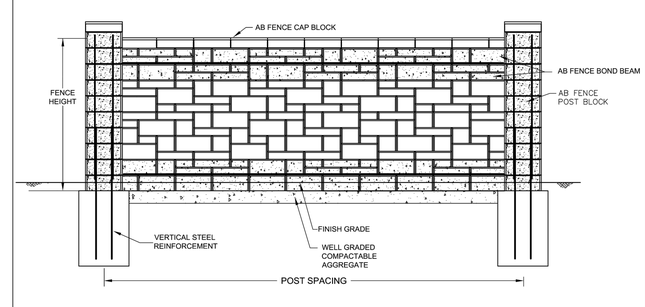


1. TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT.
2. 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.
3. 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. 4" HIGH BERM, FIRMLY COMPACTED.
5. ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
6. FINISHED GRADE. (SEE GRADING PLAN)
7. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
8. PREPARED PLANTING SOIL AS SPECIFIED.
9. TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.
10. UNDISTURBED NATIVE SOIL.
11. SCARIFY BOTTOM AND SIDES OF PLANTING PIT.

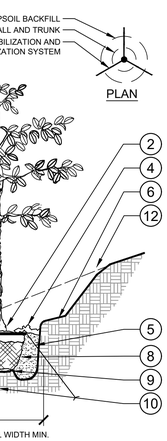
NOTES:

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

3 / 10 TREE PLANTING
SECTION / PLAN NTS



Designed By:	Title: ASHLAR PATTERN FENCE WITH PATTERN BOND BEAMS	Date:
Checked By:	The purpose of this drawing is for preliminary design only. This drawing should not be used for final design or construction without the certification of a professional engineer registered in the state in which the fence will be built. The accuracy and use of details contained in this document are the sole responsibility of the user. The user must verify each detail for accuracy as they pertain to their particular project. © 2005 Allan Block	Project No:
Scale: NOT TO SCALE		Drawing No:

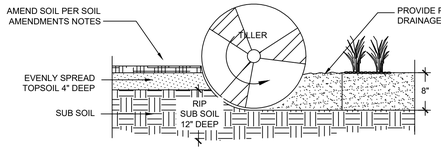


1. TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT.
2. 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.
3. 4" HIGH BERM, FIRMLY COMPACTED NATIVE SOIL.
4. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. 8' x 2" TREATED LODGE POLE PINE TREE STAKES, TWO (2) PER TREE; AVOID PENETRATING ROOT BALL. 14 GAUGE, ANNEALED STEEL GUY WIRE. STAPLE ENDS TO INSIDE OF TREE STAKE. ADJUST TENSION BY TURNING WIRE PAIRS FROM THE MIDDLE
6. 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE. (SEE GRADING PLAN) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
7. PREPARED PLANTING SOIL AS SPECIFIED.
8. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.
9. UNDISTURBED NATIVE SOIL.
10. SCARIFY BOTTOM AND SIDES OF PLANT OPENING.
11. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

NOTES:

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

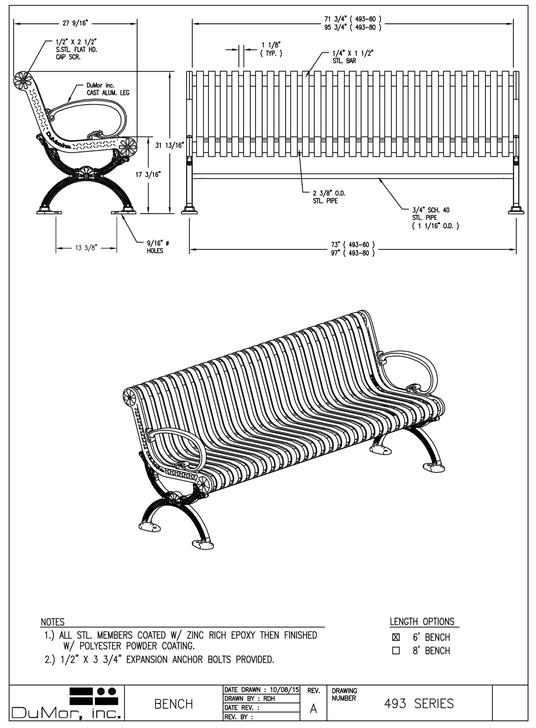
4 / 10 TREE PLANTING ON A SLOPE
SECTION / PLAN NTS



NOTES:

1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
2. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING
3. COMPOST TO CONSIST OF 1 YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
4. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
5. REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.

5 SOIL PREP - PLANTING BEDS
NTS KHA-LP-DET-31



NOTES
1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.

LENGTH OPTIONS
☒ 6' BENCH
☐ 8' BENCH

DuMor, Inc.	BENCH	DATE DRAWN : 10/08/15	REV.	DRAWING NUMBER	493 SERIES
		DRAWN BY : RDH	A		
		DATE REV. :			
		REV. BY :			

6 DUMOR INC. 6' BENCH

FENCE TYPE LIMITED TO THE WEST PROPERY LINE, COLOR AND STAMP TO MATCH ARCHITECTURE AND BE APPROVED BY OWNER

7 6 FT ALLAN BLOCK MASONRY FENCE

CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

FINAL LANDSCAPE DETAILS
SHEET 11 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

SEED/RESTORATION MIXES:

Slope / Streambank Grass Mix

Native Grasses PLS

A heavy mix of broad spectrum native grasses plus cover crop for use with netting in stream bank stabilization. Full sun, & tolerant of drying out. Seed as necessary for erosion control, but best in spring.

Species	Common Name	lb/ac
Andropogon gerardii	Big Bluestem	5.000
Bouteloua curtipendula	Side Oats Gramma	5.000
Elymus canadensis	Canada Rye	8.000
Elymus virginicus	Virginia Rye	8.000
Glyceria striata	Fowl Manna Grass	1.000
Panicum virgatum	Switch Grass	1.000
Schizachyrium scoparium {Andropogon s}	Little Bluestem	5.000
Sorghastrum nutans	Indian Grass	10.000
Spartina pectinata	Cord Grass	0.500
Nurse Crops		
Agrostis gigantea {A alba}	Red Top Grass	1.000
Avena sativa	Seed Oats	20.000
Lolium multiflorum	Italian Rye	5.000
v120812		*
total		69.500
total native matrix		43.500

All items subject to availability. Mix composition may vary seasonally.

*

Table 5-1. El Paso County Conservation District All-Purpose Mix for Upland, Transition and Permanent Control Measure Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				• Irrigated broadcast • Irrigated hydroseeded	• Non-irrigated broadcast • Non-irrigated hydroseeded • Irrigated drilled	• Non-irrigated drilled
				80 seeds/sq ft	40 seeds/sq ft	20 seeds/sq ft
Bluestem, big	*Andropogon gerardii*	Warm, sod	20	4.4	2.2	1.1
Grama, blue	*Bouteloua gracilis*	Warm, bunch	10	0.5	0.25	0.13
Green needlegrass[2]	*Nassella viridula*	Cool, bunch	10	2	1	0.5
Wheatgrass, western[2]	*Pascopyrum smithii*	Cool, sod	20	6.4	3.2	1.6
Grama, sideoats	*Bouteloua curtipendula*	Warm, bunch	10	2	1	0.5
Switchgrass[2]	*Panicum virgatum*	Warm, bunch/sod	10	0.8	0.4	0.2
Prairie sandreed	*Calimovilfa longifolia*	Warm, sod	10	1.2	0.6	0.3
Yellow indiangrass[2]	*Sorghastrum nutans*	Warm, sod	10	2	1	0.5
		Seed rate (lbs PLS/acre)		19.3	9.7	4.8

Table 5-2. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				• Irrigated broadcast • Irrigated hydroseeded	• Non-irrigated broadcast • Non-irrigated hydroseeded • Irrigated drilled	• Non-irrigated drilled
				80 seeds/sq ft	40 seeds/sq ft	20 seeds/sq ft
Buffalograss	*Buchloe dactyloides*	Warm, sod	25	9.6	4.8	2.4
Grama, blue	*Bouteloua gracilis*	Warm, bunch	20	10.8	5.4	2.7
Grama, sideoats	*Bouteloua curtipendula*	Warm, bunch	29	5.6	2.8	1.4
Green needlegrass	*Nassella viridula*	Cool, bunch	5	3.2	1.6	0.8
Wheatgrass, western	*Pascopyrum smithii*	Cool, sod	20	12	6	3
Dropseed, sand	*Sporobolus cryptandrus*	Warm, bunch	1	0.8	0.4	0.2
		Seed rate (lbs PLS/acre)		42	21	10.3

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	AG	2	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE` / AUTUMN BRILLIANCE SERVICEBERRY	B & B	2" CAL MIN	15`-20`	15`-25`
	CC	1	CRATAEGUS CRUS-GALLI `INERMIS` / THORNLESS HAWTHORN	B & B	2" CAL MIN	20`-30`	20`-30`
	CO	6	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2" CAL MIN	40`-50`	50`-60`
	GK	2	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	B & B	2" CAL MIN	40`-50`	60`+
	GT	4	GLEDITSIA TRIACANTHOS F. INERMIS / THORNLESS HONEY LOCUST	B & B	2" CAL MIN	30`-40`	30`-40`
	PA	3	PRUNUS AMERICANA / AMERICAN PLUM	B & B	2" CAL MIN	8`-12`	10`-25`
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	PN	4	PINUS NIGRA / AUSTRIAN PINE	B & B	8` HGT.	30`-40`	40`-60`
	PNP	19	PINUS EDULIS / PINYON PINE	B & B	8` HGT.	10`-20`	20`-30`
	PP	9	PICEA PUNGENS `BAKERI` / BAKER BLUE SPRUCE	B & B	8` HGT.	15`-20`	30`-40`
	PP2	15	PINUS PONDEROSA / PONDEROSA PINE	B & B	8` HGT.	30`-40`	60`+
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	CF2	10	CORNUS SERICEA 'FARROW' / ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL.	SEE PLAN	3`-4`	3`-4`
	PC3	18	PHYSOCARPUS OPULIFOLIUS 'CENTER GLOW' / CENTER GLOW NINEBARK	5 GAL.	SEE PLAN	6`-8`	6`-8`
	SJ	60	SPIRAEA JAPONICA `NEON FLASH` / NEON FLASH SPIREA	5 GAL.	SEE PLAN	3`-4`	2`-3`
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	JW	17	JUNIPERUS SCOPULORUM 'WOODWARD' / WOODWARD COLUMNAR JUNIPER	5 GAL	SEE PLAN	2`-4`	15`-20`
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	BG	66	BOUTELOUA GRACILIS `BLONDE AMBITION` / BLONDE AMBITION BLUE GRAMA	1 GAL.	SEE PLAN	2`-3`	2`-3`
	SB	114	SCHIZACHYRIUM SCOPARIUM 'BLAZE' / BLAZE LITTLE BLUESTEM	1 GAL.	SEE PLAN	18"-24"	2`-3`
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	HR	13	HEMEROCALLIS X `HAPPY RETURNS` / HAPPY RETURNS DAYLILY	1 GAL.	SEE PLAN	18"-24"	18"-24"

