



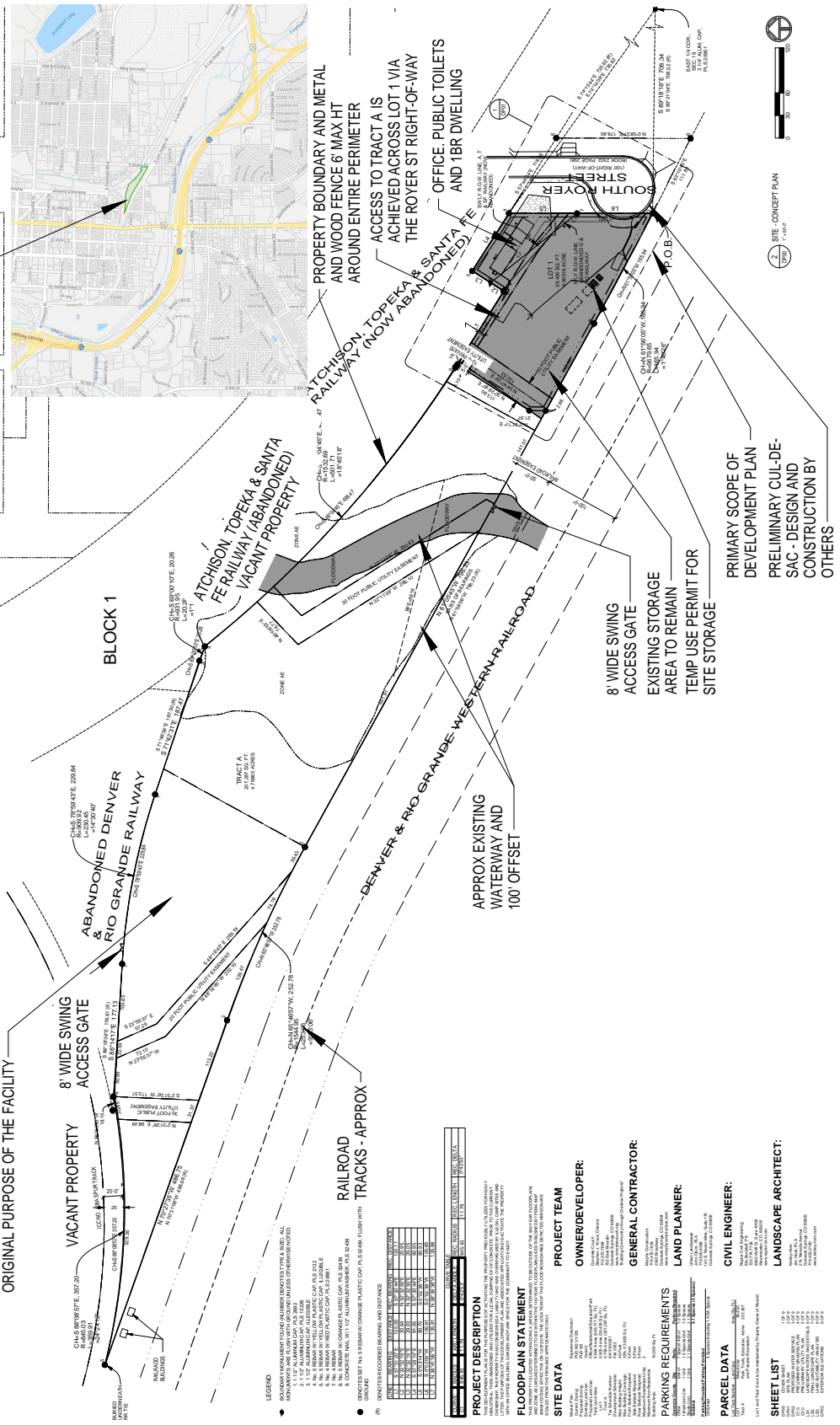
**CONCRETE COYOTE**  
 1100 S. ROYER, COLORADO SPRINGS, CO 80903

SHEET NO. 1 OF 2  
 DATE: 08/20/2024  
 PROJECT: CONCRETE COYOTE  
 SCALE: AS SHOWN

# CONCRETE COYOTE

1100 S. ROYER, COLORADO SPRINGS, CO 80903

CLEANUP AND ROUTINE MAINTENANCE OF TRACT A BY CONCRETE COYOTE TO MAINTAIN THE ORIGINAL LINE AND GRADE. HYDRAULIC CAPACITY, OR ORIGINAL PURPOSE OF THE FACILITY



