

NOTE:
1. ALL WATER QUALITY DETENTION FACILITIES AND CHANNELS ARE TO BE PRIVATE AND SHALL BE MAINTAINED BY THE METRO.
2. ADEQUATE DRAINAGE DESIGNS SHALL PROVIDE FOR REMOVAL OF RUNOFF FROM THE ROADWAY OR THE UPSTREAM END OF ANY DEVELOPMENT AND FOR CARRYING RUNOFF WATER FROM THE UPSTREAM SIDE TO THE DOWNSTREAM SIDE. THESE FUNCTIONS SHALL BE ACCOMPLISHED WITHOUT CAUSING OBJECTIONABLE BACKWATER, CAUSING EXCESSIVE OR INCREASED VELOCITIES, CREATING DAMAGES TO DOWNSTREAM OWNERSHIPS, UNDULY AFFECTING THE SAFE OPERATION OF TRAFFIC ON THE ROADWAY, DAMAGING THE ROADWAY OR DAMAGING WATER QUALITY.

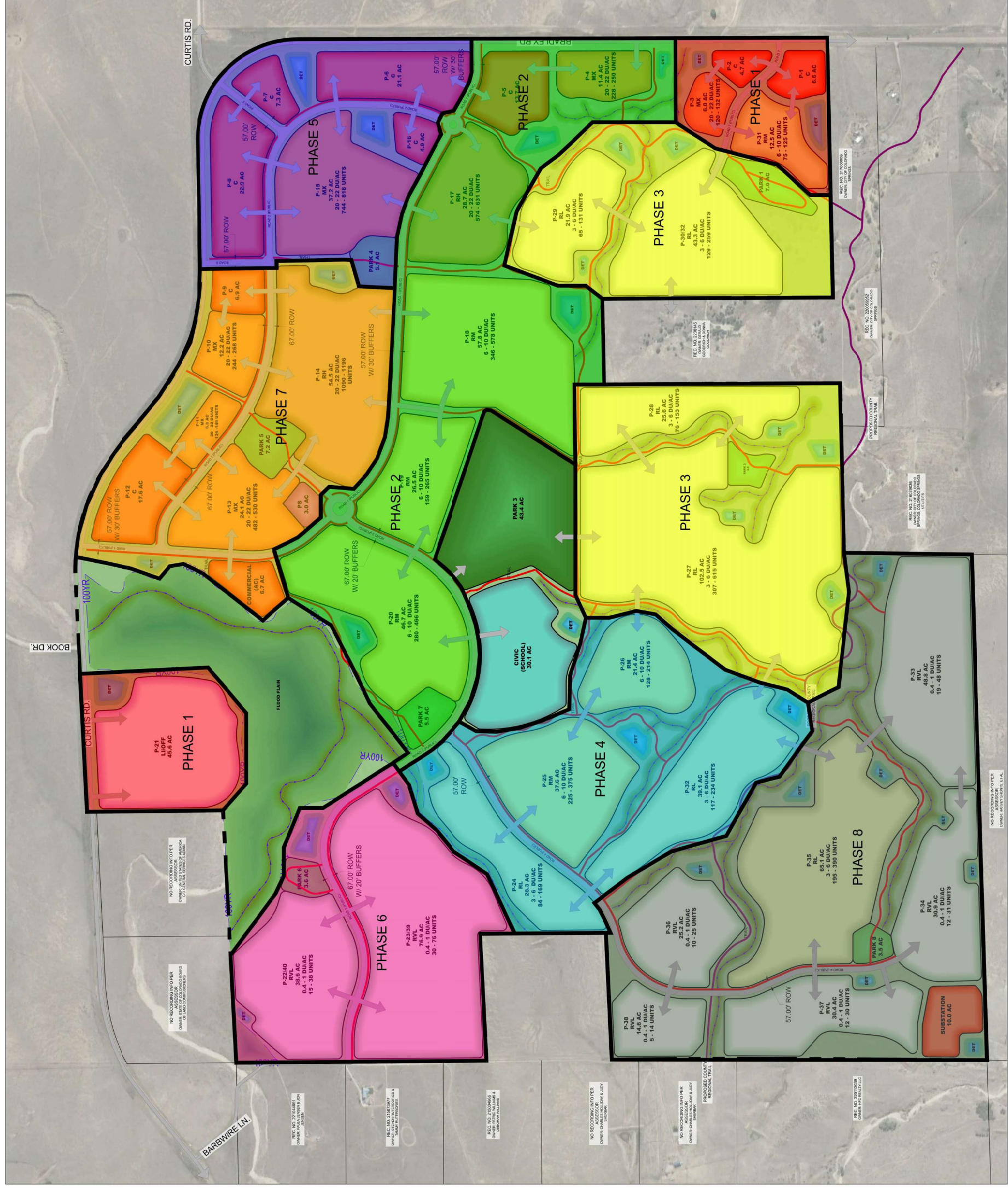
LAND USE SUMMARY table with columns: USE TYPE, ABBR., DENSITY (DU/AC), ACREAGE, UNIT RANGE. Rows include Residential Very Low Density, Residential Low Density, Residential Medium Density, Residential High Density, Mixed-Use, Commercial, Light Industrial/Office, Civic (School), Open Space, Parks, Right of Way, and Public Safety.

PARK TABLE with columns: PARK, TYPE, ACREAGE, MAINTENANCE/RESPONSIBILITY. Rows list various parks like Neighborhood Park, Community Park, and Neighborhood Park with their acreages and maintenance responsibilities.

LEGEND

- SYMBOLS: AC, ROW, P-X, DU/AC, DET, RVL, RL, RM, RH, MX, C, LI/OFF, CIVIC, PARK, PARK, PS, SUB, PROPERTY BOUNDARY, PROPOSED TRAIL (ON-SITE), REGIONAL TRAIL (OFF-SITE), EXISTING DRAINAGE, ROADWAY ACCESS, 100 YEAR FLOODPLAIN, DRAINAGE WAY.
- NAME: ACRE, RIGHT OF WAY (PROPOSED ROAD), LAND USE BUBBLE AREA DESIGNATION, DWELLING UNIT PER ACRE, DETENTION, RESIDENTIAL VERY LOW DENSITY, RESIDENTIAL LOW DENSITY, RESIDENTIAL MEDIUM DENSITY, RESIDENTIAL HIGH DENSITY, MIXED-USE, COMMERCIAL, LIGHT INDUSTRIAL/OFFICE, CIVIC (SCHOOL), COMMUNITY PARK, NEIGHBORHOOD PARKS, PUBLIC SAFETY (FIRE STATION), SUB-STATION, PROPERTY BOUNDARY, PROPOSED TRAIL (ON-SITE), REGIONAL TRAIL (OFF-SITE), EXISTING DRAINAGE, ROADWAY ACCESS, 100 YEAR FLOODPLAIN, DRAINAGE WAY.





LEGEND

SYMBOLS	PHASE
[Red Box]	PHASE 1
[Green Box]	PHASE 2
[Yellow Box]	PHASE 3
[Cyan Box]	PHASE 4
[Purple Box]	PHASE 5
[Pink Box]	PHASE 6
[Orange Box]	PHASE 7
[Grey Box]	PHASE 8

DEVELOPMENT SCHEDULE

PHASE	TIMELINE	SINGLE-FAMILY	MULTI-FAMILY	COMMERCIAL	INDUSTRIAL	TOTAL
1	2025-2040	75	30	13.7 AC	45.6 AC	105
2	2027-2045	815	901	21.3 AC	1716	704
3	2030-2035	704				704
4	2034-2038	618				618
5	2035-2045		750	56.2 AC		750
6	2038-2042	60		74.3 AC		60
7	2040-2050		2167			2167
8	2036-2041	380				380
TOTAL		2652	3848	163.1 AC	45.6 AC	6500