LANDSCAPE MATERIALS SCHEDULE

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	FINES	3,258 SF	CRUSHER FINES - TAN BREEZE / ROCK MULCH	ROCK MULCH			PIONEER SAND
	ROCK1	6,495 SF	3/4" CIMARRON DECORATIVE ROCK / ROCK MULCH	ROCK MULCH			PIONEER SAND & GRAVEL
	ROCK2	5,579 SF	1-1/2" MOUNTAIN GRANITE DECORATIVE GRANITE / ROCK MULCH	ROCK MULCH			PIONEER SAND & GRAVEL
	SEED1	10,254 SF	STREAMBANK GRASS MIX SEE STEAMBANK GRASS MIX CHART FOR SEED TYPES AND LBS/ACRE ON SHEET 9, THE LANDSCAPE DETAILS PAGE OF THE LANDSCAPE PLAN SET.	SEED			
	SEED2	17,539 SF	EPC LOW GROW MIX INSTALL PER TABLE 5-2. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED	PER CHART		PAWNEE BUTTES SEED
	SEED3	16,336 SF	EPC ALL PURPOSE MIX INSTALL PER TABLE 5-1. SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED	PER CHART		
	EXIST	16,811 SF	EXISTING VEGETATION TO REMAIN.	VEG			

SOIL AMENDMENTS:			TEST NO.: PH = 7.67			SOIL TYPE = LOAMY SAND ORGANIC MATERIAL = 0.98 %		
GROUND PLANE TREATMENT	CLASS I OM AMENDMENT OM	NITROGEN =5.3 ppm	PHOSPHORUS =25 ppm	POTASSIUM =125 ppm	OTHER Zn,Fe,Mn,B or Cu	FERTILIZER	E.C.,SALT OR PH TREATMENT	ROTOTILL DEPTH
SODDED TURFGRASS	NA	NA	NA	NA	NA		NA	
SEEDED AREAS–NATIVE	1 CY of OM per 1,000 SF	58 lbs N. per acre	11 lbs P2O5 per acre	2 lbs K2O per. acre	0.2 lbs Cu per acre		NA	
TREES	3 CY of OM per 1,000 SF	1.9 lbs N. per 1000sf	NA	0.5 lbs. of K2O per 1,000 SF	NA		NA	
SHRUBS	3 CY of OM per 1,000 SF	1.9 lbs N. per 1000sf	NA	0.5 lbs. of K2O per 1,000 SF	NA		NA	

* USE CLASS I COMPOST AMENDMENTS AND ORGANIC AMENDMENTS AS SPECIFIED BELOW

ACCEPTABLE FERTILIZERS:
*USE CLASS I COMPOST.
* APPLY ADDITIONAL FERTILIZER FOR LOAM SOIL.
IF THE RECOMMENDATIONS NOTED ABOVE ARE NOT FOLLOWED BY THE RESPECTIVE PARTIES,THE CERTIFICATE OF OCCUPANCY MAY BE POSTPONED OR DENIED.
PROVIDE A COPY OF RECEIPT FOR ORGANIC AMENDMENT INSTALLED PRIOR TO FINAL INSPECTION.

CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453–0180

FINAL LANDSCAPE DETAILS (2)
SHEET 12 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

Plotted By:Petik, Grant Sheet Set:EquipmentShare Layout:LANDSCAPE DETAILS (2) May 03, 2023 06:12:45pm K:\cos_civil\196522000_equipmentshare at capitol dr\CADD\planSheets\DP\DP_LA.dwg May 03, 2023 6:12pm

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

100 YEAR FLOODPLAIN

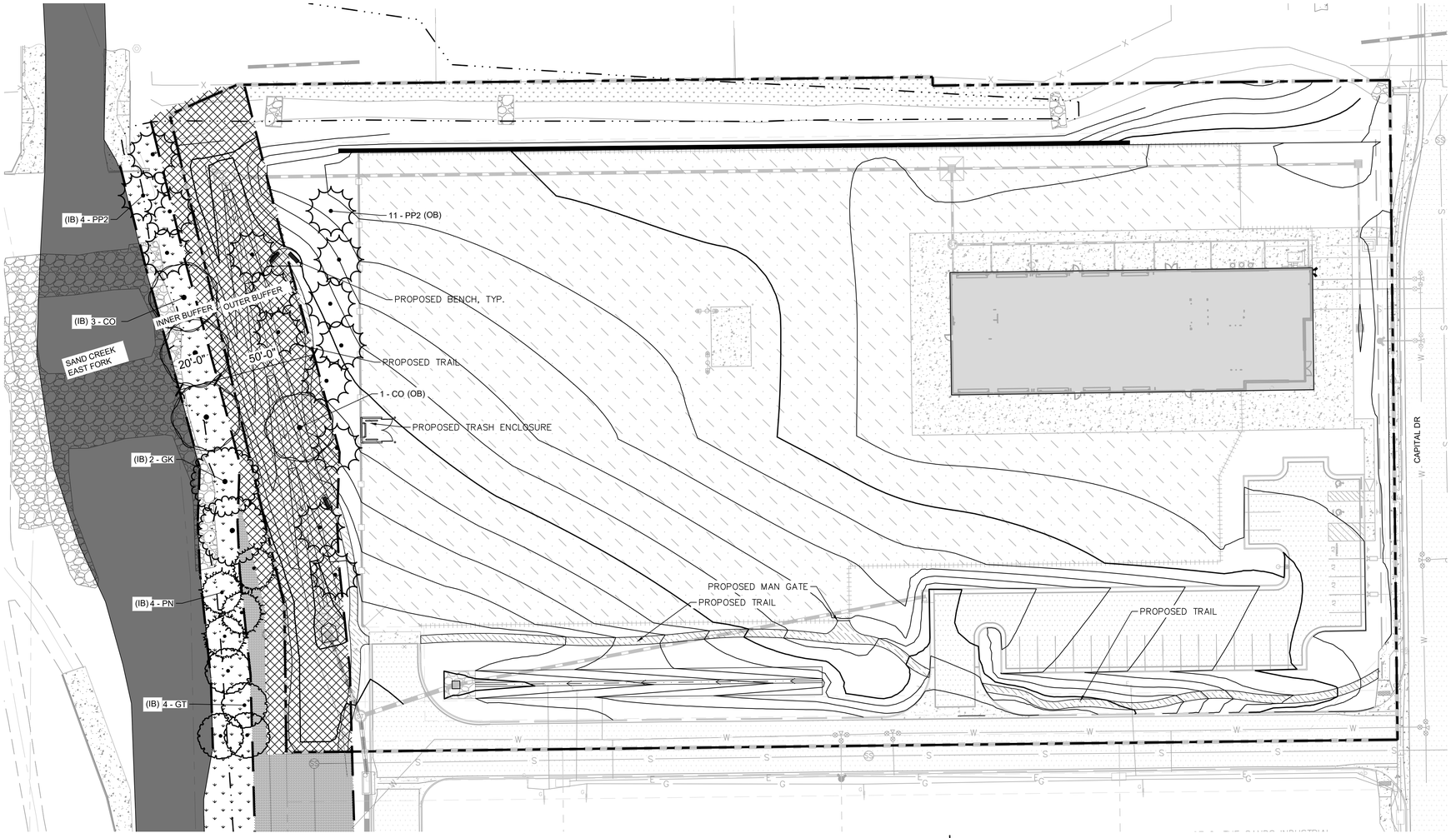
FEMA CLASSIFICATION

THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AND LOMR AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08041C0753G', EFFECTIVE DATE 12/7/2018.

STREAMSIDE LEGEND:

- PROPERTY LINE
- STREAMSIDE BUFFER DELINEATION LINES
- STREAM AREA
- INNER BUFFER, (OUTSIDE OF PROPERTY LINE)
- OUTER BUFFER, (OUTSIDE OF PROPERTY LINE)
- OUTER BUFFER, (INSIDE OF PROPERTY LINE)

** SEE STREAM SIDE DATA TABLE ON SHEETS 9 & 10



NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

CITY APPROVAL:

STREAMSIDE NOTES:

1. THIS STREAMSIDE CONCEPT PLAN IS BEING COMPLETED FOR THE PORTION OF SAND CREEK EAST FORK , A TYPE 2 SIZED CREEK, WHICH IS LOCATED ON THE WEST SIDE OF THE SITE. A BUFFER OF 90 FT FROM THE TOE OF THE CHANNEL IS PROVIDED OUTSIDE OF THE PROPERTY BOUNDARIES AND IS NOT TO BE DISTURBED FOR SAND CREEK EAST FORK.
2. THE STREAMS OUTER BUFFER, AS DEPICTED ON THE PLAN, SHALL BE 50 FT WIDE FOR SAND CREEK EAST FORK AND SHALL NOT BE DISTURBED.
3. THE STREAMS INNER BUFFER, AS DEPICTED ON THE PLAN, SHALL BE 20 FT WIDE FOR SAND CREEK EAST FORK AND SHALL NOT BE DISTURBED.
4. NO IMPERVIOUS SURFACES SHALL BE PROVIDED WITHIN THE INNER OR OUTER BUFFER.
5. ALL EXISTING VEGETATION ALONG SAND CREEK EAST FORK EAST FORK SHALL REMAIN IN PLACE AND SHALL NOT BE DISTURBED.
6. ALL REQUIRED TREES SHALL BE FULFILLED USING PROPOSED VEGETATION ALONG THE CREEK.
7. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH THE BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
8. THE APPLICANT SHALL PROVIDE CONNECTIVITY WITHIN THE STREAMSIDE BUFFFER AREAS FOR PEDESTRIAN USE THAT, IF POSSIBLE, CONNECTS THIS SITE TO THE SURROUNDING SITES AND TO ADJACENT TRAIL SYSTEMS.

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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STREAMSIDE OVERLAY PLAN
SHEET 13 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002

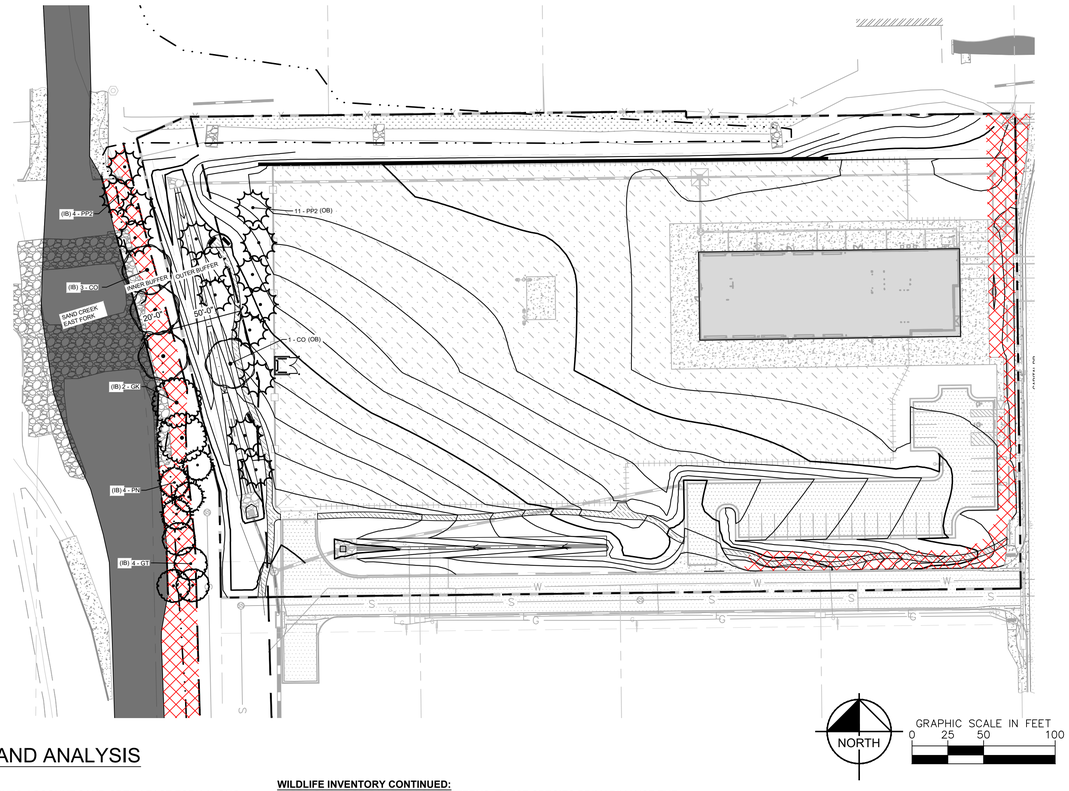
EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1