**LEGEND**

- BOUNDARY: PROPERTY BOUNDARY
- PROPERTY: VACANT PROPERTY
- TRACKS: APPROX RAILROAD TRACKS
- ACCESS: 8' WIDE SWING ACCESS GATE
- PERIMETER: PROPERTY BOUNDARY AND METAL AND WOOD FENCE 6' MAX HT AROUND ENTIRE PERIMETER
- RIGHT-OF-WAY: ACCESS TO TRACT A IS ACHIEVED ACROSS LOT 1 VIA THE ROYER ST RIGHT-OF-WAY
- UTILITIES: APPROX EXISTING WATERWAY AND 100' OFFSET
- SWING GATE: 8' WIDE SWING ACCESS GATE
- STORAGE: EXISTING STORAGE AREA TO REMAIN TEMP USE PERMIT FOR SITE STORAGE
- DEVELOPMENT: PRIMARY SCOPE OF DEVELOPMENT PLAN
- DESIGN: PRELIMINARY CUL-DE-SAC - DESIGN AND CONSTRUCTION BY OTHERS

**PROJECT DESCRIPTION**

CONCRETE COYOTE IS A COMMERCIAL DEVELOPMENT PROJECT LOCATED AT 1100 S. ROYER, COLORADO SPRINGS, CO 80903. THE PROJECT CONSISTS OF A 1.5-ACRE TRACT (TRACT A) ADJACENT TO THE DENVER & RIO GRANDE WESTERN RAILROAD. THE PROJECT WILL BE USED FOR OFFICE, PUBLIC TOILETS, AND A 1-BR DWELLING. THE PROJECT IS SCHEDULED TO BE COMPLETED BY 2025.

**FLOODPLAIN STATEMENT**

THE PROJECT IS NOT LOCATED IN A FLOODPLAIN. THE PROJECT AREA IS DRAINAGE FREE AND DOES NOT ADJACENT TO ANY FLOODPLAIN.

**SITE DATA**

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY SITE PLAN	08/20/2024	J. SMITH
2	FINAL SITE PLAN	08/20/2024	J. SMITH