FILE NUMBER: MAPN-23-0002

SHEET **3**
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OF 13

KARMAN LINE LAND USE PLAN
PHASING PLAN

KARMAN LINE
NORRIS RANCH JOINT VENTURE, LLC
COLORADO SPRINGS, CO

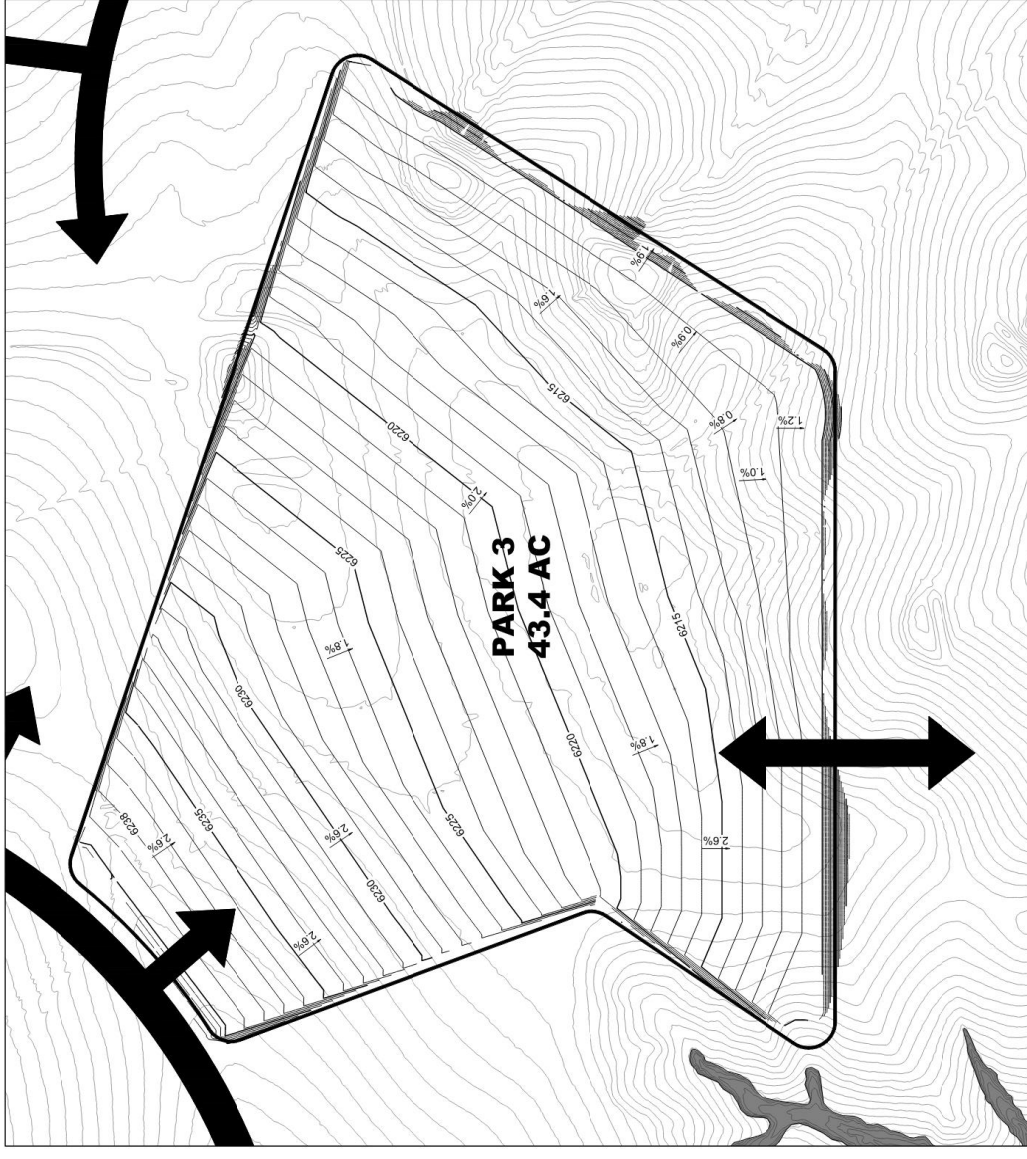
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NO.	DATE	BY	REVISION DESCRIPTION

DRAWN BY: JAG
APPROVED: PLS
JOB DATE: 10/11/2023
JOB NUMBER: 2202783
CAD DATE: 10/11/2023
CAD FILE: \\hrgreen.com\HRG\Draws\2022\2022783\CADD\Draws\C2783_MPPhasing_Plan

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COMMUNITY PARK - PARK 3



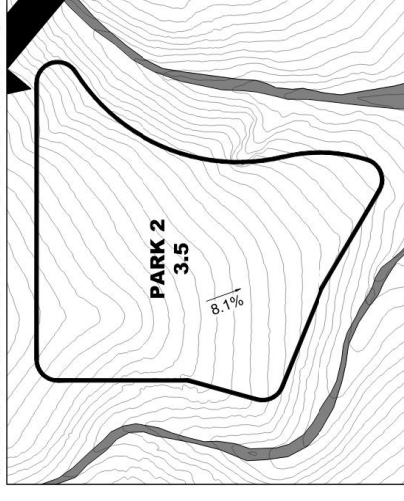
PARK 3
43.4 AC

NEIGHBORHOOD PARK - PARK 1



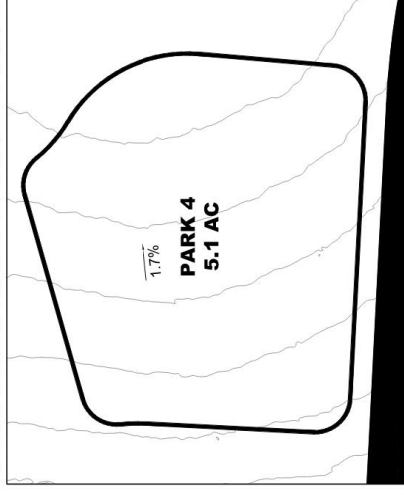
PARK 1
7.6 AC

NEIGHBORHOOD PARK - PARK 2



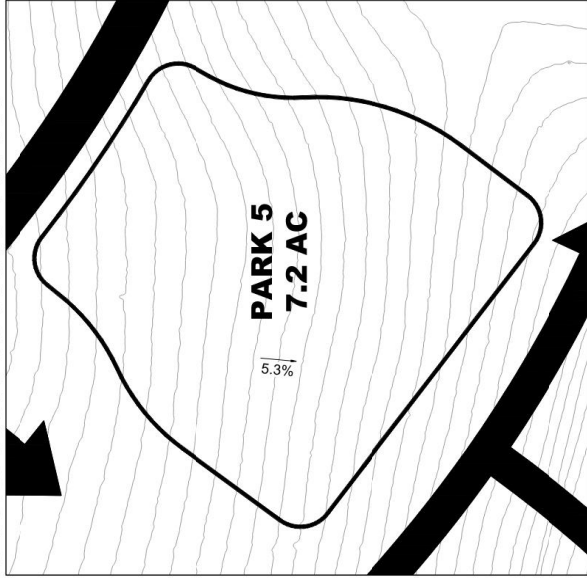
PARK 2
3.5

NEIGHBORHOOD PARK - PARK 4



PARK 4
5.1 AC

NEIGHBORHOOD PARK - PARK 5



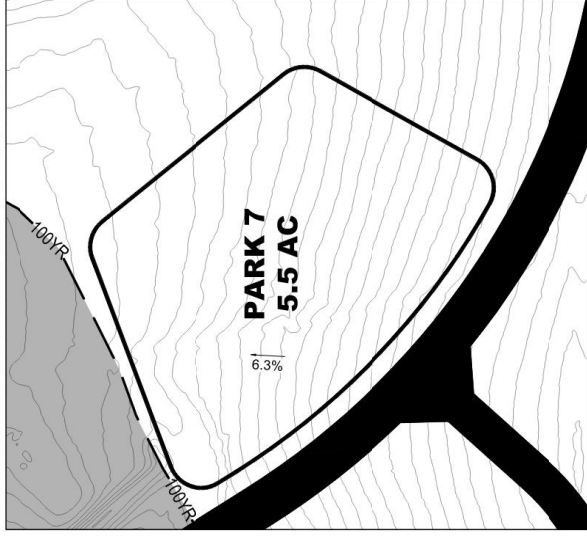
PARK 5
7.2 AC

NEIGHBORHOOD PARK - PARK 6



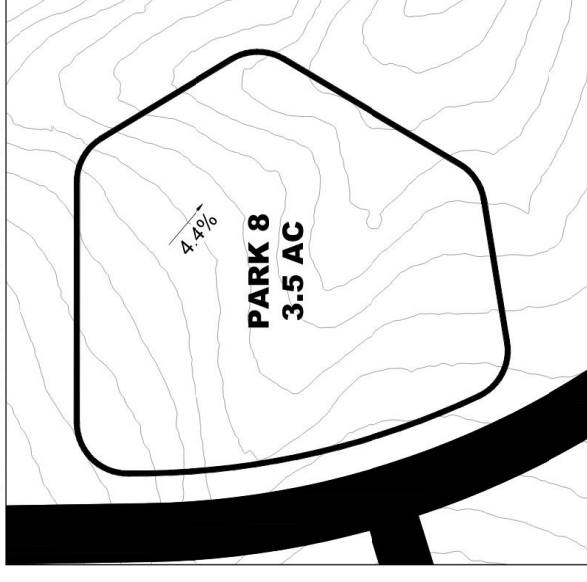
PARK 6
3.6 AC

NEIGHBORHOOD PARK - PARK 7



PARK 7
5.5 AC

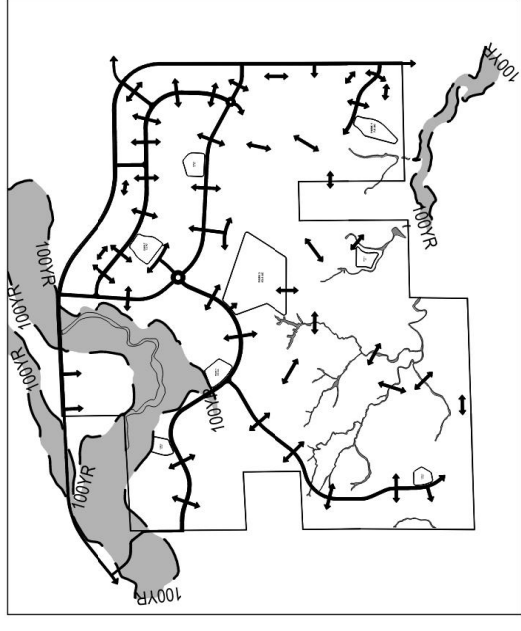
NEIGHBORHOOD PARK - PARK 8



PARK 8
3.5 AC

PARK TABLE			
PARK	TYPE	ACREAGE	MAINTENANCE/RESPONSIBILITY
1	NEIGHBORHOOD PARK	7.6 AC	POA/HOA/DISTRICT
2	NEIGHBORHOOD PARK	3.5 AC	POA/HOA/DISTRICT
3	COMMUNITY PARK	43.4 AC	CITY OF COLORADO SPRINGS
4	NEIGHBORHOOD PARK	5.1 AC	POA/HOA/DISTRICT
5	NEIGHBORHOOD PARK	7.2 AC	POA/HOA/DISTRICT
6	NEIGHBORHOOD PARK	3.6 AC	POA/HOA/DISTRICT
7	NEIGHBORHOOD PARK	5.5 AC	POA/HOA/DISTRICT
8	NEIGHBORHOOD PARK	3.5 AC	POA/HOA/DISTRICT
TOTAL		79.4 AC	