STREAMSIDE OVERLAY CRITERIA

1. **GRADING AND LANDFORM**
   HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THE STREAM SIDE ORDINANCE AS WELL AS OTHER CITY GRADING REGULATIONS?
   - NO GRADING WILL BE MODIFIED AND NO LAND WILL BE DISTURBED INSIDE THE INNER BUFFER OF THE SAND CREEK EAST FORK.
2. **SITE DESIGN**
   DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAM SIDE SETTING? HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESS WAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS, OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?
   - THE PROJECT DOES NOT EFFECT THE NATURAL OR CURRENT STREAM ECOSYSTEM IN ANY WAY. NO LINKAGE OF THE PROPERTY TO ADJACENT PROPERTIES IS PROPOSED BUT A SMALL TRAIL AND SITTING AREA HAS BEEN DESIGNED TO ACT AS A NATURAL PLAZA AND EMPLOYEE RECREATIONAL AREA.
3. **WILDLIFE HABITAT PRESERVATION**
   HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?
   - THE PROJECT HAS NO IMPACT ON WILDLIFE HABITAT WITHIN THE STREAM BUFFERS OR THE RIPARIAN ECOSYSTEMS AS NO DISTURBANCE IS PROPOSED WITHIN THE STREAM SIDE BUFFER AND ONLY A VERY SMALL PORTION IS EVEN CROSSING THE PROJECT PROPERTY LINE. WITH THE PROPOSED SEED MIXES AND LANDSCAPE INCLUDED ONLY BENEFITS WILL COME TO THE WILDLIFE HABITAT AS ADDITIONAL SPECIES OF FOOD AND COVER IS INTRODUCED AND SHADE FROM TREES FOR PROTECTION.
4. **TRAILS AND RECREATION**
   HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS OR OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?
   - THERE IS AN EXISTING SOFT SURFACE (BREEZE) TRAIL BORDERING THE ENTIRE WESTERN SIDE OF THE SAND CREEK ON THE WESTERN BOUNDARY OF THE PROJECT SITE. THIS TRAIL CONNECT MARKSHEFFEL ROAD AT THE PROJECT SITE TO AND BEYOND CONSTITUTION AVE. AND WILL NOT BE REMOVED, DISTURBED OR MODIFIED IN ANY WAY. NO ADDITIONAL TRAIL, CONNECTION OR RECREATIONAL OPPORTUNITY ARE PLANNED FOR THE EAST SIDE OF THE SAND CREEK. THE ONLY OTHER CONNECTIVITY IS THE EXISTING CONCRETE TRAIL THAT IS ADJACENT TO CAPITAL DRIVE THAT WILL REMAIN.
5. **FLOODPLAIN**
   HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?
   - THE BUILDING, PEDESTRIAN WALKS, PARKING AND SHOWCASE AREA ALL ABOVE THE 100 YEAR FLOODPLAIN WHICH WILL PROTECT THE BUILDING AND ITS OUTDOOR AREAS.
6. **SIGNIFICANT NATURAL FEATURES**
   HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAM SIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?
   - THE ONLY PROMINENT NATURAL FEATURE ON THE SITE IS THE SAND CREEK FORK ON THE WESTERN EDGE. THIS FEATURE IS NOT BEING NEGATIVELY IMPACTED AND ONLY ENHANCED AS PART OF THIS PROJECT.
7. **COMPLEMENTARY PLANS**
   DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUB-AREA PLANS (SUCH AS THE CITY GREEN WAY MASTER PLAN, CITY OPEN SPACE PLAN, OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY AND OR ANY APPROVED CITY ENGINEERING PROJECTS AND HABITAT CONSERVATION PLANS?
   - THERE ARE NO SUB-AREA PLANS OR DRAINAGE IMPROVEMENTS PLANNED OR IDENTIFIED FOR THESE SECTIONS OF THE CREEK WITHIN THE DRAINAGE BASIN, AND THE IMPROVEMENT ARE BELIEVED TO BE CONSISTENT WITH THE CITY'S STREAM SIDE OVERLAY OBJECTIVES.
8. **RIPARIAN BUFFERS AND IMPERVIOUS SURFACES**
   8.1 *IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NON-POINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?*
   - A RIPARIAN FOREST BUFFER HAS BEEN DESIGNED INTO THE SITE IN THE FORM OF A STORMWATER DETENTION BASIN/SWALE THAT HAS BEEN RE-FORESTED DUE TO STREAMSIDE REQUIREMENTS. THIS WILL BE A POINT FOR POLLUTANTS TO BE TRAPPED PRIOR TO FLOWING INTO THE CREEK.
   8.2 *EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUS RESTRICTIONS ACROSS THE ENTIRE OVERLAY? THE INNER BUFFER WILL CONTAIN NO IMPERVIOUS SURFACES*
   - NEITHER THE INNER BUFFER NOR THE OUTER BUFFER WILL CONTAIN ANY IMPERVIOUS SURFACE OR BE DISTURBED AT ALL..
   8.3 *INCORPORATE ALL STORM WATER BEST MANAGEMENT PRACTICES REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON-SITE FILTRATION OF STORM WATER AND PROTECT WATER QUALITY?*
   - SEE RESPONSE ABOVE FOR 8.1.
   8.4 INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDES OF THE STREAM?
   - THE STREAM WILL BE VISUALLY ENHANCED AN PARTLY BUFFERED FROM OUR PROJECT SITE AS IT IS LOWER IN ELEVATION AND WILL BE SCREENED WITH THE REQUIRED TREES. INCORPORATING VISUAL BUFFERS BETWEEN THE STREAM AND SITES OPPOSING SIDES OF US WILL NOT BE POSSIBLE FOR THIS SITE AS WE DO NOT HAVE ACCESS TO ADJACENT PROPERTIES. THE NORTH AND WEST NEIGHBORS ARE ALREADY EXISTING WITH THE SOUTHERN PROPERTY DEVELOPMENT BEING MOSTLY UNDERWAY THROUGH THEIR APPROVAL PROCESS.
9. **LANDSCAPE**
   9.1 *ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN RE-VEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES SET FORTH IN APPENDIX A OF THE LANDSCAPING POLICY MANUAL?*
   - ALL LANDSCAPE AND PLANTING STANDARDS FOR THE STREAMSIDE REQUIREMENTS HAVE BEEN FULLY MET FOR BOTH THE INNER AND THE OUTER BUFFER AREAS. ALL DISTURBED AREAS FROM THE CREEK CREATION, THE SITE GRADING AND THE TREE PLANTING IS PROPOSED TO HAVE APPROPRIATE NATIVE SEED HATCH APPLIED FOR RE-VEGETATION PURPOSED AND TO MINIMIZE EROSION AND STABILIZE THE BANKS. ALL TREES PLANTED TO FULFILL THE STREAMSIDE REQUIREMENTS HAVE BEEN CHOSEN FROM THE LOWER RIPARIAN SECTION OF APPENDIX A IN THE COLORADO SPRINGS LANDSCAPE POLICY MANUAL.
   9.2 *STANDARDS HAVE BEEN MET, AND SLOPE STABILIZATION PLANTS FROM THE STREAM SIDE MANUAL ARE UTILIZED. DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY LANDSCAPE CODE?*
   - ALL LANDSCAPE CODES ARE MET IN THE PROPOSED PLAN.
10. **STREAM BANK STABILIZATION**
    HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE EXCEEDING FIFTEEN PERCENT (15%) SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED?
    - OTHER THAN THE TREE PLANTINGS, THE EXISTING STREAM BANK HAS NOT BEEN DISTRUBED. NONETHELESS DUE TO THE EXISTING CONDITION OF THE STEEP BANK SIDES, IT IS PROPOSED TO RE-SEED THE SLOPES USING NATIVE VEGETATION TO THE AREA AND IRRIGATE THROUGH ESTABLISHMENT TO CREATE A SUSTAINABLE CREEK BANK THROUGH RAIN EVENTS, POTENTIAL INUNDATION, AND PERIODS OF DROUGHT.
11. **STREAM RECLAMATION**
    HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGE WAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL?
    - NO EFFORTS ARE BEING MADE TO RECLAIM THE DRAINAGE WAY MORE THAN WHAT HAS ALREADY BEEN DONE WITH THE EXISTING STONE STRUCTURES.



INVENTORY AND ANALYSIS

PROPERTY LINE

STREAM SIDE BUFFERS

25% OR GREATER SLOPES, NON-BUILDABLE AREA

STREAM AREA

STREAMSIDE OVERLAY		
STREAM NAME - TYPE:	SAND CREEK EAST FORK - TYPE 1	
BUFFER LINE:	INNER BUFFER	OUTER BUFFER
BUFFER WIDTH:	20'	50'
LINEAR FOOTAGE:	328'	343'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 30 LF
TREES REQ. / PROV.:	17 / 17	12 / 12
SHRUB SUBSTITUTES REQ. / PROV.:	0 / 0	0 / 0
AREA WITHIN BUFFER:	8,354 SF	23,075 SF
IMPERVIOUS SURFACE ALLOWED (25%):	0 SF	N/A
IMPERVIOUS SURFACE PROPOSED:	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IB	OB

COMPOSITE ANALYSIS

COMPOSITE OVERVIEW
AFTER THE COMPILATION AND ANALYSIS OF THE DATA REGARDING THE VARIOUS NATURAL AND MANMADE FACTORS THAT AFFECT DEVELOPMENT, A COMPOSITE ANALYSIS HAS BEEN DERIVED. THE ANALYSIS INDICATES THAT OVER 80% (3.85 ACRES) IS AVAILABLE AND BUILDABLE AS PART OF THIS PROJECT.
THE ONLY AREAS CONSIDERED NON-BUILDABLE BY THE LAND SUITABILITY ANALYSIS ARE THOSE AREAS CONTAINING 25% OR GREATER SLOPES WHICH COMPRISE APPROXIMATELY 5% (0.24 ACRES) OF THE PROPOSED DEVELOPED AREAS. THEREFORE, THE DEVELOPMENT AS PROPOSED IS A REASONABLE AND SUITABLE USE FOR THIS PROPERTY WITH NO HAZARDOUS RESTRICTIONS.