**PROJECT TEAM**

**OWNER/DEVELOPER:**  
 CONCRETE COYOTE LLC  
 1100 S. ROYER, COLORADO SPRINGS, CO 80903

**GENERAL CONTRACTOR:**  
 [Name Redacted]

**LAND PLANNER:**  
 [Name Redacted]

**CIVIL ENGINEER:**  
 [Name Redacted]

**LANDSCAPE ARCHITECT:**  
 [Name Redacted]

**PARCEL DATA**

TRACT	AREA (AC)	PERMITS
TRACT A	1.5	CONCRETE COYOTE

**SHEET LIST**

SHEET NO.	TITLE
1	CONCRETE COYOTE - OVERALL SITE PLAN
2	CONCRETE COYOTE - CONCEPT PLAN

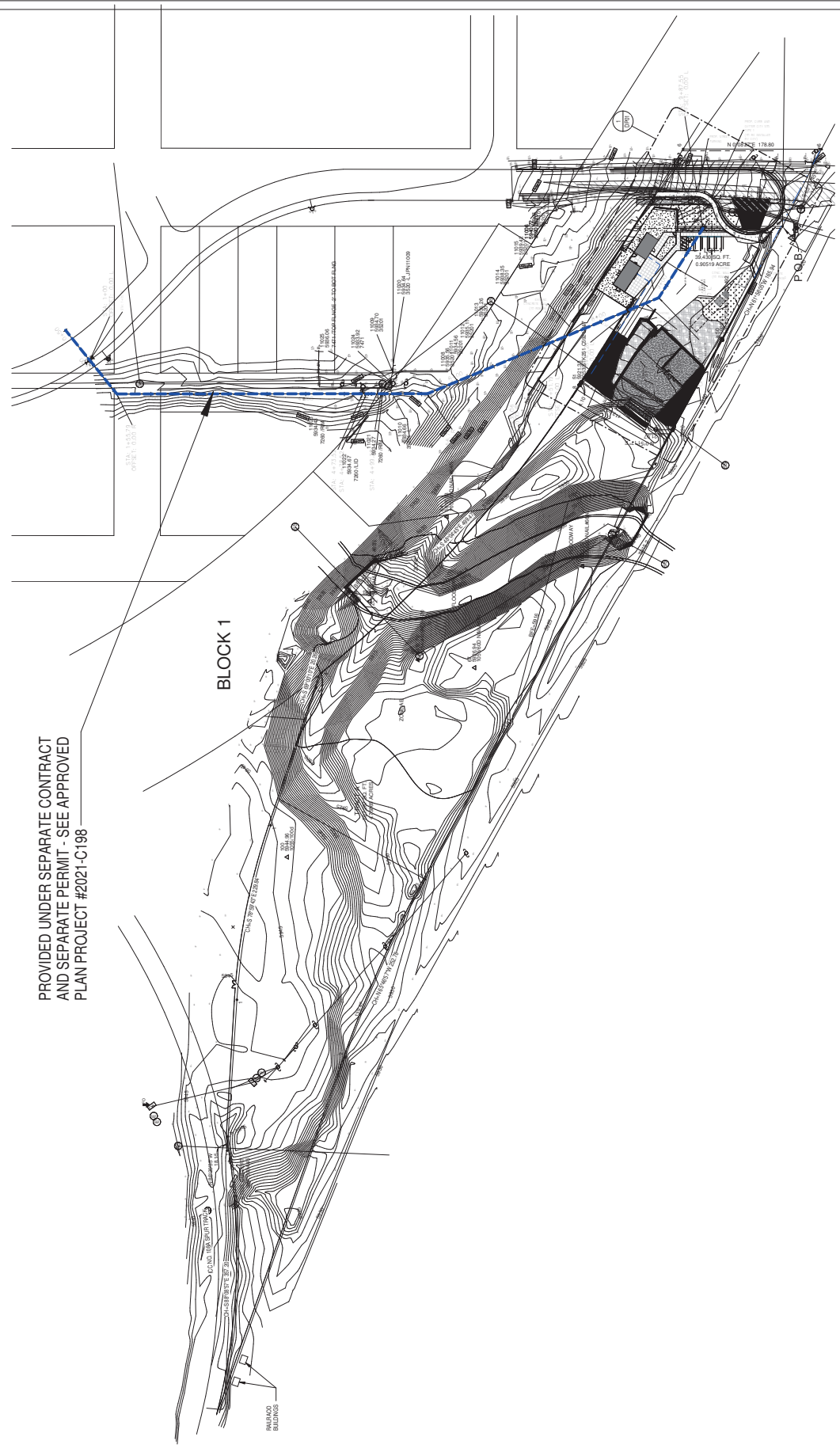


**CONCRETE COYOTE**  
 1100 S. ROYER, COLORADO SPRINGS, CO 80903

CPC PUD 19-00172



PROVIDED UNDER SEPARATE CONTRACT  
 AND SEPARATE PERMIT - SEE APPROVED  
 PLAN PROJECT #2021-C188



SITE - CONCEPT PLAN WATERMAIN EXTENSION  
 1/7/23

# CONCRETE COYOTE

ADDRESS: 1100 S ROYER STREET, COLORADO SPRINGS, CO



WORK@RAPTOR-CIVIL.COM  
WWW.RAPTOR-CIVIL.COM  
730.747.7736

# CONCRETE COYOTE

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

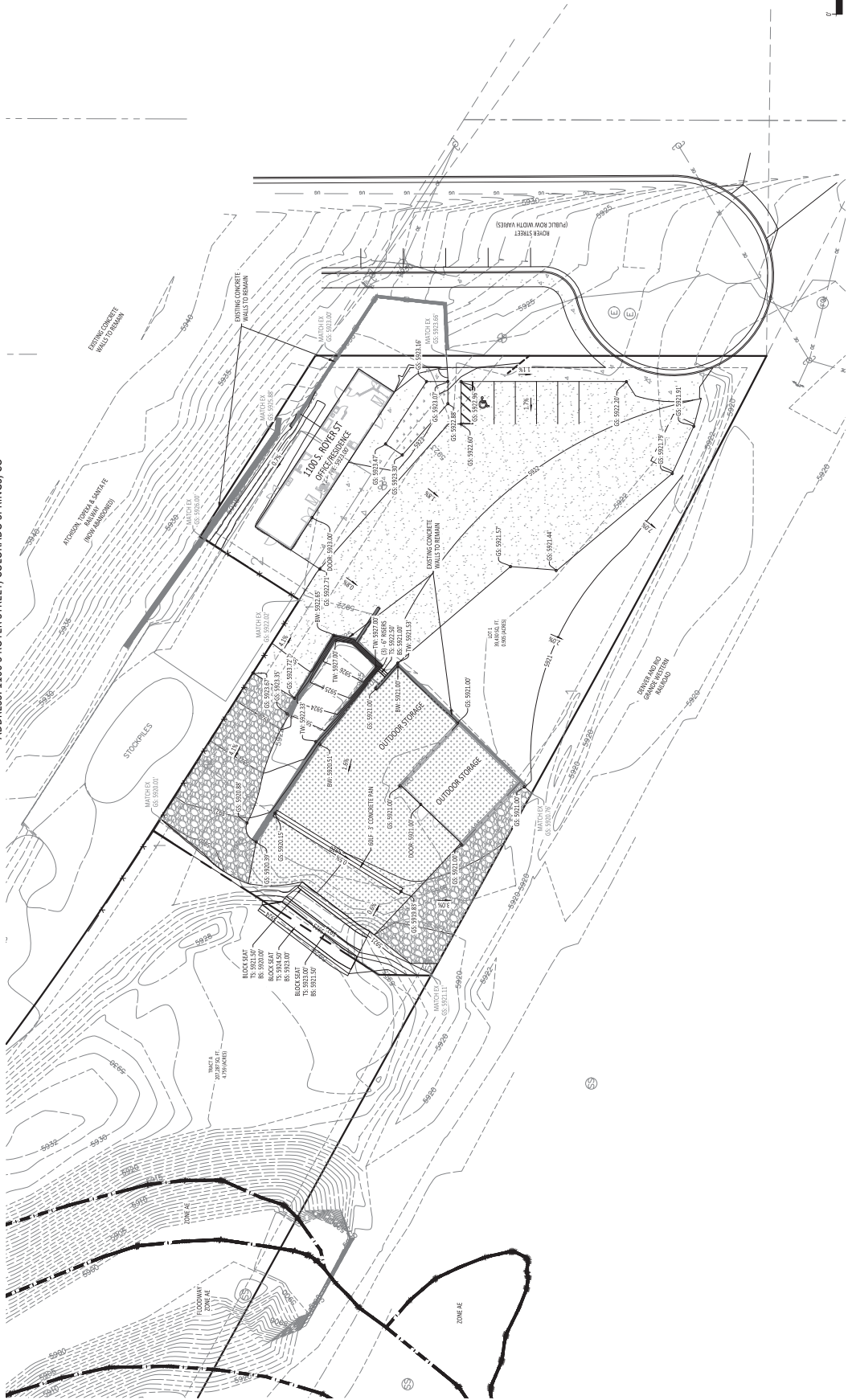
22-16

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FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