KEY MAP



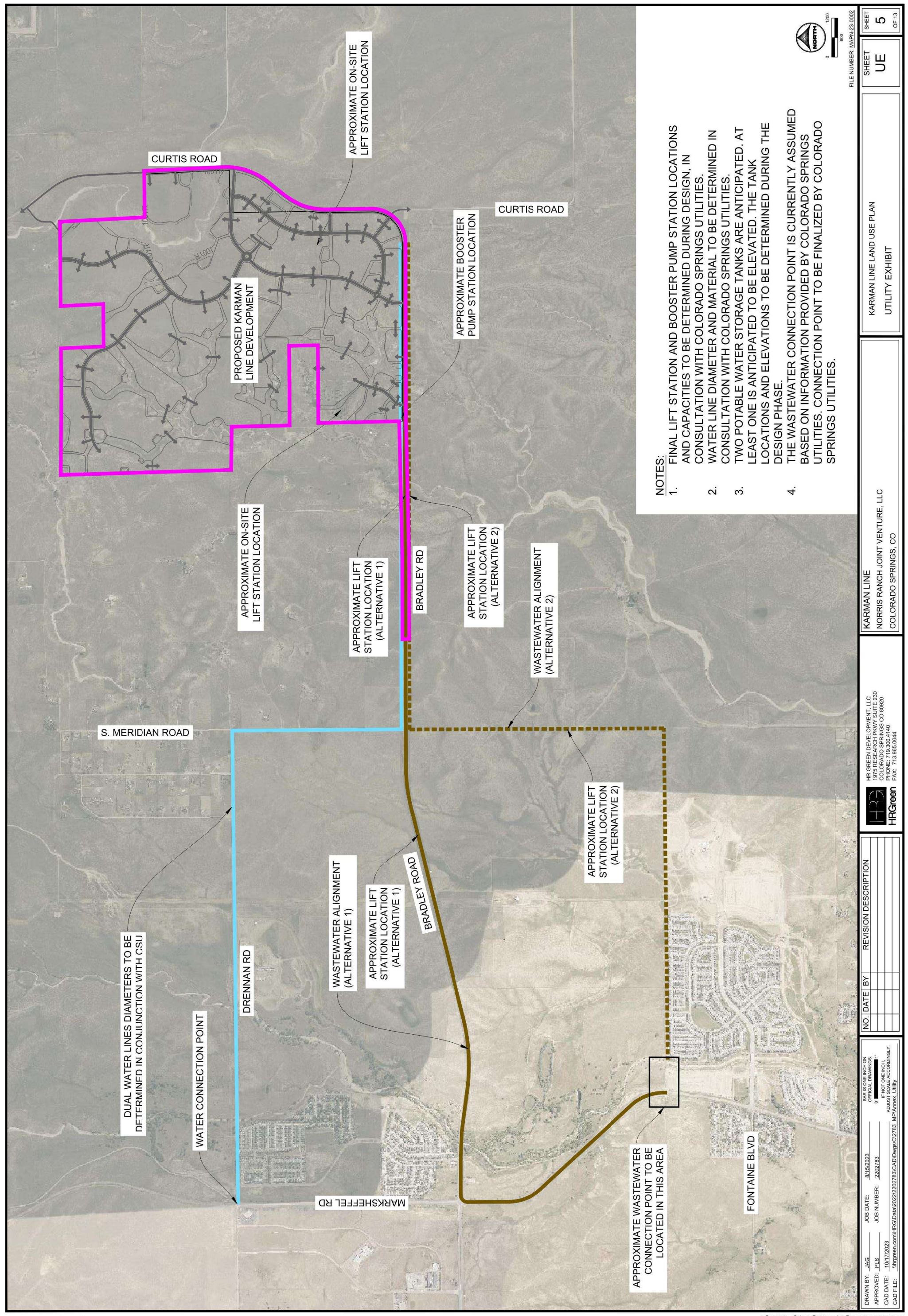
LEGEND

- PARK PARCEL BOUNDARY
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- EXISTING CONTOUR
- 100 YEAR FLOOD PLAIN
- EXISTING DRAINAGE WAY
- PROPOSED ROADWAY



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DUAL WATER LINES DIAMETERS TO BE DETERMINED IN CONJUNCTION WITH CSU

WATER CONNECTION POINT

WASTEWATER ALIGNMENT (ALTERNATIVE 1)

APPROXIMATE LIFT STATION LOCATION (ALTERNATIVE 1)

BRADLEY ROAD

APPROXIMATE WASTEWATER CONNECTION POINT TO BE LOCATED IN THIS AREA

FONTAINE BLVD

APPROXIMATE LIFT STATION LOCATION (ALTERNATIVE 1)

APPROXIMATE LIFT STATION LOCATION (ALTERNATIVE 2)

WASTEWATER ALIGNMENT (ALTERNATIVE 2)

APPROXIMATE BOOSTER PUMP STATION LOCATION

APPROXIMATE ON-SITE LIFT STATION LOCATION

PROPOSED KARMMAN LINE DEVELOPMENT

APPROXIMATE ON-SITE LIFT STATION LOCATION

CURTIS ROAD

CURTIS ROAD

- NOTES:**
1. FINAL LIFT STATION AND BOOSTER PUMP STATION LOCATIONS AND CAPACITIES TO BE DETERMINED DURING DESIGN, IN CONSULTATION WITH COLORADO SPRINGS UTILITIES.
 2. WATER LINE DIAMETER AND MATERIAL TO BE DETERMINED IN CONSULTATION WITH COLORADO SPRINGS UTILITIES.
 3. TWO POTABLE WATER STORAGE TANKS ARE ANTICIPATED. AT LEAST ONE IS ANTICIPATED TO BE ELEVATED. THE TANK LOCATIONS AND ELEVATIONS TO BE DETERMINED DURING THE DESIGN PHASE.
 4. THE WASTEWATER CONNECTION POINT IS CURRENTLY ASSUMED BASED ON INFORMATION PROVIDED BY COLORADO SPRINGS UTILITIES. CONNECTION POINT TO BE FINALIZED BY COLORADO SPRINGS UTILITIES.



FILE NUMBER: MAPN-23-0002

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KARMMAN LINE LAND USE PLAN
UTILITY EXHIBIT

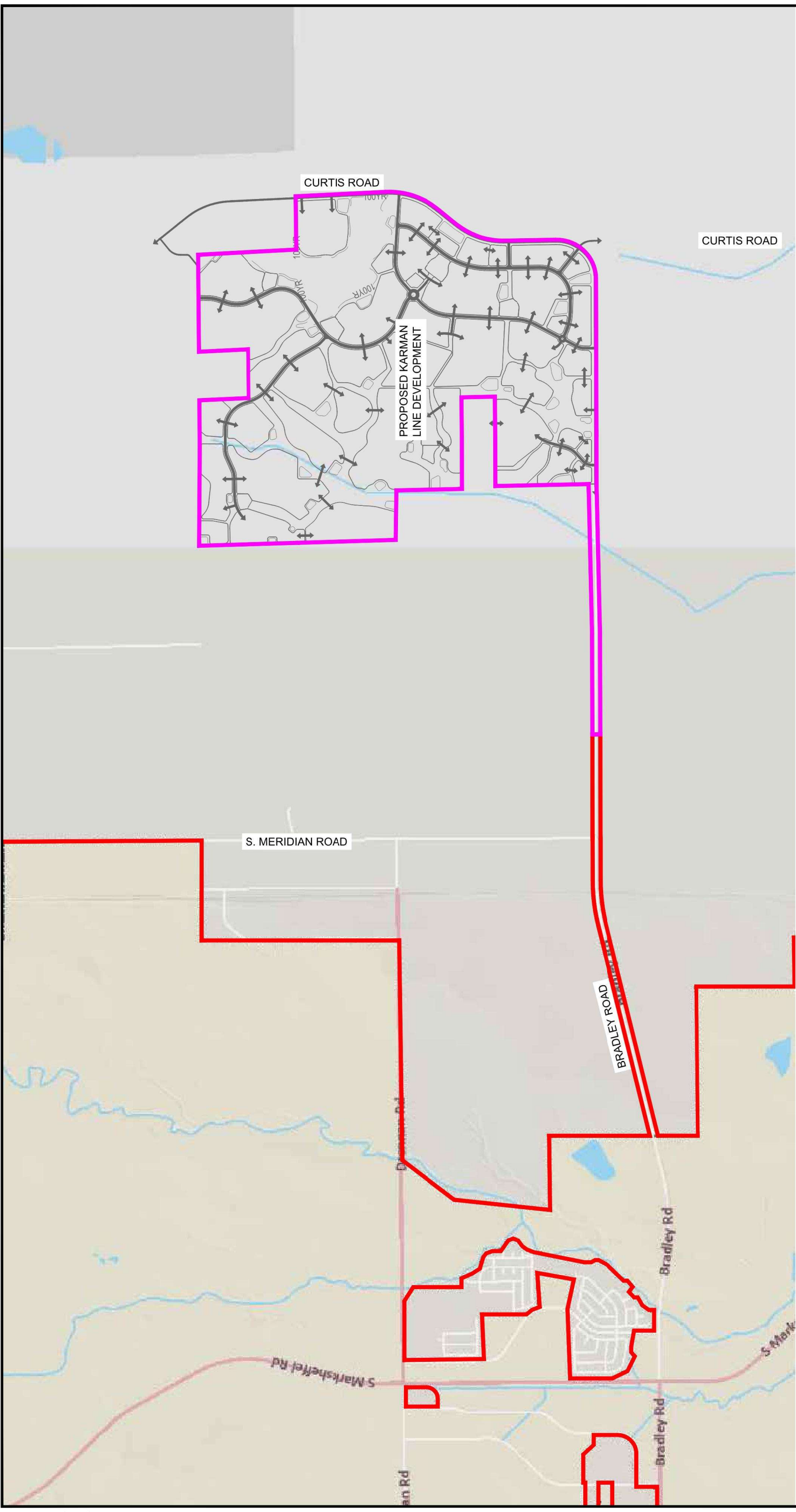
KARMMAN LINE
NORRIS RANCH JOINT VENTURE, LLC
COLORADO SPRINGS, CO

HR GREEN DEVELOPMENT, LLC
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
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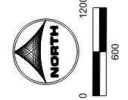
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ANNEXATION LEGEND