INVENTORY AND ANALYSIS

SITE DESIGN:
THE SITE DESIGN TAKES INTO ACCOUNT SAND CREEK EAST FORK ALONG THE WESTERN SIDE OF THE PROJECT AND THE REQUIREMENTS OF THE STREAM SIDE OVERLAY DESIGN GUIDELINES FOR SAND CREEK EAST FORK. THE LAYOUT AS SHOWN MEETS THE REQUIREMENTS OF THE STREAM SIDE OVERLAY GUIDELINES BY PRESERVING THE CREEK IN ITS CURRENT STATE; LIMITING DEVELOPMENT TO THOSE AREAS SUITABLE FOR DEVELOPMENT; AND MEETS THE INTENT OF THE LANDSCAPE POLICY MANUAL. THE DESIGN ONLY PROVIDES A PERMANENT STRUCTURE OUTSIDE OF THE FLOODPLAIN, UTILIZES THE MAJORITY OF THE SITE FOR OUTDOOR STORAGE AND LEAVES THE WESTERN 20% OF THE SITE UNDEVELOPED TO BE USED FOR NATURAL HABITAT PRESERVATION ADJACENT TO THE CREEK.

NATURAL FEATURES:
THERE ARE NO EXISTING STRUCTURES FOUND ON THE SITE. THE ONLY PROMINENT NATURAL FEATURE ON THE SITE IS THE SAND CREEK FORK ON THE WESTERN EDGE. THIS FEATURE IS NOT BEING NEGATIVELY IMPACTED AND ONLY ENHANCED AS PART OF THIS PROJECT.
THE CITY OF COLORADO SPRINGS AND ADJACENT PROPERTY OWNERS HAVE PREVIOUSLY COMPLETED DRAINAGE IMPROVEMENTS TO THE CREEK CHANNEL. THESE IMPROVEMENTS SHALL REMAIN AS IS, WITH NO DISTURBANCE AND NO FURTHER IMPROVEMENTS SHALL REMAIN AS IS, WITH NO DISTURBANCE AND NO FURTHER IMPROVEMENTS ARE NEEDED OR PROPOSED TO THE CHANNEL OR TO THE CREEK BANKS AS PART OF THIS PROJECT.

VEGETATION LANDSCAPE ANALYSIS:
A VEGETATION INVENTORY FOR THE SITE WAS PREPARED USING FIELD NOTES, ON-SITE PICTURES, AND AERIAL PHOTOGRAPHY. IN GENERAL, THE SITE CONTAINS MALTESE STAR-THISTLE, JIM HILL MUSTARD, COMMON MULLEIN, CALIFORNIA ASTER, COMMON SUNFLOWER, STREAMBED BRISTLEGRASS, PARISH'S GOLDENEYE, SLENDER RUSSIAN THISTLE, TOAD RUSH AND SOME INVASIVE WEEDS. THERE IS NO VALUABLE VEGETATION FOUND ON SITE AND DEVELOPMENT SHOULD NOT BE LIMITED DUE TO THE VEGETATION THAT DOES EXIST. THIS BEING SAID, THE SITE DESIGN TAKES INTO ACCOUNT THE VEGETATION AND THE DEVELOPMENT IS PLACED IN THE OPEN SITE AREAS. THE EXISTING VEGETATION ALONG THE NORTHERN PORTION OF THE SITE ADJACENT TO THE EXISTING STORMWATER DRAINAGE IMPROVEMENTS IS PROPOSED TO REMAIN IN PLACE. ANY FURTHER VEGETATION WITHIN THE CREEK BOTTOM THAT IS EXISTING WILL NOT BE DISTURBED.

WILDLIFE INVENTORY:
VARIOUS TYPES OF WILDLIFE CAN BE FOUND THROUGHOUT THE AREA AT DIFFERENT TIMES OF THE YEAR. WILDLIFE SPECIES INCLUDE MULE DEER, ANTELOPE, COTTONTAIL RABBITS, SMALL MAMMALS, SUCH AS RACOONS AND OPOSSUMS, AND BIRDS.

WILDLIFE INVENTORY CONTINUED:
BASED ON LARGE GAME TRACK PATTERNS, THESE SPECIES PRIMARILY USE THE STREAM CORRIDORS AS A MIGRATORY AND FEEDING ROUTE ALONG THE CREEK. SINCE THE SITE IS CURRENTLY SURROUNDED BY URBAN DEVELOPMENT OF VARYING USES AND IS HELD OFF THE ACTUAL STREAM CORRIDORS, AND THE NORTHERN PROPERTY LINE FOR CONTINUED TRAVEL, THE SITE HOLDS NO HABITAT SIGNIFICANCE.

GEOLOGIC INVENTORY:
A GEOLOGICAL HAZARD STUDY IS NOT AVAILABLE FOR THIS SITE. THERE ARE NO KNOWN GEOLOGICAL FEATURES, PROBLEMS OR HAZARDS FOR THE PROJECT SITE.

GRADING & SLOPES:
THE SITE AS A WHOLE IS RELATIVELY FLAT AS IT HAS BEEN PREVIOUSLY GRADED TO CREATE A BUILD READY SITE. THE BULK (APPROX. 90%) OF THE SITE SHEET FLOWS AND DRAINS FROM EAST TO WEST AND HAS AN OVERALL BUILD-ABLE AREA AT A 3-5% OVERALL SLOPE. ON THE FAR EAST SIDE OF THE SITE, CAPITAL DRIVE SITE APPROXIMATELY 10 FEET HIGHER THAN THE REST OF THE SITE AND HAS VERY STEEP (2:1, 50%) SLOPES IN SOME AREAS THAT COME DOWN TO THE BUILD-ABLE AREA. THE NORTHERN PROPERTY LINE HAS AN EXISTING STORMWATER SWALE THAT PROVIDES A DIRECT FLOW FOR WATER RUNOFF TO REACH THE PROPOSED SWALES AT THE WEST END OF THE SITE RUNNING FROM EAST TO WEST. THE SOUTHERN BOUNDARY IS NO-NAMED ENTRY DRIVE THAT HAS SIGNIFICANT SLOPES (2:1 & 3:1) ALONG THE FAR EASTERN PORTION BUT THEN GETS MUCH FLATTER AS THE DRIVE HEADS TO THE WEST ALONG THE SOUTHERN BOUNDARY. THIS IS WHERE THE SITE'S ENTRY DRIVE WILL COME OFF. THE SOUTHERN BOUNDARY. THIS IS WHERE THE SITE'S ENTRY DRIVE WILL COME OFF. THE OTHER SIGNIFICANT GRADING AND SLOPE ON THE SITE IS THE PROPOSED STORMWATER SWALES ALONG THE SOUTHWEST AND ALONG THE WEST EDGE OF THE BUILD-ABLE AREA. THE WESTERN PROPERTY BOUNDARY HITS THE SAND CREEK FORK AND HAS 3:1 SLOPES (33%) FROM OUR PROPERTY SITE ELEVATION DOWN TO THE OVERALL LOW POINT OF THE PROPERTY AT THE CREEK BOTTOM, WHICH IS OFF OUR PROPERTY.

FLOODPLAIN:
PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE EL PASO COUNTY FEMA FLOODPLAIN MAP. THE PORTIONS OF THE SITE THAT LIE WITHIN THE 100 YEAR FLOODPLAIN ARE ENTIRELY WITHIN THE SAND CREEK EAST FORK CHANNEL AREA AND THE WESTERN EDGE OF THE PROPERTY REACHING FURTHER ALONG THE NORTHERN SECTION, SEE MAP ABOVE. 38.3% OF THE SITE IS WITHIN THE 100 YEAR FLOODPLAIN, HOWEVER, 53% OF THE CURRENT FLOODPLAIN BOUNDARIES WILL HAVE NO AFFECT ON THE PROPOSED SITE LAYOUT AND USE AS ALL BUILDING AND PEDESTRIAN AREAS ARE KEPT OUTSIDE ITS LIMITS.

SOILS INVENTORY:
THE SITE IS SPLIT ALMOST IN HALF WITH THE WESTERN 53% BEING ELLICOTT LOAMY COARSE SAND AND THE EASTERN 47% BEING BLENDON SANDY LOAM. NEITHER OF THESE SOILS ARE HYDRIC AND BOTH HAVE EXCELLENT DRAINAGE CHARACTERISTICS WITH THE HORIZONS DOWN TO 60" BEING A MIXTURE OF COURSE SAND, LOAMY SAND AND SANDY GRAVEL. THE SOILS PRESENT ON THE SITE ARE SUITABLE FOR DEVELOPMENT.

CITY APPROVAL:

LAND SUITABILITY ANALYSIS AND NOTES
SHEET 14 OF 18

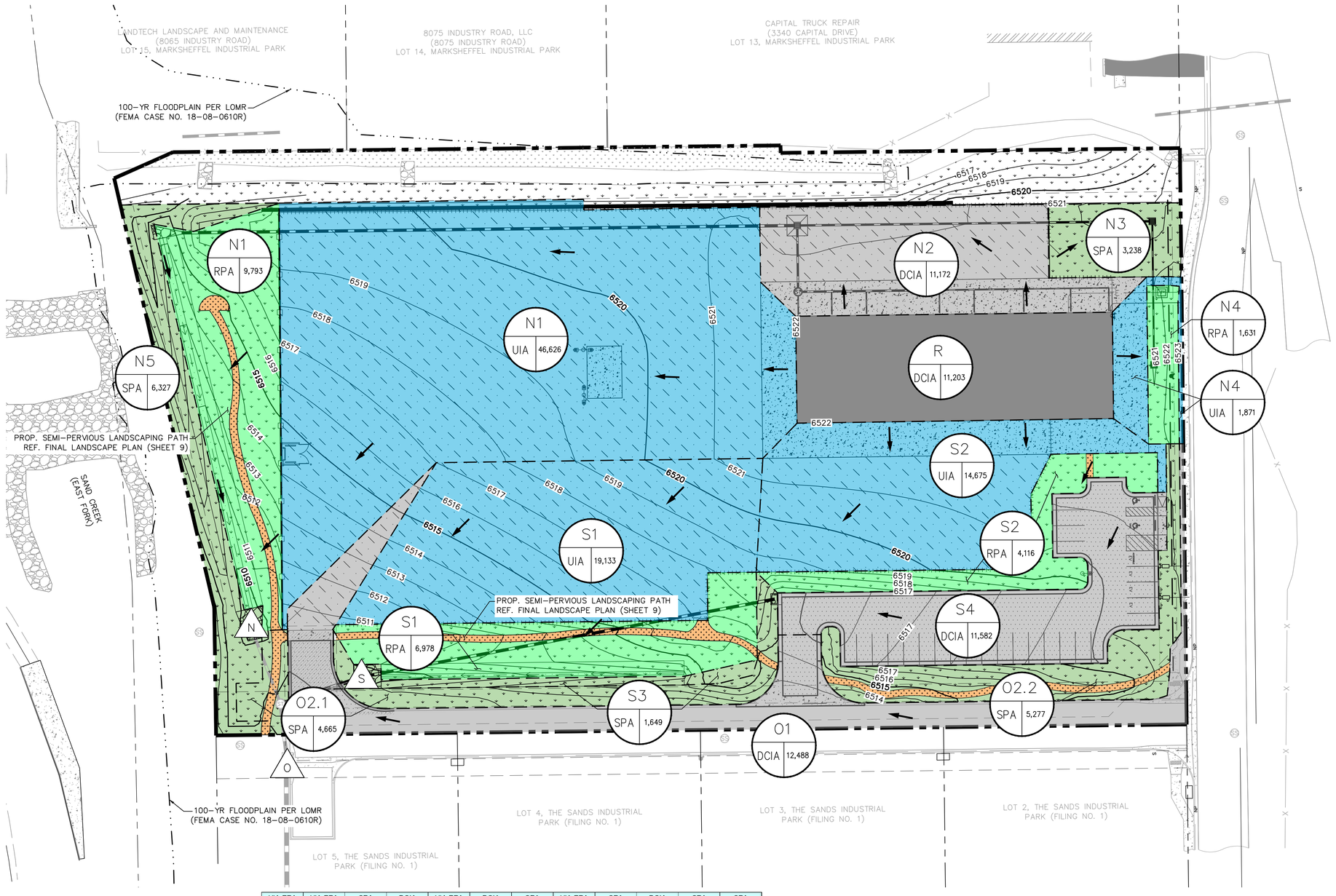
Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