1	08/14/2023	DRG

**GRADING & DRAINAGE PLAN**  
**C1.0**  
**4 OF 9**



**LEGEND:**

- PROPERTY LINE
- ASPHALT
- CONCRETE
- GRAVEL
- COMPACTED GRAVEL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 2.0% SLOPE ARROW
- 3.0% SLOPE ARROW
- 4.0% SLOPE ARROW
- 1:12.00 SLOPE ELEVATION

**ABBREVIATION LIST:**

- EL: ELEVATION
- FS: EXISTING GRADE
- FS: FINISHED GRADE
- TW: TOP OF WALL
- GS: GROUND SURFACE
- IS: INTERIOR FINISH
- OS: OUTDOOR FINISH
- GB: GRADE BREAK
- FE: FINISHED FLOOR ELEVATION

**SURVEY STATEMENT:**  
A SURVEY OF THE LAND SHOWN HEREON WAS MADE BY COMMISSIONER OF PUBLIC UTILITIES AND CONSTRUCTION OF THE STATE OF COLORADO, AS SHOWN ON THE PLAN AND ASSUMED TO BEAR NORTH 61 DEGREES 5 MINUTES 45 SECONDS WEST 789.71 FEET.

**FLOOR PLAN NOTE:**  
FLOOR FINISHES: FINISHES SHOWN AS DESCRIBED ON MONUMENTAL RECORDS DATED DECEMBER 1, 2010 LOCATED ON THE TOP OF STAIRWELL ON THE SOUTHWEST CORNER OF SOUTH 17TH STREET AND SOUTH 11TH STREET. ELEVATION = 5991.00 (WITH 1.00' SUPPLEMENTARY ADJUSTMENT).