- CITY OF COLORADO SPRINGS BOUNDARY
- BOUNDARY TO BE ANNEXED
- COLORADO SPRINGS
- EL PASO COUNTY



FILE NUMBER: MAPN-23-0002

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KARMAN LINE LAND USE PLAN
BRADLEY RD R.O.W.-ANNEXATION CORRIDOR

KARMAN LINE
NORRIS RANCH JOINT VENTURE, LLC
COLORADO SPRINGS, CO

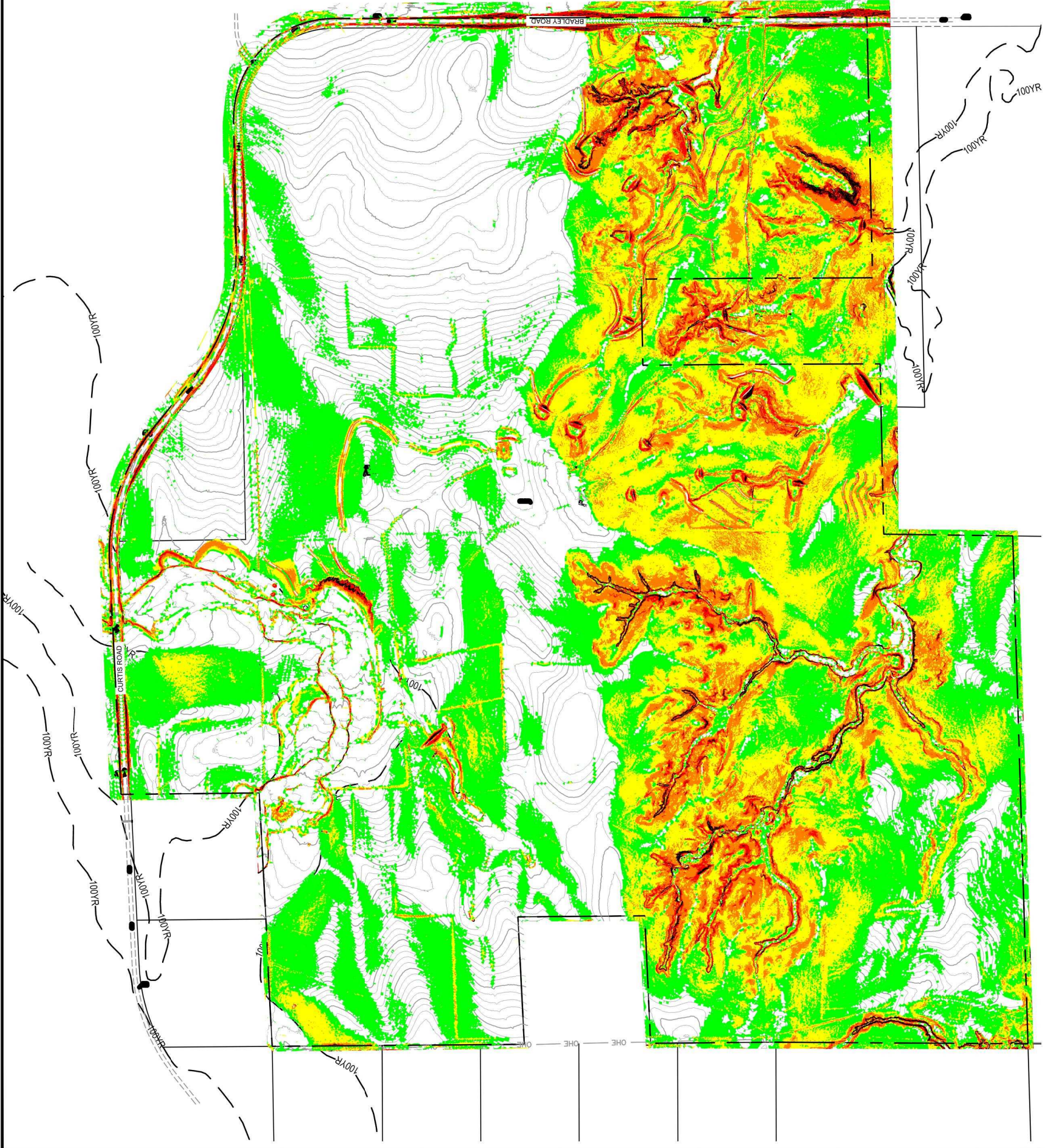
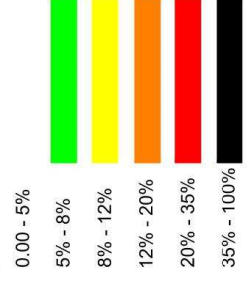
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SLOPE ANALYSIS LEGEND



FILE NUMBER: MAPN-23-0002

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OF 13

KARMAN LINE LAND USE PLAN
LSA - SLOPE ANALYSIS

KARMAN LINE
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GENERAL STREAMSIDE NOTES

1. THE REQUIRED ADDITIONAL STREAMSIDE PLANTING REQUIREMENT WILL BE ESTABLISHED WITH FUTURE STREAMSIDE DEVELOPMENT PLANS.
2. ANY STREAMSIDE PLANTING SHALL BE CALIBRATED TO THE STREAMSIDE BUFFER ZONE REQUIREMENTS AND SHALL BE PLANTED PRIOR TO ANY DEVELOPMENT.
3. EXISTING TREES COLOCATED WITH STREAMSIDE BUFFER ZONES WILL BE REPLACED IF NOT IN HEALTHY CONDITION AFTER CONSTRUCTION AS A RESULT OF CONSTRUCTION ACTIVITIES.
4. STREAMSIDE BUFFER ZONES SHALL BE MAINTAINED THROUGHOUT THE PROJECT LIFECYCLE. ANY POTENTIALLY DAMAGING ACTIVITIES ARE PROHIBITED IN THE BUFFER ZONE UNLESS THEY ARE NECESSARY FOR THE PROJECT AND APPROVED BY THE CITY.
5. STREAMSIDE AMENITIES (USABLE OPEN SPACE, TRAILS, ETC.) OUTSIDE OF BUFFER ZONES BUT INSIDE OF OUTER BUFFERS WILL BE IDENTIFIED BY FUTURE STREAMSIDE DEVELOPMENT PLANS AND WILL BE APPROPRIATE TO THE USE OF THE PROPERTY.
6. CHARACTERISTICS OR STREAM ADJACENT TO WETLANDS, APPROVAL OF A STREAMSIDE DEVELOPMENT WILL BE REQUIRED TO DEMONSTRATE THAT THE DEVELOPMENT PROJECT MEETS OR EXCEEDS THE STREAMSIDE DEVELOPMENT PLAN REVIEW CRITERIA AND SATISFIES THE STREAM PROTECTION STANDARDS PER UDC SECTION 7.2.603.E.2. THE STREAM TYPES AND STREAMSIDE BUFFER ZONES SHALL BE ESTABLISHED AT THE TIME OF DEVELOPMENT PLAN ENTITLEMENT IN ACCORDANCE WITH UDC SECTION 7.2.603.B. APPLICABILITY: 35-0 DOES INCLUDE ALL LAND WITHIN ONE HUNDRED (100) FEET OF THE ESTABLISHED OUTER BUFFER.

NATURAL FEATURES LEGEND

- 100YR
- SITE BOUNDARY
- EXISTING FLOOD PLAIN
- EXISTING DRAINAGE WAY
- EXISTING RIPARIAN
- EXISTING MAJOR CONTOUR (5')