EQUIPMENTSHARE - 8026 IRON TOWER COURT

CONDITIONAL USE DEVELOPMENT PLAN

LOT 1, THE SANDS INDUSTRIAL PARK SUBDIVISION, FILING NO. 1



LEGEND

- DIRECTLY CONNECTED IMPERVIOUS AREA (DCIA)
- UNCONNECTED IMPERVIOUS AREA (UIA)
- RECEIVING PERVIOUS AREA (RPA)
- SEPARATE PERVIOUS AREA (SPA)
- EXCLUSION AREA (TRAILS)
- PROP. FLOW DIRECTION
- PROPERTY LINE
- BASIN LINE
- XXXX PROPOSED MAJOR CONTOUR
- XXXX PROPOSED MINOR CONTOUR
- ID / TYPE / SF — PROPOSED RUNOFF BASIN KEY
- 1 — PROPOSED DESIGN POINT

COLORADO SPRINGS GENERAL NOTES

1. THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE ESTABLISHED CRITERIA FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.
2. PLAN REVIEW BY CITY OF COLORADO SPRINGS IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH DESIGN CRITERIA. THE CITY OF COLORADO SPRINGS IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE CITY OF COLORADO SPRINGS, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
3. PER SWENT CRITERIA, TRAILS ARE EXCLUSION AREAS FOR WATER QUALITY TREATMENT. THE TRAILS ARE SHOWN ON THIS PLAN AS EXLCUSION AREAS AND ARE COUNTED AS AN SPA IN THE RUNOFF REDUCTION SPREADSHEET.

UIA:RPA	UIA:RPA	SPA	DCIA	UIA:RPA	DCIA	SPA	UIA:RPA	SPA	DCIA	SPA	SPA
S1	S2	S3	S4	N1	N2	N3	N4	N5	O1	O2	Trail
S	S	S	S	N	N	N	N	N	O	O	Var
EDB	EDB	EDB	EDB	EDB	EDB	EDB	EDB	EDB	EDB	EDB	EDB
--	--	--	11,582	--	11,172	--	--	--	12,488	--	--
19,133	14,675	--	--	46,626	--	--	1,871	--	--	--	--
6,978	4,116	--	--	9,793	--	--	1,631	--	--	--	--
--	--	1,649	--	--	--	3,238	--	6,327	--	9,600	3,219
	50%	50%	--	50%	--	50%	50%	50%	--	50%	50%
	50%	50%	--	50%	--	50%	50%	50%	--	50%	50%
	0%	0%	--	0%	--	0%	0%	0%	--	0%	0%
	0.100	--	--	0.050	--	--	0.020	--	--	--	--
	310.00	--	--	250.00	--	--	200.00	--	--	--	--

CALCULATED SITE RESULTS (sums results from all columns in worksheet)

Total Area (ft²)	164,098
Total Impervious Area (ft²)	117,547
WQCV (ft³)	4,898
WQCV Reduction (ft³)	1,954
WQCV Reduction (%)	40%
Untreated WQCV (ft³)	2,146

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

CITY APPROVAL:

Kimley»Horn

2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

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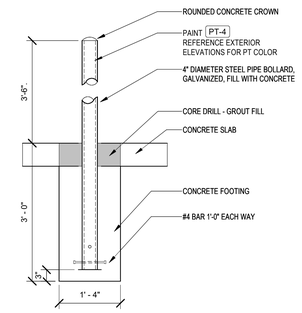
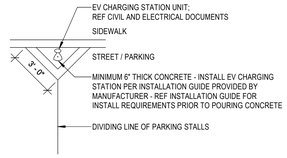
RUNOFF REDUCTION PLAN
SHEET 15 OF 18

EQUIPMENTSHARE - CITY FILE NO. CUDP-23-0002



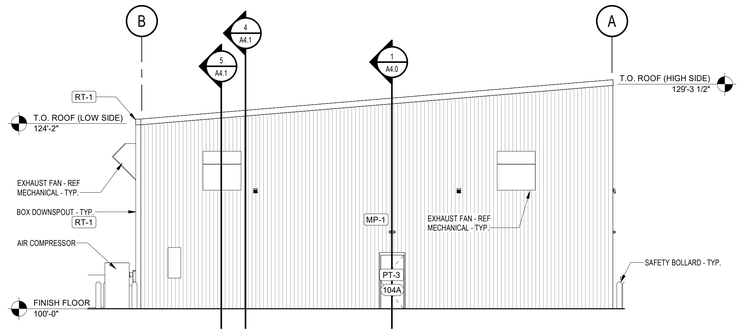
5 4" BOLLARD
3/4" = 1'-0"



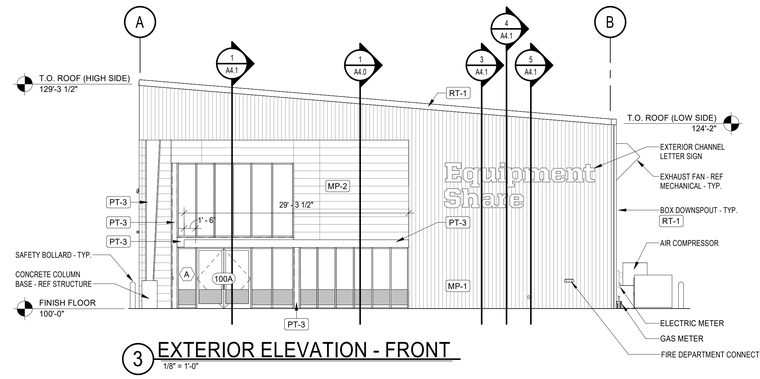
8 EV CHARGING STATION PLAN
1/4" = 1'-0"

INDICATES WALLPACK (BUILDING MOUNTED LIGHTING) LOCATION

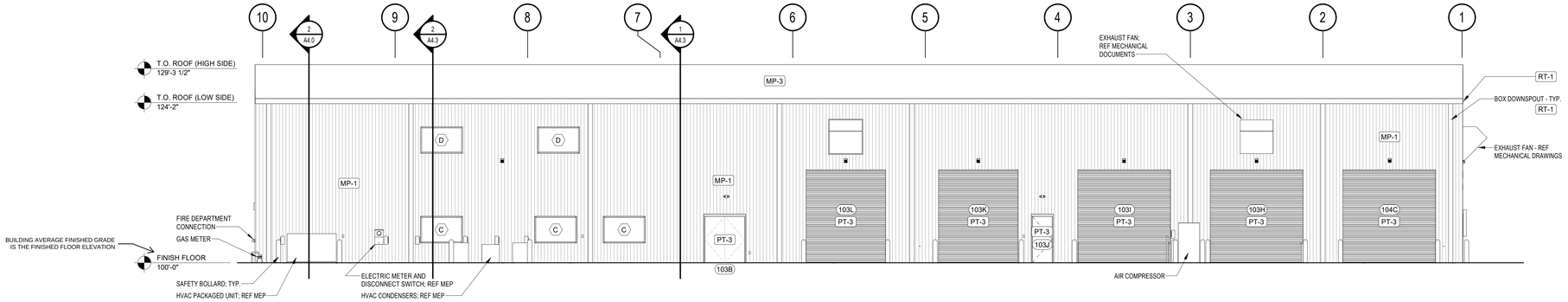
BUILDING SIGNAGE WILL BE SUBMITTED UNDER SEPARATE PERMIT.



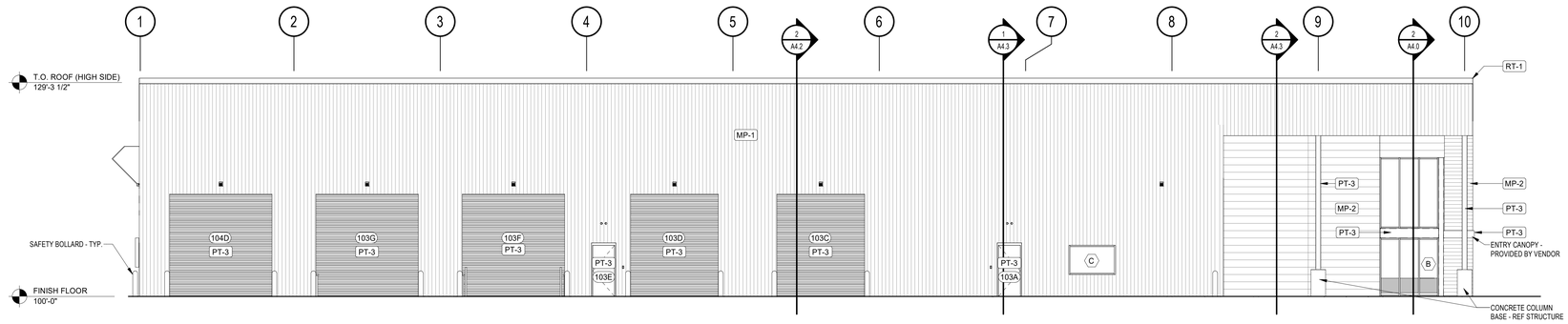
4 EXTERIOR ELEVATION - REAR
1/8" = 1'-0"



3 EXTERIOR ELEVATION - FRONT
1/8" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT SIDE
1/8" = 1'-0"



1 EXTERIOR ELEVATION - LEFT SIDE
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

SYMBOL	MATERIAL
MP-1	PRE-FINISHED METAL PANEL - CHARCOAL GRAY - MBCI SPEC 200 PREMIUM COLOR
MP-2	PRE-FINISHED METAL PANEL - TUNDRA MBCI SIGNATURE 300
MP-3	PRE-FINISHED METAL PANEL - SOLAR WHITE - MBCI SPEC 200 STANDARD COLOR (ROOF)
RT-1	PRE-FINISHED METAL TRIM - MIDNIGHT BRONZE - MBCI SIGNATURE 300
PT-1	PAINT TO MATCH - CHARCOAL GRAY - MBCI SPEC 200 PREMIUM COLOR
PT-2	PAINT TO MATCH - TUNDRA - MBCI SIGNATURE 300
PT-3	PAINT TO MATCH - MIDNIGHT BRONZE - MBCI SIGNATURE 300
PT-4	BENJAMIN MOORE - STARTLING ORANGE - 2016 - 10

GENERAL NOTES:
METAL ROOF TRIM TO BE PREFINISHED PT-3.