STREAMSIDE OVERLAY REVIEW CRITERIA

1. HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THIS SECTION AS WELL AS ALL OTHER CITY GRADING AND FILLING REGULATIONS?
 - SPECIFIC OVERLAY AREAS HAVE NOT YET BEEN IDENTIFIED. HOWEVER, IF THERE ARE SPECIFIC STREAMSIDE CORRIDORS IDENTIFIED AT THE TIME OF THE DEVELOPMENT PLAN, THE NATURAL LANDFORM WILL BE MAINTAINED EXCEPT WHERE SLOPE STABILIZATION IS NEEDED WITHIN THE DEVELOPMENT PLAN.
2. DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESSWAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?
 - THE PROPOSED PROJECT WILL COMPLEMENT THE STREAMSIDE SETTING AS FEASIBLE. AS SHOWN ON THE LAND USE PLAN, MANY OF THE PROPOSED DEVELOPMENT AREAS ARE LOCATED ALONG SELECTED CORRIDORS TO INCORPORATE THE STREAM ECOSYSTEMS INTO THE PROJECT DESIGN AND PROVIDE A LINK TO ADJACENT PROPERTIES ALONG SHARED STREAM CORRIDORS. DETENTION AREAS ARE PROPOSED ADJACENT, HOWEVER ARE NOT LOCATED WITHIN THE DRAINAGE WAYS.
3. HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO SPECIFIC OVERLAY AREAS?
 - SPECIFIC RIPARIAN ECOSYSTEMS HAVE NOT BEEN STUDIED IN DETAIL. HOWEVER, THE LUP HAS RESPECTED ALL THE MAJOR DRAINAGEWAYS. THERE IS NO EVIDENCE OF THREATENED OR ENDANGERED SPECIES ON THIS PROPERTY.
4. HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS AND OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?
 - YES, THE LUP DEMONSTRATES A SIGNIFICANT TRAIL SYSTEM AND A CONNECTION TO A FUTURE EL PASO COUNTY REGIONAL TRAIL. OTHER RECREATIONAL FACILITIES SUCH AS PARKS HAVE BEEN LOCATED THROUGHOUT THE COMMUNITY.
5. HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?
 - YES, THE PROJECT HAS BEEN DESIGNED SO THAT DEVELOPMENT WILL BE OUTSIDE OF THE 100-YEAR FLOOD PLAIN. FURTHER EVALUATION WILL BE NEEDED AT THE DEVELOPMENT AND SUBMISSION PLAN STAGES OF THE DEVELOPMENT.
6. HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT ON THESE FEATURES?
 - SPECIFIC STREAMSIDE AREAS HAVE NOT YET BEEN IDENTIFIED BY THE CITY AS THIS AREA HAS NOT BEEN STUDIED. AT THE TIME OF DEVELOPMENT PLAN, SIGNIFICANT FEATURES WILL BE RESPECTED AS FEASIBLE. MAJOR DRAINAGEWAYS ARE RESPECTED IN THE LUP TO MINIMIZE IMPACT ON THESE FEATURES.
7. DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUBAREA PLANS SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS?
 - THERE ARE NO SUB-AREA PLANS OR SPECIFIC DRAINAGE BASIN STUDIES FOR THIS PROPERTY OR FOR THIS AREA OF THE CITY.
8. DOES THE PROJECT DESIGN IMPLEMENT A RIPARIAN BUFFER BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSESS PREVENTING POINT AND NON-POINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?
 - THE PROJECT DESIGN DOES NOT IMPLEMENT A RIPARIAN BUFFER. HOWEVER, THE LUP HAS IDENTIFIED MAJOR DRAINAGEWAYS. HOWEVER, AT THE TIME OF DEVELOPMENT PLAN, STREAMSIDE CORRIDORS ARE IDENTIFIED. PROPOSED DESIGN AREAS WILL INCORPORATE BUFFERS ADJACENT TO WATERWAYS TO MINIMIZE POINT AND NON-POINT POLLUTANTS.
9. DOES THE PROJECT DESIGN EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUSNESS RESTRICTIONS ACROSS THE ENTIRE OVERLAY AREA ON THE SITE?
 - SPECIFIC STREAMSIDE AREAS AND DESIGNATIONS ARE NOT YET IDENTIFIED BY THE CITY AS THIS AREA HAS NOT BEEN STUDIED. HOWEVER, AT THE TIME OF DEVELOPMENT PLAN, STREAMSIDE CORRIDORS ARE IDENTIFIED. THERE WILL NOT BE ANY IMPERVIOUS SURFACES PROPOSED WITHIN THE STREAMSIDE CORRIDORS. THE PROJECT DESIGN WILL INCORPORATE PERMEABLE SURFACES THROUGHOUT THE DEVELOPMENT PLAN STAGE TO CREATE CONNECTIVITY TO STREAMSIDE AREAS AND CONNECTIVITY THROUGHOUT THE PROJECT.
10. DOES THE PROJECT DESIGN INCORPORATE ALL STORMWATER POOLS REQUIRED BY STORMWATER ENTERPRISE THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY?
 - STORMWATER DETENTION FACILITIES HAVE BEEN GENERALLY LOCATED AT THIS TIME AND MAY SHIFT OR MOVE AT TIME OF DEVELOPMENT PLAN. STORMWATER FACILITIES WILL ENCOURAGE SITE FILTRATION AND PROVIDE MORE OPPORTUNITIES TO CAPTURE POLLUTANTS BEFORE FLOWING INTO DRAINAGEWAYS AND FLOODPLAIN AREAS.
11. DOES THE PROJECT DESIGN INCORPORATE VISUAL BUFFERS OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDES OF THE STREAM?
 - VISUAL BUFFERS BETWEEN AREAS ARE NOT YET IDENTIFIED BY THE CITY. HOWEVER, OPEN SPACE BUFFERS HAVE BEEN LOCATED ALONG ALL OF THE MAJOR DRAINAGE WAYS. IF STREAMSIDE CORRIDORS ARE IDENTIFIED ON THIS PROJECT, THE APPLICANT WILL PROVIDE THE REQUIRED TREES PER CITY CODE (SECTION 7.2.603).
12. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET AND DOES THE APPLICATION MEET ALL OTHER REQUIREMENTS OF PART 7.4.9 (LANDSCAPING AND GREEN SPACE)?
 - SPECIFIC STREAMSIDE AREAS AND DESIGNATIONS ARE NOT YET IDENTIFIED BY THE CITY. HOWEVER, INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS WILL BE FOLLOWED AS REQUIRED BY CODE. PROPOSED TREES IN THIS AREA WILL MEET THE RIPARIAN SECTION OF THE LANDSCAPE CODE (SECTION 7.2.603).
13. ARE SPECIES PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL?
 - SPECIFIC STREAMSIDE AREAS AND DESIGNATIONS ARE NOT YET IDENTIFIED BY THE CITY. HOWEVER, IN DISTURBED AREAS APPROPRIATE NATIVE SEED WILL BE USED FOR REVEGETATION, TO MINIMIZE EROSION, AND TO IMPROVE BANK STABILIZATION. PROPOSED TREES IN THIS AREA WILL MEET THE RIPARIAN SECTION OF THE LANDSCAPE CODE (SECTION 7.2.603) AND TO IMPROVE BANK STABILIZATION. PROPOSED TREES IN THIS AREA WILL MEET THE RIPARIAN SECTION OF THE LANDSCAPE CODE (SECTION 7.2.603) AND TO IMPROVE BANK STABILIZATION.
14. HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED, INCLUDING THOSE OVER FIFTEEN (15) PERCENT SLOPE, HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED, AND DOES THE PLAN PROVIDE FOR THE REVEGETATION AND STABILIZATION OF ANY DISTURBED AREAS REQUIRED BY THIS UDC?
 - DISTURBED AREAS IDENTIFIED BY THE CITY. HOWEVER, A SLOPE ANALYSIS HAS BEEN CREATED AND AS SHOWN ON THE LUP, DISTURBANCES WILL BE MINIMIZED WITHIN EACH OF THESE OPEN SPACE CORRIDORS AND WILL BE REVEGETATED AS NEEDED. AREAS THAT ARE OVER 15% SLOPE WITHIN IDENTIFIED STREAMSIDE CORRIDORS WILL BE RE-SEED TO HELP ENSURE BANK STABILITY.
15. HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGEWAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL FOR THIS CRITERION. RECLAMATION INCLUDES ANY ACTION THAT IMPROVES THE QUALITY OF THAT DRAINAGEWAY VISUALLY, FUNCTIONALLY, OR RECREATIONALLY, AND THAT MAJOR DRAINAGEWAYS HAVE BEEN PRESERVED WITHIN OPEN SPACE CORRIDORS WHERE PRACTICAL AND WILL REMAIN IN A NATURAL CONDITION. SOME STABILIZATION AND GRADING MAY BE NEEDED WHICH WILL BE DETERMINED AT TIME OF DEVELOPMENT PLAN.

FLOOD PLAIN INFORMATION

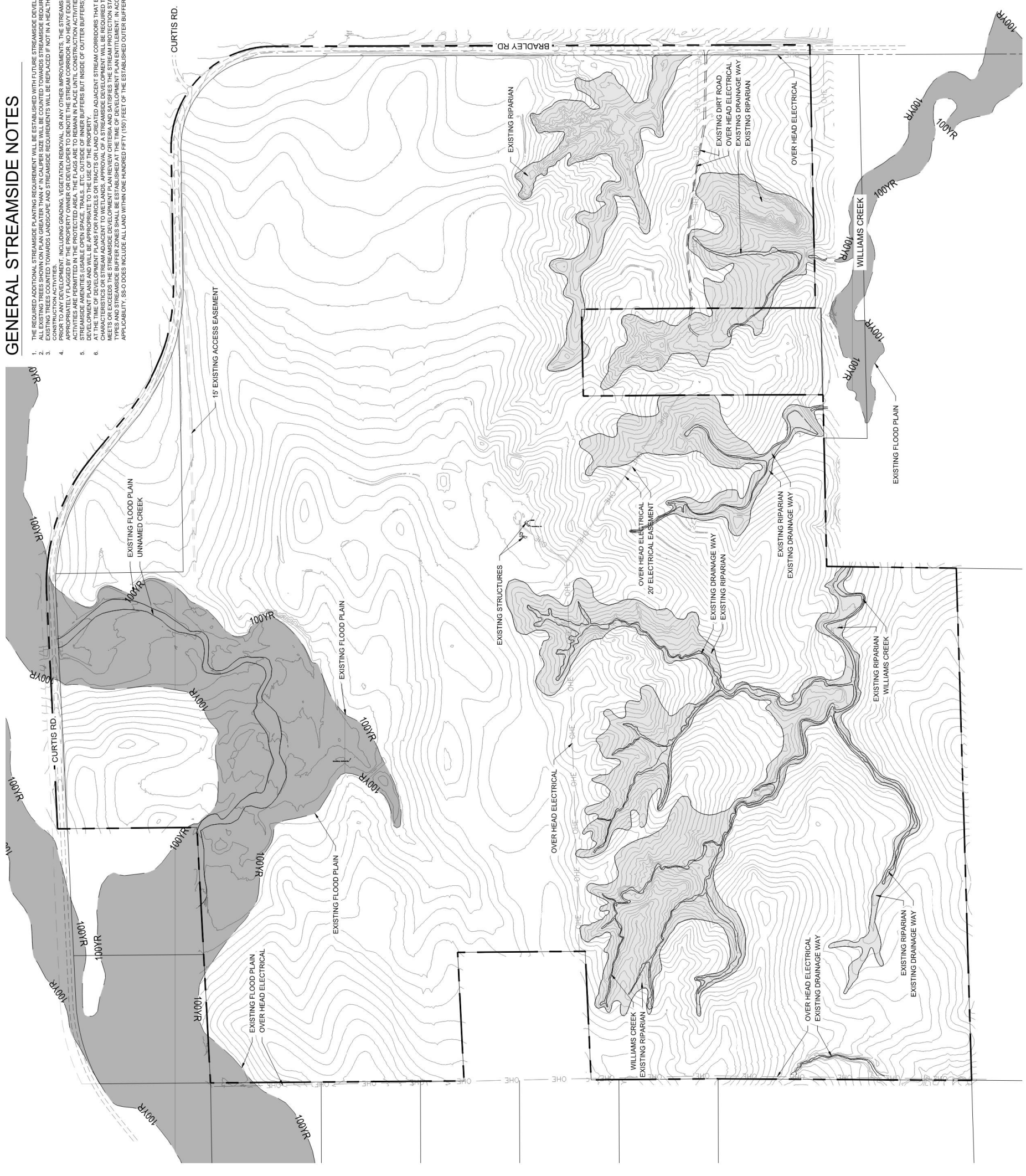
- A PORTION OF THE SITE IN THE NORTHEAST LIES WITHIN ZONE A OF THE FEMA FLOODPLAIN AS SHOWN ON FIRM PANEL 0804102795G, REVISED DECEMBER 7, 2018.