MATERIAL LEGEND

METAL BUILDING PANEL - PBR PANEL PROFILE	MP-1
METAL BUILDING PANEL - FW-120-2 WITH BEADS PANEL PROFILE	MP-2
METAL BUILDING PANEL - EXPOSED FASTENER R-PANEL PROFILE - 26 GA.	MP-3

PROVIDE A RUBBED FINISH TO EXPOSED CONCRETE COLUMN BASES.

pb2 architecture +engineering
2809 Ajax Avenue Suite 100
Rogers Arkansas 72758
Phone: 479.636.3545
Fax: 479.636.1209
Architect of Record
Scott Joseph Broadbent
Colorado License No. 00404093

EQUIPMENTSHARE - COLORADO SPRINGS, CO
8026 IRON TOWER CT.
COLORADO SPRINGS, CO
JOB NUMBER: 2022.0808

ISSUE BLOCK

	REVIEW	02.24.2023

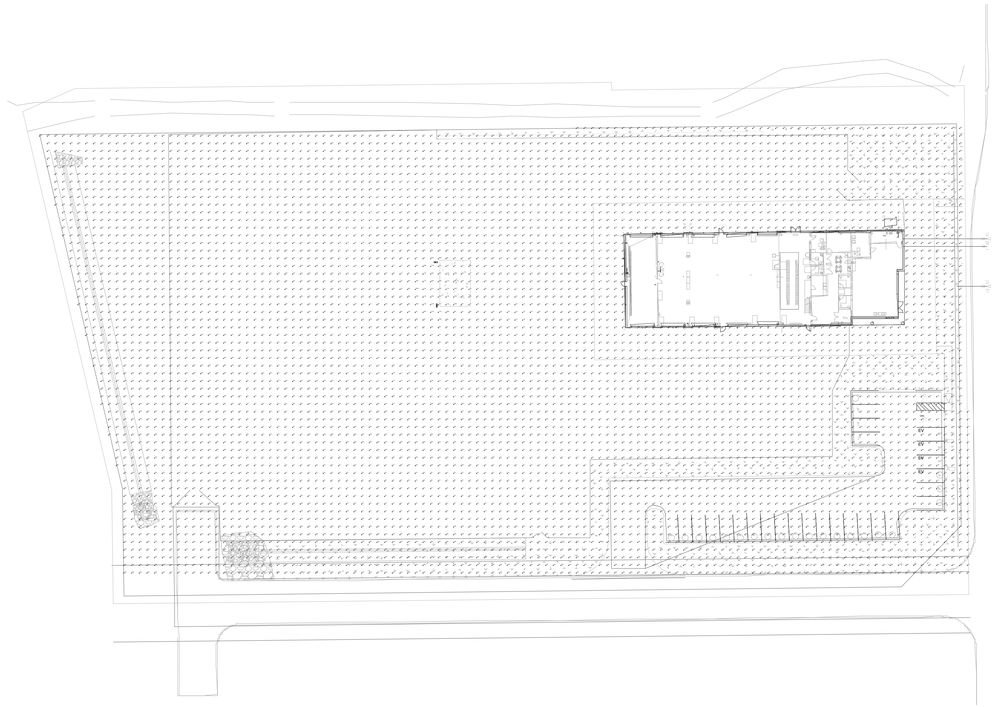
CHECKED BY: SJB
DRAWN BY: HLB
DOCUMENT DATE: 02.24.2023

DOCUMENTS WITHOUT AN ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

SHEET: A2.0

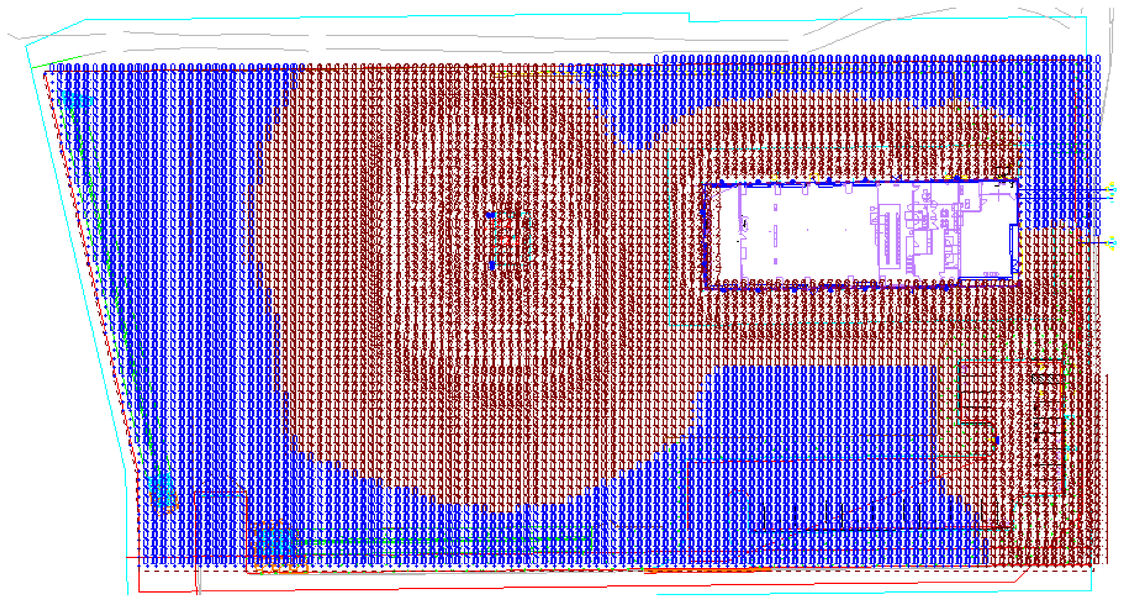
ARCHETECTURAL BUILDING ELEVATIONS
SHEET 16 OF 18

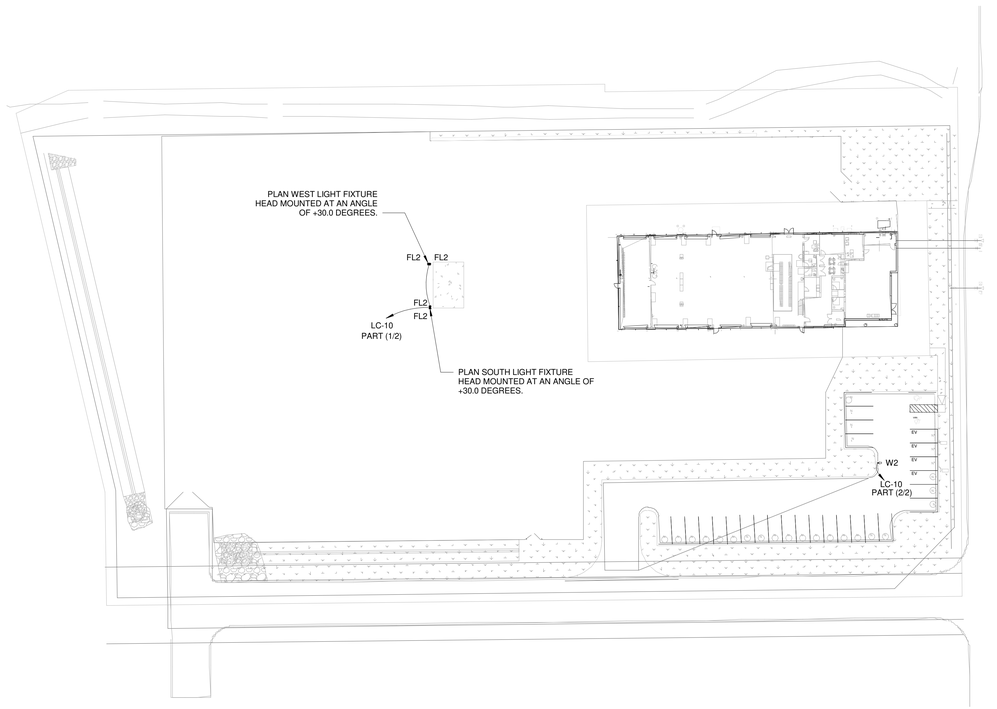


2 **SITE LIGHTING PHOTOMETRIC PLAN**
1" = 40'-0"

PHOTOMETRIC STATISTICS	
AVG.	0.7 fc
MAX	12.2 fc
MIN	0.0 fc
AVG/MIN	N/A
MAX/MIN	N/A

NOTE - SITE LIGHTING PHOTOMETRICS CALCULATED WITH POLE MOUNTED LIGHT FIXTURES MOUNTED AT 38'-0" ABOVE FINISHED GRADE.





1 **SITE LIGHTING PLAN**
1" = 40'-0"

SITE PHOTOMETRIC PLAN
SHEET 17 OF 18

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Engineer of Record
Keith Allen Williams, P.E.
Colorado License No. 0051010

EQUIPMENT SHARE GROUND-UP
CAPITAL DRIVE
COLORADO SPRINGS, CO 80922
JOB NUMBER: 2022.0358

ISSUE BLOCK

	OTP	02.XX.2023

CHECKED BY:	TJ
DRAWN BY:	DR
DOCUMENT DATE:	02.03.2023

ELECTRICAL SITE PLAN

SHEET:
E1.2

EXTERIOR LIGHT FIXTURE - WP

3 — 1/16" = 1'-0"

Lumark

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #	XTOR3B	Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

Finish
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty
Five-year warranty.

XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS

12W, 18W, 26W 6-3/4" [171mm]; 38W 8" [203mm]
12W, 18W, 26W 5-3/4" [146mm]; 38W 6-5/8" [168mm]
12W, 18W, 26W 3-5/8" [92mm]; 38W 4" [102mm]

ESCUTCHEON PLATES

10" [254mm]; 17-1/2" [445mm]; 17-1/2" [445mm]; 10" [254mm]

CERTIFICATION DATA
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area (Sq. Ft.):
XTOR1B, XTOR2B, XTOR3B=0.34
XTOR4B=0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

COOPER Lighting Solutions — *www.designlights.org — TD514013EN December 14, 2021 5:27 PM

page 2 — **XTOR** CROSSTOUR LED

POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) 1	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating 2	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Model		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000

CURRENT DRAW

Voltage	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

COOPER Lighting Solutions — Cooper Lighting Solutions, 1121 Highway 74 South, Peachtree City, GA 30269, P: 770-486-4800, www.cooperlighting.com — Specifications and dimensions subject to change without notice. — TD514013EN December 14, 2021 5:27 PM

page 3 — **XTOR** CROSSTOUR LED

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series 1	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately) 8
XTOR1B=Small Door, 12W; XTOR2B=Small Door, 18W; XTOR3B=Small Door, 26W; XTOR4B=Medium Door, 38W; BAA-XTOR1B=Small Door, 12W, Buy American Act Compliant 7; TAA-XTOR1B=Small Door, 12W Trade Agreements Act Compliant 7; BAA-XTOR2B=Small Door, 18W, Buy American Act Compliant 7; TAA-XTOR2B=Small Door, 18W, Trade Agreements Act Compliant 7; BAA-XTOR3B=Small Door, 26W, Buy American Act Compliant 7; TAA-XTOR3B=Small Door, 26W, Trade Agreements Act Compliant 7; BAA-XTOR4B=Medium Door, 38W, Buy American Act Compliant 7; TAA-XTOR4B=Medium Door, 38W, Trade Agreements Act Compliant 7	[Blank]=Bright White (Standard), 5000K; W=Neutral White, 4000K; Y=Warm White, 3000K	[Blank]=Carbon Bronze (Standard); WT=Summit White; BK=Black; BZ=Bronze; AP=Grey; GM=Graphite Metallic; DP=Dark Platinum	PC1=Photocontrol 120V 2; PC2=Photocontrol 208-277V 2,3; 347V=347V 4; HA=50°C High Ambient 4	WG/XTOR=Wire Guard 5; XTORFLD-KNC=Knuckle Floodlight Kit 6; XTORFLD-TRN=Trunnion Floodlight Kit 6; XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White 6; XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White 6; EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze; EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES:
1. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
2. Photocontrols are factory installed.
3. Order PC2 for 347V models.
4. Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
5. Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
6. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.
7. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
8. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

STOCK ORDERING INFORMATION

Domestic Preferences 1	12W Series	18W Series	26W Series	38W Series
[Blank]=Standard	XTOR1B=12W, 5000K, Carbon Bronze	XTOR2B=18W, 5000K, Carbon Bronze	XTOR3B=26W, 5000K, Carbon Bronze	XTOR4B=38W, 5000K, Carbon Bronze
BAA=Buy American Act	XTOR1B-WT=12W, 5000K, Summit White	XTOR2B-W=18W, 4000K, Carbon Bronze	XTOR3B-W=26W, 4000K, Carbon Bronze	XTOR4B-W=38W, 4000K, Carbon Bronze
TAA=Trade Agreements Act	XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT=18W, 5000K, Summit White	XTOR3B-WT=26W, 5000K, Summit White	XTOR4B-WT=38W, 5000K, Summit White
	XTOR1B-W=12W, 4000K, Carbon Bronze	XTOR2B-PC1=18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1=26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1=38W, 5000K, 120V PC, Carbon Bronze
		XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1=26W, 4000K, 120V PC,Carbon Bronze	XTOR4B-W-PC1=38W, 4000K, 120V PC, Carbon Bronze
		XTOR2B-347V=18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V=26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V=38W, 5000K, Carbon Bronze, 347V
		XTOR2B-WT-PC1=18W, 5000K, 120V PC,Summit White	XTOR3B-PC2=26W, 5000K, 208-277V PC, Carbon Bronze	

NOTES:
1. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

COOPER Lighting Solutions — TD514013EN December 14, 2021 5:27 PM

EXTERIOR LIGHT FIXTURE - W2

2 — 1/16" = 1'-0"

VIPER S SERIES — SMALL VIPER LUMINAIRE

Cat.# VPS/60NB-136/4K/FR/UNV/-/-/-/-/RA/DBT — Job — Type — Approvals — BEACON

SPECIFICATIONS

Intended Use:
The Beacon Viper luminaire is available with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 400W MH or HPS.

Construction:
- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

Electrical:
- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input.
- Power factor is ≥.90 at full load.
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- The housing is designed for an optional twist lock photo control receptacle.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20KA.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Controls/Options:
- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the Motion Response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration.
- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see www.beaconproducts.com/products/energeni).
- In addition, Viper can be specified with **SiteSync™** wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelllighting.com/sitesync for more details.

Installation:
- Mounting options for horizontal armd, vertical tenon or traditional arm mounting available. Mounting hardware included.

Finish:
- IFS polyester powder-coat electro-statically applied and thermocured.
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermosetsuper TGIC polyester powder coat finish.
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

Listings:
- DesignLights Consortium (DLC) qualified, consult DLC website for more details: http://www.designlights.org/QPL
- Certified to UL 1598 and CSA C22.2 No.250.0
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://www.beaconproducts.com/products/vipersmall

Warranty:
Five year limited warranty for more information visit: www.hubbelllighting.com/resources/warranty

PRODUCT IMAGE(S)

DIMENSIONS

A	B	C	Weight:	EPA
22.75" (578 mm)	16.75" (425 mm)	11.25" (286 mm)	15.0 lbs (6.8 kg)	.67 ft²

MOUNTING OPTIONS

Side View — RA Rectangular Arm — Back View
Side View — SF2 2-3/8" OD Slip Fitter (Accepts 2 3/8" OD tenon, min 4" long) — Back View
PK2 2-3/8" Adjustable Knuckle — Limit to 30° tilt - Sensors, photocells and wireless controls should not be tilted above horizontal
Wall Bracket (WB)

CERTIFICATIONS/LISTINGS

*3000K and warmer CCTs only

Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

ORDERING INFORMATION ORDERING EXAMPLE: VPS/36NB-80/5K/T4/UNV/PEC/SWP/BLC/RA/BBT

VPS | 60NB-136 | 4K | FR | UNV | | | | | RA | DBT

- SERIES: VPS viper-small
- ENGINE-WATTS: 24NB-55 55W, LED array; 36NB-80 80W, LED array; 48NB-110 110W, LED array; 60NB-136 136W, LED array
- LED COLOR: 3K 3000K; 4K 4000K; 5K 5000K
- VOLTAGE: UNV 120-277V; 347V 347V; 480V 480V
- OPTICS: T1 type I; T2 type II; T3 type III; T4 type IV; T5R type V, rectangular; T5QM type V, square medium; T5W type V, round wide; FR front row auto optic
- ELECTRICAL OPTIONS: 7PR 7-PIN Receptacle only; PCR-TL 7-PIN Receptacle w/ Twist Lock photo control; PCR-SC 7-PIN Receptacle w/ Shorting Cap; 2PF dual power feed
- CONTROL OPTIONS: GENI-XX Energeni; SWP SiteSync Wireless Pre-Commission; SWPM SiteSync Wireless Pre-Commission w/ Motion Detection; MDD Motion Dimming Detector
- HOUSE SIDE SHIELD OPTIONS: BLC backlight control
- BIRD DETERRENT: BSP bird spike
- MOUNTING OPTIONS: RA rectangular arm for round or square pole mount. RPA included; SF2 2 3/8" OD slip-fitter; PK2 2 3/8" adjustable knuckle; wall bracket (use with SF2 or PK2), SF2 standard
- FINISH: BBT basic black textured; BMT black matte textured; WHT white textured; MBT metallic bronze textured; BZT bronze textured; DBT dark bronze textured; GYS gray smooth; DPS dark platinum smooth; GNT green textured; MST metallic silver textured; MTT metallic titanium textured; OWI old world iron; RAL ______

HOUSE SIDE SHIELD ACCESSORIES
- HSS/VP-S/90-FB/XXX 90° shield front or back
- HSS/VP-S/90-LR/XXX 90° shield left or right
- HSS/VP-S/270-FB/XXX 270° shield front or back
- HSS/VP-S/270-LR/XXX 270° shield left or right
- HSS/VP-S/360/XXX Full shield

(Replace XXX with notation for desired finish color) (Refer to page 5 for shield images)

Accessories and Services (Ordered Separately)

Catalog Number	Description
SWUSB*	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node
SWTAB*	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node.
SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested.
SCP-REMOTE	Remote Control for SCP/_F option. Order at least one per project to program and control
SW7PR+	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC

* When ordering SiteSync at least one of these two interface options must be ordered per project.
\+ Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle.

Hubbell Control Solutions - Accessories (sold separately)

Catalog Number	Description	HCS System
NXOFM-1R1D-UNV	On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC	NX Distributed Intelligence™
WIR-RME-L	On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC	wiSCAPE® Lighting Control

SiteSync 7-Pin Module
- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does no interface with occupancy sensors

LEFT ROTATED OPTIC — RIGHT ROTATED OPTIC

PERFORMANCE DATA

# LED'S	DRIVE CURRENT (MILLIAMPS)	SYSTEM WATTS	DISTRIBUTION TYPE	5K LUMENS	LPW	B	U	G	4K LUMENS	LPW	B	U	G	3K LUMENS	LPW	B	U	G
24	700 mA	55 W	FR/T1	6339	114	1	0	1	6276	112	1	0	1	5389	97	1	0	1
			T2	5666	102	2	0	2	5610	101	2	0	2	4816	86	1	0	2
			T3	5610	101	1	0	2	5554	100	1	0	2	4784	86	1	0	2
			T4	6171	111	1	0	2	6110	109	1	0	2	5245	94	1	0	2
			T5R	6283	113	3	0	3	6221	111	3	0	3	5341	96	3	0	3
			T5QM	6171	111	3	0	1	6110	109	3	0	1	5245	94	2	0	1
			T5W	6087	109	3	0	1	6027	108	3	0	1	5201	93	3	0	1
36	700 mA	80 W	FR/T1	9515	114	1	0	1	9414	112	1	0	1	8083	96	1	0	1
			T2	8505	101	2	0	3	8415	100	2	0	3	7224	87	2	0	2
			T3	8415	100	2	0	2	8331	99	2	0	2	7175	86	2	0	2
			T4	9256	110	1	0	3	9164	109	1	0	3	7868	94	1	0	3
			T5R	9425	112	3	0	3	9331	111	3	0	3	8011	96	3	0	3
			T5QM	9257	110	3	0	1	9164	109	3	0	1	7868	94	3	0	1
			T5W	9131	109	3	0	2	9040	108	3	0	2	7801	93	3	0	2
48	700 mA	110 W	FR/T1	12679	114	2	0	1	15522	113	2	0	1	10777	97	1	0	1
			T2	11332	102	3	0	3	11220	101	3	0	3	9633	87	2	0	3
			T3	11220	101	2	0	3	11108	100	2	0	3	9567	86	2	0	3
			T4	12342	111	2	0	3	12219	110	2	0	3	10491	95	2	0	3
			T5R	12567	113	4	0	4	12441	112	4	0	4	10682	96	3	0	3
			T5QM	12342	111	3	0	2	12219	111	3	0	2	10491	95	3	0	2
			T5W	12175	110	4	0	2	12053	109	4	0	2	10402	94	4	0	2
60	700 mA	136 W	FR/T1	15848	116	2	0	1	15690	115	2	0	1	13471	98	2	0	1
			T2	14165	103	3	0	3	14025	102	3	0	3	12041	88	3	0	3
			T3	14025	102	3	0	3	13885	101	3	0	3	11959	87	3	0	3
			T4	15427	113	2	0	3	15274	111	2	0	3	13114	96	2	0	3
			T5R	15708	115	4	0	4	15259	111	4	0	4	13352	97	4	0	4
			T5QM	15427	113	4	0	2	15274	111	4	0	2	13314	96	3	0	2
			T5W	15218	111	4	0	2	15066	111	4	0	2	13002	95	4	0	2

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

PHOTOMETRICS

Type II VP-S-60NB-136-5K-T2; Type III VP-S-60NB-136-5K-T3; Type IV VP-S-60NB-136-5K-T4; Type V Square Medium VP-S-60NB-136-5K-T5QM; Type V Rectangular VP-S-60NB-136-5K-T5R; Type V Round Wide VP-S-60NB-136-5K-T5W; Front Row Auto Optic / Type I VP-S-60NB-136-5K-FR, VP-S-60NB-136-5K-T1

ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
24	2	700 mA	120	55	0.5
			277		0.2
			347		0.2
			480		0.1
36	1	700 mA	120	80	0.7
			277		0.3
			347		0.2
			480		0.2
48	1	700 mA	120	110	0.9
			277		0.4
			347		0.3
			480		0.2
60	1	700 mA	120	136	1.1
			277		0.5
			347		0.4
			480		0.3

PROJECTED LUMEN MAINTENANCE

AMBIENT TEMP.	0	25,000	50,000	TM-21-11 60,000	100,000	Calculated L70 (HOURS)
25°C / 77°C	1.00	0.97	0.95	0.95	0.92	>470,000

Projected per IESNA TM-21-11. Data references the extrapolated performance projections for the base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

AMBIENT TEMPERATURE		LUMEN MULTIPLIER
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.98
40°C	104°F	0.98

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

EPA

Config.	EPA
1	.67
2 @ 90°	1.06
2 @ 180°	1.34
3 @ 120°	1.68
3 @ 90°	1.73
4 @ 90°	2.12

DRILL PATTERN

RECTANGULAR ARM (A) — Compatible with Pole drill pattern B3 — 4" Suggested distance from top of pole — Ø5/8" — 2X Ø5/16" — 2.50" — Rectangular Arm — Ø4" Pole, Ø5" Pole, Ø6" Pole

EXTERIOR LIGHT FIXTURE - FL2

1 — 1/16" = 1'-0"

Lumark

DESCRIPTION

The Night Falcon™ LED floodlight luminaire combines high-efficiency optics, superior thermal management and energy efficiency in a cost-effective solution. The compact, robust design incorporates a separate driver compartment for maximum heat dissipation to insure longevity of both the fixture and the LEDs. The Night Falcon luminaire uses precision engineered optics delivering superior uniformity and excellent illumination to the targeted application. Typical applications include area lighting for security, building facade lighting, accent and signage lighting in both commercial and industrial applications. The Night Falcon luminaire is UL/cUL listed for wet locations and is IP66 rated.