NATURAL AND MANMADE FEATURES

A COUNTY REGIONAL TRAIL IS PLANNED WEST OF THE PROPERTY AND EXTENDING THROUGH THE NORTHWEST CORNER OF THE PROPERTY. AN UNNAMED CREEK RUNS THROUGH THE NORTHEAST PORTION OF THE PROPERTY. EXISTING POWERLINE PINS ARE LOCATED IN THE SOUTHWEST AREA OF THE SITE AND ARE TO BE MAINTAINED THROUGHOUT THE PROJECT. THE PROJECT DESIGN WILL INCORPORATE SIX DRAINAGE BASINS AND SIX DRAINAGE WAYS AND IS LOCATED NEAR THE UPPER WATERSHED OF EACH OF THESE BASINS. APPROXIMATE AREAS ARE BROKEN DOWN AS FOLLOWS:

- JANMY CAMP CREEK: 78 ACRES
- UPPER EAST CHICO: 397 ACRES
- UPPER WILLIAMS CREEK: 950 ACRES
- UPPER WILLIAMS TRIBUTARY: 3 ACRES
- UPPER CHICO CREEK: 88 ACRES
- MIDDLE EAST CHICO: 78 ACRES

DRAINAGE FLOWS GENERALLY SOUTHERLY THROUGH THE SITE. TWO MAJOR DRAINAGEWAYS TRVERSE THE PROPERTY - UPPER EAST TRIBUTARY OF CHICO CREEK AND THE UPPER TRIBUTARY OF WILLIAMS CREEK. HOWEVER, A NUMBER OF SMALL TRIBUTARIES FUNCTION TO CONVEY FLOWS TO UNNAMED TRIBUTARIES EAST AND WEST OF THE SITE. THE UPPER EAST TRIBUTARY OF CHICO CREEK IS THE ONLY FEMA-REGULATED FLOODPLAIN ON THE SITE, MAPPED AS ZONE A. FILE NUMBER: MAPN-23-0002



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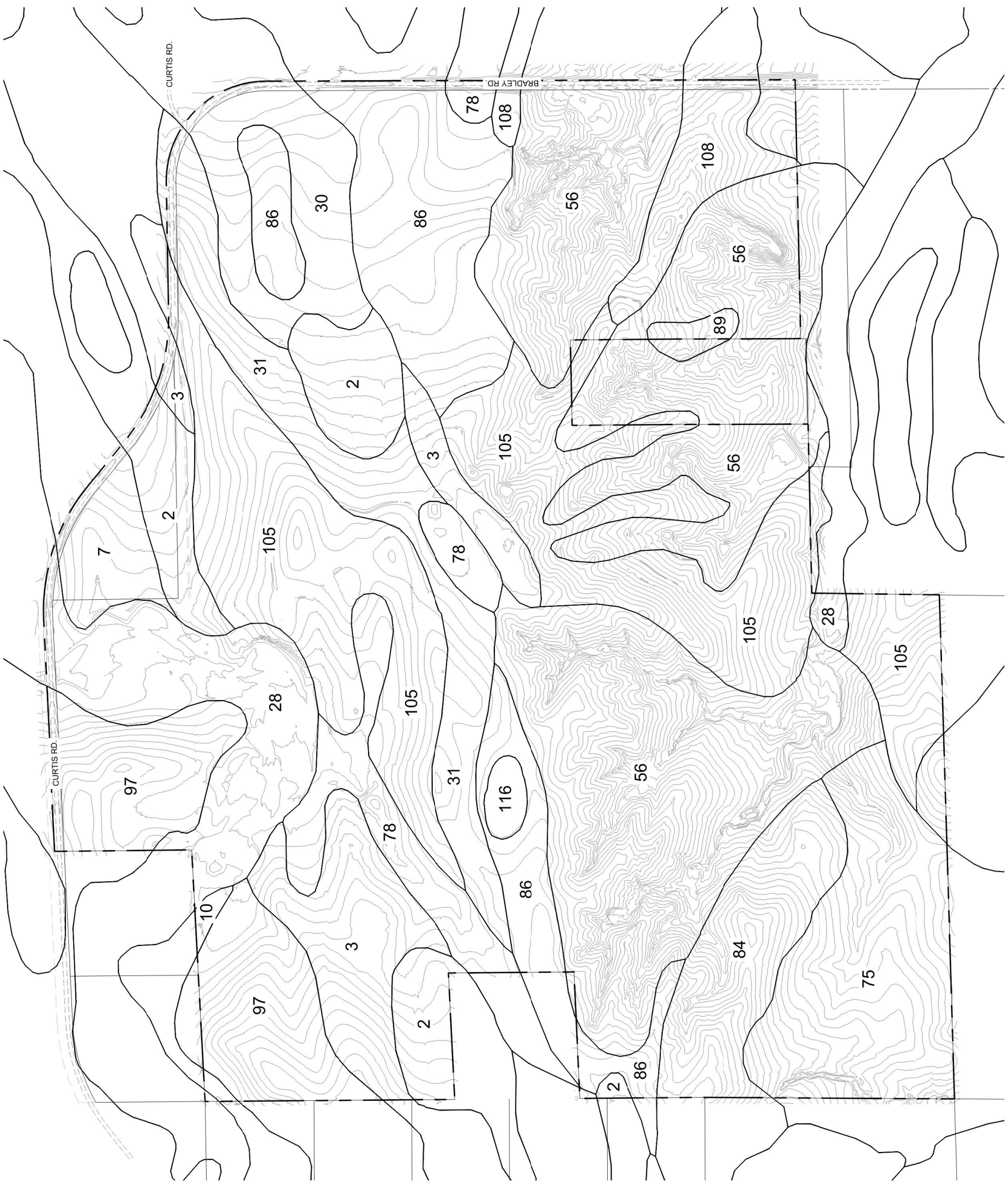
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KARMAN LINE
 NORRIS RANCH JOINT VENTURE, LLC
 COLORADO SPRINGS, CO

KARMAN LINE LAND USE PLAN
LSA - STREAMSIDE OVERLAY & NATURAL FEATURES

SHEET **SSO** OF 13
 SHEET **8**



SOIL MAP LEGEND

MAP ID	SOIL NAME	PERCENT SLOPES
2	ASCALON SANDY LOAM	1 - 3 % SLOPES
3	ASCALON SANDY LOAM	3 - 9 % SLOPES
7	BIJOU SANDY LOAM	3 - 8 % SLOPES
10	BLENDON SANDY LOAM	0 - 3 % SLOPES
28	ELLICOTT LOAMY COURSE SAND	0 - 5 % SLOPES
30	FORT COLLINS LOAM	0 - 3 % SLOPES
31	FORT COLLINS LOAM	3 - 8 % SLOPES
56	NELSON-TASSEL FINE SANDY LOAMS	3 - 18 % SLOPES
75	RAZOR-MIDWAY COMPLEX	N/A
78	SAMPSON LOAM	0 - 3 % SLOPES
84	STAPLETON SANDY LOAM	8 - 15 % SLOPES
86	STONEHAM SANDY LOAM	3 - 8 % SLOPES
89	TASSEL FINE SANDY LOAM	3 - 18 % SLOPES
97	TRUCKTON SANDY LOAM	3 - 9 % SLOPES
105	VONA SANDY LOAM, WARM	3 - 6 % SLOPES
108	WILEY SILT LOAM	3 - 9 % SLOPES
116	UDIC HAPLUSTERTS	N/A

SUBSURFACE SOIL INVESTIGATION

A PRELIMINARY SOIL INVESTIGATION HAS BEEN PROVIDED BY THE NATURAL RESOURCES CONSERVATION SERVICES (USDA) AND HAS IDENTIFIED THE SITE PREDOMINATELY CONSISTS OF SAND LOAM VARIATIONS. SOIL TYPES ARE AS FOLLOWS; TYPE 1: ASCALON SANDY LOAM, TYPE 2: BIJOU SAND LOAM, TYPE 3 BLENDON SANDY LOAM, TYPE 4: ELLICOTT LOAMY COARSE SAND, TYPE 5: FORT COLLINS LOAM, TYPE 6: NELSON-TASSEL FINE SANDY LOAMS, TYPE 7: RAZOR-MIDWAY COMPLEX, TYPE 8: SAMPSON LOAM, TYPE 9: STAPLETON SANDY LOAM, TYPE 10: STONEHAM SANDY LOAM, TYPE 11: TASSEL FINE SANDY LOAM, TYPE 12: TRUCKTON SANDY LOAM, TYPE 13: VONA SANDY LOAM-WARM, TYPE 14: WILEY SILT LOAM, AND TYPE 15: UDIC HAPLUSTERTS.