Catalog #	NFFLD-C40-D-UNV-66-S	Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction
Heavy-duty, die-cast aluminum housing, driver compartment and driver housing door. A separate driver compartment and external fins provide optimal thermal management that result in longer LED and driver life. The housing, driver compartment and optical chamber are IP66 rated. Access to the driver for maintenance is achieved with a removable driver door using pan head screws. A one-piece silicone gasket seals the door to the fixture housing. The fixture is 3G vibration rated (ANSI C136.31) to ensure durability in area and site lighting applications. Suitable for mounting within 4' (1.2m) of the ground.

Optics
The LED chamber incorporates a vacuum metalized reflector that provides high-efficiency illumination. Optics are precisely designed to shape the the NEMA 6H x 6V wide distribution and the 3H x 3V spot distribution, maximizing efficiency and application spacing. Clear glass tempered lens with full circumference form-in-place silicone gasket protects the optics from damage. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 5700K, 5000K and 3000K CCT and minimum 70 CRI are available.

Electrical
LED driver is mounted to the removable die-cast aluminum door for optimal heat sinking and ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Integral 6kV surge is standard.10kV/10kA common- and differential- mode surge protection available as an option. 0-10V dimming driver is available to accommodate controls capability such as dimming and occupancy. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. 92% lumen maintenance greater than 60,000 hours per IESNA TM-21 at 25°C.

Accessories
Heavy-duty steel top and side visors control glare and spill light. 1/8" thick UV stabilized vandal guard shields glass lens from impact when mounted at low levels. Easy to install wire guard features a heavy-gauge welded construction with corrosion resistant polyester powder coat finish to protect glass from projected objects.

Mounting
Mounting options include an integral die-cast aluminum slipfitter that is preset to a tilt of 45°. The knuckle base is supplied with a tooth lock adjustment that can be adjusted in 5° increments to provide flexibility in aiming the fixture from a variety of surfaces. Visual 15° adjustment indicators on the knuckle allow for 180° field rotation of the floodlight assembly. The slipfitter fits standard 2-3/8"-3" O.D. tenon. The trunnion mounting includes a 3/16" polyester powder coated galvanized steel trunnion with a 16/3 SOW cord. The trunnion mount uses an interlocking slide adjustment that is locked into place with a set screw.

Finish
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is carbon bronze. Additional colors available in summit white, white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representitive at Eaton for a complete selection of standard colors.

Warranty
Five-year warranty.

NFFLD
NIGHT FALCON
Solid State LED
FLOODLIGHT

DIMENSIONS

Slipfitter Mount: 8-7/16" [215mm]; 15-5/16" [388mm]; 15-15/16" [405mm]; 8-11/16" [221mm]
Trunnion Mount: 8-7/16" [215mm]; 12-11/16" [322mm]; 15-15/16" [405mm]; 8-11/16" [221mm]
Yoke Mount: 8-7/16" [215mm]; 14" [355mm]; 17-7/16" [443mm]; 8-11/16" [221mm]

CERTIFICATION DATA
UL/cUL Wet Location Listed
IP66 Fixture and Optical Chamber
LM79/LM80 Compliant
3G Vibration Rated
RoHS Compliant
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
> 0.9 Power Factor
< 20% Total Harmonic Distortion
120V 50/60Hz, 347V/60Hz and 480V/60Hz
-40°C Minimum Ambient Temperature Rating
+40°C Maximum Ambient Temperature Rating

EPA
Effective Projected Area (Sq. Ft.): 1.25

SHIPPING DATA
Approximate Net Weight:
20 lbs. (9.09 kgs.)

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POWER AND LUMENS

C25 LED (6x6)	NFFLD-C25	NFFLD-C25-7030	NFFLD-C25-7050	NFFLD-C25-7060	(3x3) NFFLD-C25	NFFLD-C25-7030	NFFLD-C25-7050	NFFLD-C25-7060
Delivered Lumens	10,530	10,122	10,383	10,217	10,272	9,874	10,128	9,967
CCT (Kelvin)	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70
Power Consumption (Watts)	85W	85W	85W	85W	93W	93W	93W	93W
C40 LED	NFFLD-C40	NFFLD-C40-7030	NFFLD-C40-7050	NFFLD-C40-7060	NFFLD-C40	NFFLD-C40-7030	NFFLD-C40-7050	NFFLD-C40-7060
Delivered Lumens	16,932	16,268	16,686	16,421	14,113	13,567	13,916	13,694
CCT (Kelvin)	4000K	3000K	5000K	5700K	4000K	3000K	5000K	5700K
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70
Power Consumption (Watts)	128W	128W	128W	128W	143W	143W	143W	143W
C55 LED	NFFLD-C55	NFFLD-C55-7030	NFFLD-C55-7050	NFFLD-C55-7060				
Delivered Lumens	19,943	19,407	20,144	20,285				
CCT (Kelvin)	4000K	3000K	5000K	5700K				
CRI (Color Rendering Index)	70	70	70	70				
Power Consumption (Watts)	145W	145W	145W	145W				
C70 LED	NFFLD-C70	NFFLD-C70-7030	NFFLD-C70-7050	NFFLD-C70-7060				
Delivered Lumens	23,797	23,157	24,037	24,205				
CCT (Kelvin)	4000K	3000K	5000K	5700K				
CRI (Color Rendering Index)	70	70	70	70				
Power Consumption (Watts)	184W	184W	184W	184W				

CURRENT DRAW

Voltage (V)	6x6 NFFLD-C25 Current (A)	NFFLD-C40 Current (A)	NFFLD-C55 Current (A)	NFFLD-C70 Current (A)	3x3 NFFLD-C25 Current (A)	NFFLD-C40 Current (A)
120V	0.708	1.070	1.2299	1.5695	0.778	1.190
277V	0.340	0.465	0.535	0.6726	0.340	0.531
347V	0.251	0.377	0.4213	0.5334	0.271	0.419
480V	0.195	0.273	0.3044	0.3831	0.207	0.320

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
6H x 6V (Wide)		
25°C	> 94.55%	> 388,000
40°C	> 93.58%	> 327,000
50°C	--	--
3H x 3V (Spot)		
25°C	>92.18%	>262,000
40°C	>91.81%	>249,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.03
15°C	1.02
25°C	1.00
40°C	0.97
50°C	0.96

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DRILLING PATTERNS

Trunnion Mount — Yoke Mount

OPTIONAL INTEGRATED SENSOR

ACCESSORIES
Top and Side Visors — Wire Guard — Vandal Shield

CONTROL OPTIONS

0-10V (D)
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PER and PER7)
Photocontrol receptacles (PER and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MSP/DIM-LXX and MSP-LXX)
These sensors are factory installed in the luminaire housing. When the MSP/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MSP/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MSP-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

These occupancy sensors include an integral photocell that can be activated with the ISHH-01 accessory for "dusk-to-dawn" control or daylight harvesting -- the factory preset is OFF. The ISHH-01 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-30'.

For mounting heights from 12' to 30' (-L30) — For mounting heights from 8' to 12' (-L12) — Coverage Side Area (Feet)

WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)
The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

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ORDERING INFORMATION

Sample Number: NFFLD-C40-E-UNV-66-S-CB-PER

- Product Family 1: NFFLD=Night Falcon LED Floodlight; BAA-NFFLD=Night Falcon LED Floodlight, Buy American Act 17; TAA-NFFLD=Night Falcon LED Floodlight, Trade Agreements Act Compliant 17
- Light Engine 2: C25=10,500 Nominal Lumens; C40=16,900 Nominal Lumens; C55=20,000 Nominal Lumens; C70=24,000 Nominal Lumens
- Driver 3: E=Non-Dimming; D=Dimming (0-10V)
- Voltage: UNV=120-277V; 347=347V 4; 480=480V 4
- Distribution: 66=NEMA 6H x 6V Wide; 33=NEMA 3H x 3V Spot 5
- Mounting: S=Slipfitter 6; T=Trunnion; Y=Yoke
- Color: CB=Carbon Bronze (Standard); BK=Black; BZ=Bronze; AP=Grey; WH=White; WHT=Summit White; DP=Dark Platinum; GM=Graphite Metallic

Options (Add as Suffix): 7030=70 CRI / 3000K 7; 7050=70 CRI / 5000K 7; 7060=70 CRI / 5700K 7; PER=NEMA 3-PIN Twistlock Photocontrol Receptacle; PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle 8; 10K=10kV/10kA UL 1449 Surge Protective Device; D10=External 0-10V Dimming Leads 9; HA=50°C High Ambient Temperature 9; MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height 10,11; MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height 10,11; MSP-L12=Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height 10,11; MSP-L30=Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height 10,11

Accessories (Order Separately) 12,18: FA63=3" O.D. Surface Mount Bracket 13; OA1223=10kV/10kA UL 1449 Surge Protective Device Replacement; OA/RA1013=Photocontrol Shorting Cap; OA/RA1014=NEMA Photocontrol - 120V; OA/RA1016=NEMA Photocontrol - Multi-Tap; OA/RA1027=NEMA Photocontrol - 480V; OA/RA1201=NEMA Photocontrol - 347V; RAB-XX=Right Angle Pipe Bracket for Slipfitter; SAB-XX=Steel Angle Bracket for Trunnion; TYS-XX=Slipfitter Adapter for 2-3/8", 3" or 3-1/2" O.D. Tenon 14; TS2/NFFLD-XX=Top and Side Visors 15; VS/NFFLD=Vandal Shield 15; WG/NFFLD=Wire Guard 15; ISHH-01=Integrated Sensor Programming Remote; WOLC-7P-10A=WaveLinx Outdoor Control Module (7-pin) 16

STOCK ORDERING INFORMATION

Stock Sample Number: NFFLD-C40-S

Series	Light Engine	Mounting	Voltage
NFFLD=Night Falcon	C25=10,500 Nominal Lumens; C40=16,900 Nominal Lumens	S=Slipfitter; T=Trunnion	[BLANK]=120-277V; 347=347V

NOTES: Options not available with stock products. Order accessories as separate items for field installation. Refer to standard ordering information to add options. Refer to In-Stock Guide for availability. Stock fixture is 4000K, non-dimming, 120-277V or 347V 6Hx6V, carbon bronze only.

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LIGHT FIXTURE DETAILS

SITE PHOTOMETRIC DETAILS

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