FILE NUMBER: MAPN-23-0002

SHEET	9
SHEET	SL
KARMAN LINE LAND USE PLAN	
LSA - SOIL ANALYSIS	

KARMAN LINE
 NORRIS RANCH JOINT VENTURE, LLC
 COLORADO SPRINGS, CO

HRGreen
 HR GREEN DEVELOPMENT, LLC
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

NO.	DATE	BY	REVISION DESCRIPTION

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 APPROVED: PLS JOB NUMBER: 2202783
 CAD DATE: 10/11/2023 ADJUST SCALE ACCORDINGLY:
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VEGETATION LEGEND

- EXISTING FOOTHILLS SHRUBLAND
- EXISTING PONDEROSA PINE FOREST
- EXISTING TALLGRASS PRAIRIE
- EXISTING SHORTGRASS-MIDGRASS PRAIRIE
- EXISTING MIDGRASS-TALLGRASS PRAIRIE

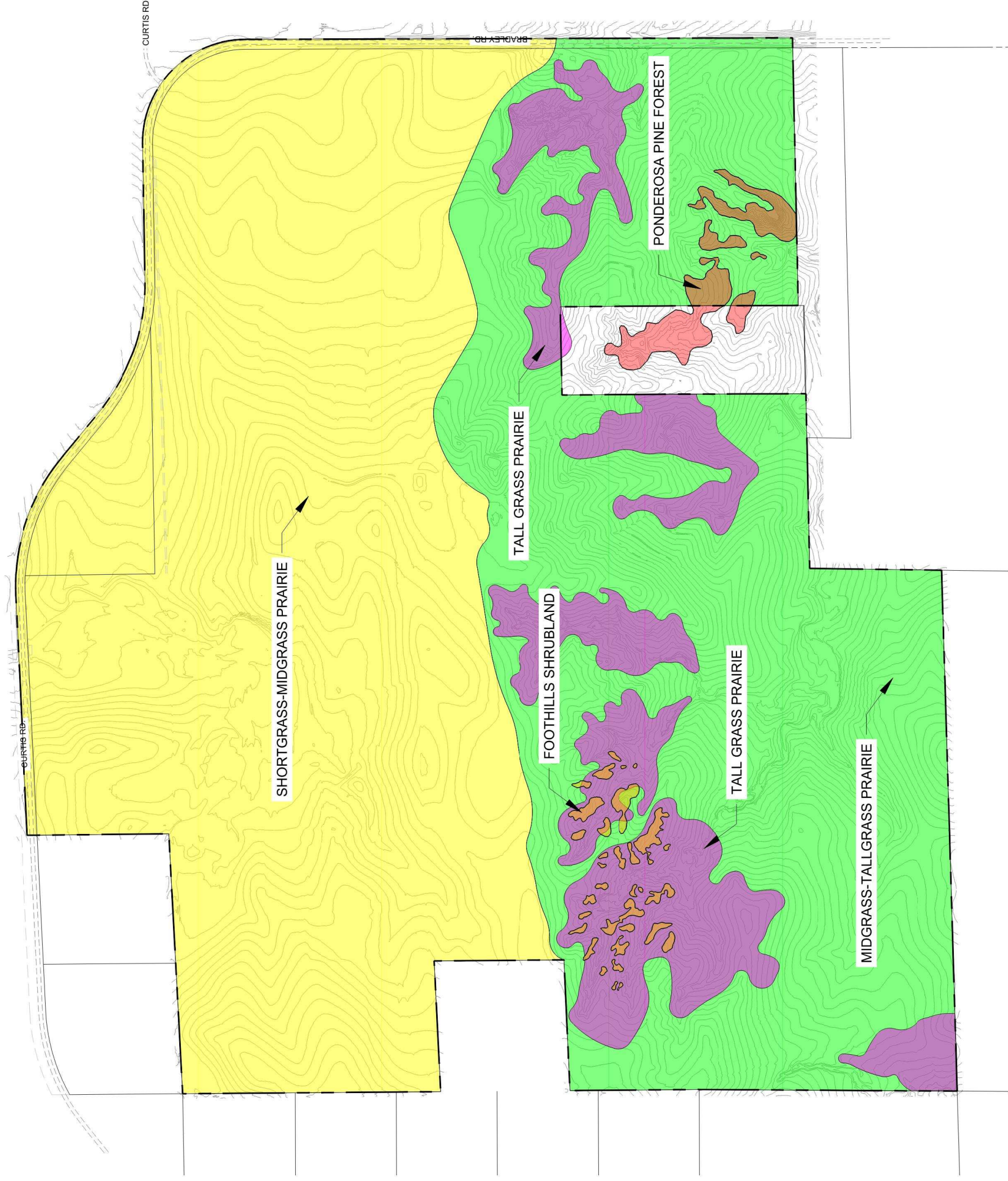
VEGETATION & ECOSYSTEMS

THE VEGETATION OF THE SITE CONSISTS OF NATIVE GRASSES, PONDEROSA PINE FOREST, AND FOOTHILLS SHRUBLAND. MUCH OF THE PROMINENT VEGETATION, RIPARIAN, AND FOREST AREAS ARE INCORPORATED INTO THE DESIGN LAYOUT OF THE COMMUNITY.

WILDFIRE ASSESSMENT & MITIGATION

PROPOSED DEVELOPMENT WILL DISTURB A LARGE PORTION OF THE SITE AND IS PLANNED TO INCLUDE GRADING AND LANDSCAPE IMPROVEMENTS TO PROVIDE WILDFIRE MITIGATION. WATER QUALITY/DETENTION AREAS HAVE BEEN PROPOSED THROUGHOUT THE PROJECT. A MAJORITY OF THE WILDFIRE RISK AREAS WILL BE REMOVED AND REPLACED WITH LANDSCAPING THAT WILL BE IRRIGATED.

WILDFIRE MITIGATION PRACTICES: VEGETATION THINNING, LIMBING-UP OF EXISTING TREES AND ELIMINATION OF FUELS WOULD BE EVALUATED BY THE CITY.



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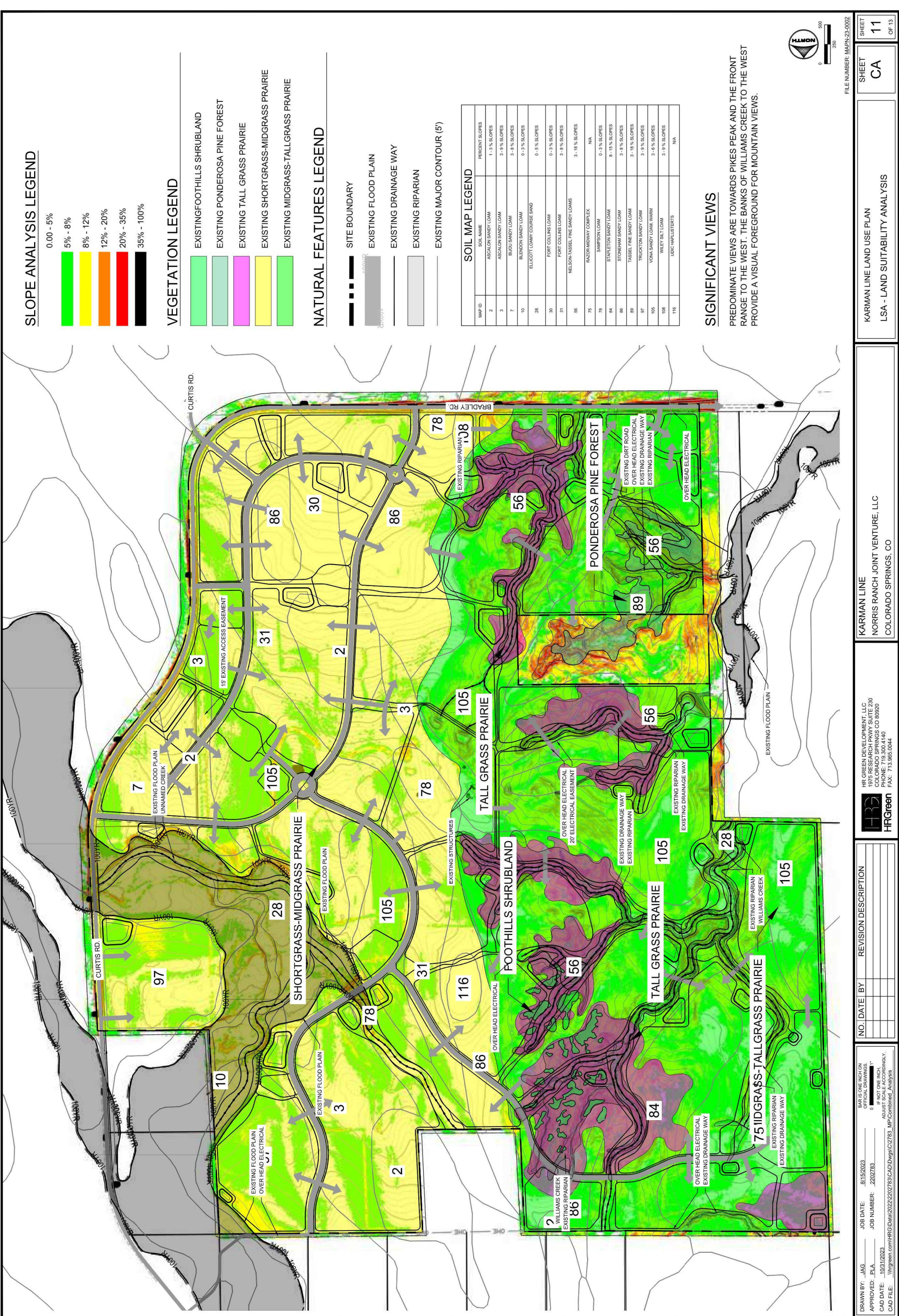
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SHEET	10
KARMAN LINE LAND USE PLAN	
LSA - VEGETATION ANALYSIS	

KARMAN LINE
NORRIS RANCH JOINT VENTURE, LLC
COLORADO SPRINGS, CO

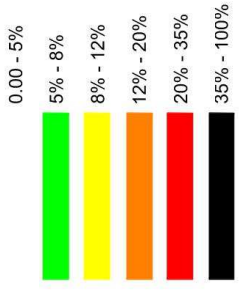
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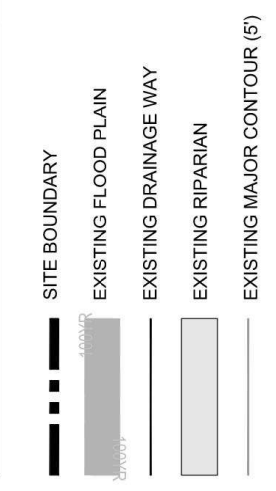
SLOPE ANALYSIS LEGEND



VEGETATION LEGEND



NATURAL FEATURES LEGEND



SOIL MAP LEGEND

MAP ID	SOIL NAME	PERCENT SLOPES
2	ASCALON SANDY LOAM	1 - 3 % SLOPES
3	ASCALON SANDY LOAM	3 - 8 % SLOPES
7	BUCK SANDY LOAM	3 - 8 % SLOPES
10	BLENDON SANDY LOAM	0 - 3 % SLOPES
28	ELGOTT LOAMY COARSE SAND	0 - 5 % SLOPES
30	FORT COLLINS LOAM	0 - 3 % SLOPES
31	FORT COLLINS LOAM	3 - 6 % SLOPES
56	NELSON-TASSEL FINE SANDY LOAMS	3 - 18 % SLOPES
75	RAZOR-MIDWAY COMPLEX	N/A
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89	TASSEL FINE SANDY LOAM	3 - 18 % SLOPES
97	TRUCKTON SANDY LOAM	3 - 8 % SLOPES
105	YOMA SANDY LOAM WARM	3 - 6 % SLOPES
108	WILEY SILT LOAM	3 - 9 % SLOPES
116	UDIC-HAPLUSTERTS	N/A

SIGNIFICANT VIEWS

PREDOMINATE VIEWS ARE TOWARDS PIKES PEAK AND THE FRONT RANGE TO THE WEST. THE BANKS OF WILLIAMS CREEK TO THE WEST PROVIDE A VISUAL FOREGROUND FOR MOUNTAIN VIEWS.



FILE NUMBER: MAPN-23-0002

SHEET **11** OF 13

SHEET **CA**

KARMAN LINE LAND USE PLAN
LSA - LAND SUITABILITY ANALYSIS

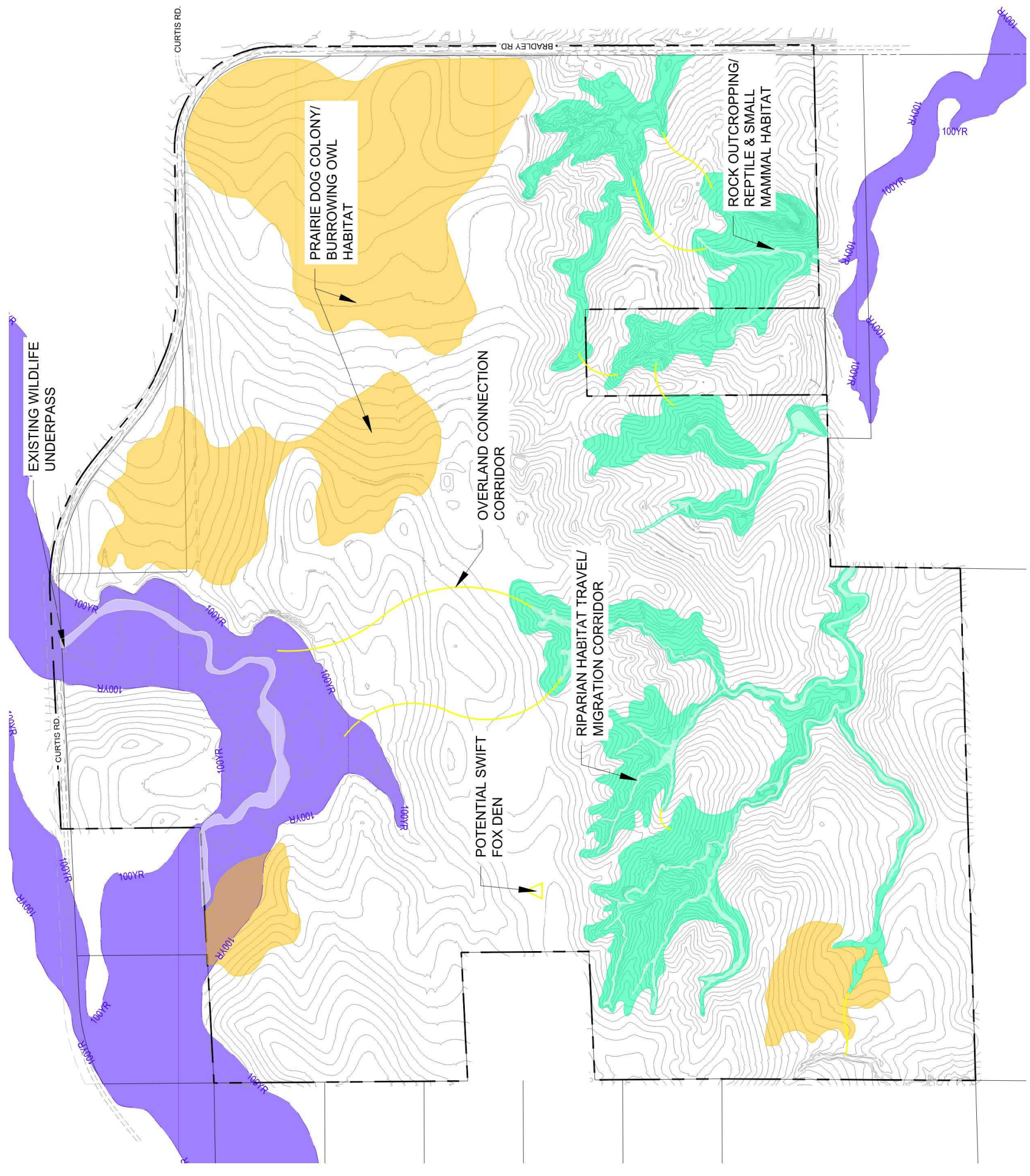
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WILDLIFE LEGEND

- EXISTING PRAIRIE DOG COLONY/
BURROWING OWL HABITAT
- EXISTING RIPARIAN AREA
- EXISTING 100 YEAR FLOOD
PLAIN
- DRAINAGE WAY
- MIGRATION CORRIDOR

WILDLIFE HABITAT & MIGRATION CORRIDORS

SOME VEGETATION EXISTS ALONG THE DRAINAGE WAYS/RIPARIAN AREAS WHICH PROVIDES HABITAT FOR A VARIETY OF SMALL MAMMALS AND REPTILES. PORTIONS OF THE SHORTGRASS-MIDGRASS PRAIRIE PROVIDES THE HABITAT TO PRAIRIE DOG COLONIES AND BURROWING OWLS. A REVIEW OF THE RARE SPECIES AND CRITICAL HABITATS WITHIN THE PROJECT AREA DO NOT IDENTIFY ANY CANDIDATES EITHER POTENTIALLY THREATENED, ENDANGERED OR ENDANGERED HABITATS. MINIMAL DEVELOPMENT WILL OCCUR WITHIN DRAINAGE WAYS OR STREAMSIDE AREAS.

PRAIRIE DOG COLONY/
BURROWING OWL
HABITAT

ROCK OUTCROPPING/
REPTILE & SMALL
MAMMAL HABITAT

OVERLAND CONNECTION
CORRIDOR

RIPARIAN HABITAT TRAVEL/
MIGRATION CORRIDOR

POTENTIAL SWIFT
FOX DEN

EXISTING WILDLIFE
UNDERPASS

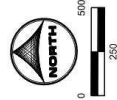


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PARK VICINITY LEGEND

- PROPOSED PARKS
- 1/2 MILE RADIUS (NEIGHBORHOOD PARKS)
- 2 MILE RADIUS (COMMUNITY PARK)



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PVE
13
OF 13

KARMAN LINE LAND USE PLAN
PARK VICINITY EXHIBIT

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