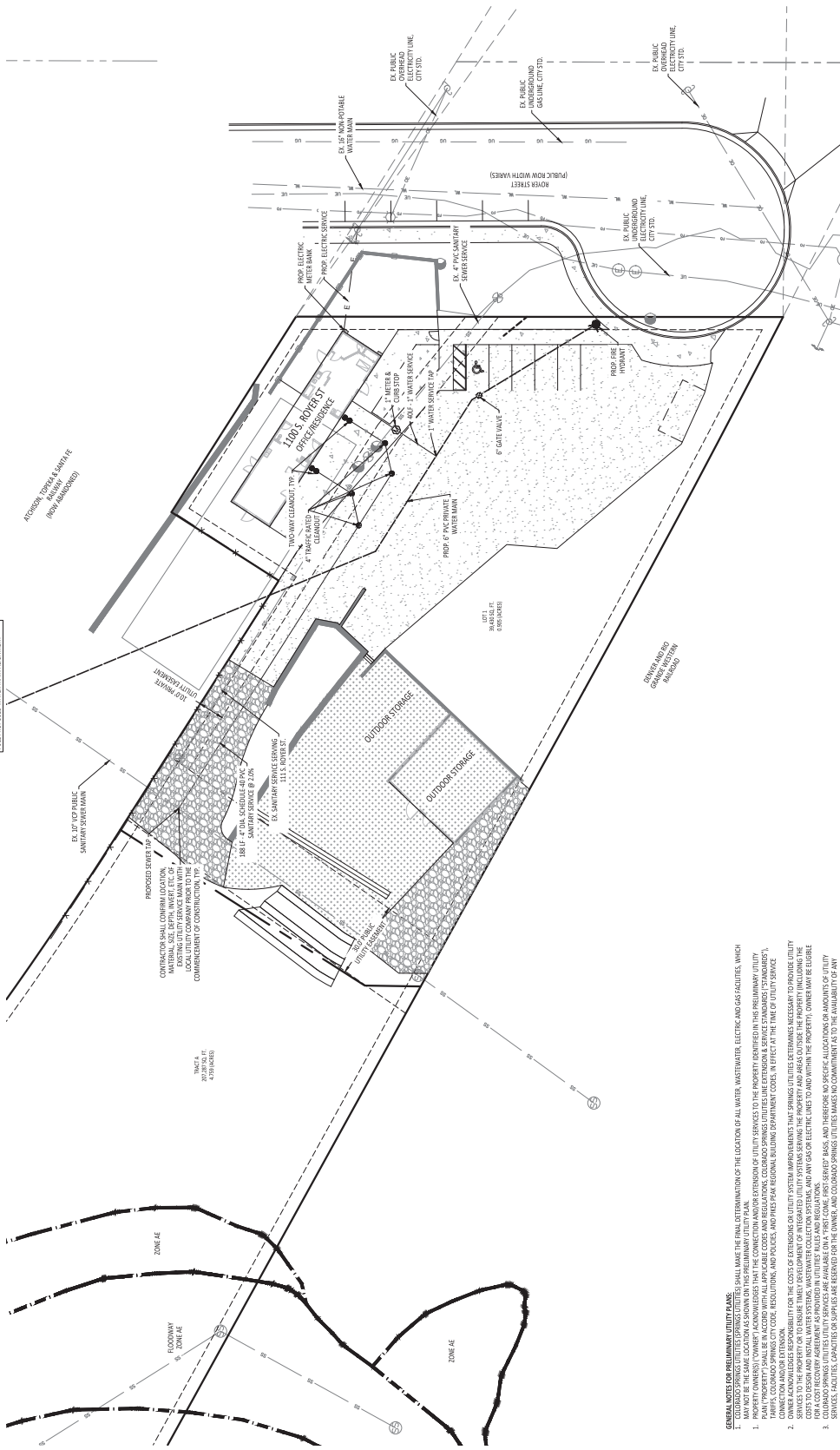
6) CONTRACTOR SHALL REFER TO ALL STRUCTURAL DRAWINGS AND CIVIL ENGINEER DRAWINGS PRIOR TO CONSTRUCTION OF FOUNDATION. ANY DISCREPANCIES SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAXIMUM AREA CROSS-SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT EXCEPTIONS. CONTRACTOR SHALL CONTACT ENGINEER BY A4 IN WRITING SUCCESS POINTS DO NOT INFLUENCE CONSTRUCTION IN THE FIELD.

7) CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION. IF IT IS NECESSARY TO DRAINAGE INTO FLOORING, CONTRACTOR SHALL CONTACT ENGINEERS IMMEDIATELY.  
8) CONTRACTOR SHALL VERIFY DIMENSIONS WITH THE GEOTECHNICAL REPORT. SHALL BE MAINTAINED AT ALL TIMES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAXIMUM AREA CROSS-SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT EXCEPTIONS. CONTRACTOR SHALL CONTACT ENGINEER BY A4 IN WRITING SUCCESS POINTS DO NOT INFLUENCE CONSTRUCTION IN THE FIELD.  
9) DOWNPOUT DISCHARGE SHALL NOT BE NOTED DRAINAGE ADJACENT PROPERTIES.  
10) CONTRACTOR SHALL VERIFY DIMENSIONS WITH THE GEOTECHNICAL REPORT. SHALL BE MAINTAINED AT ALL TIMES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAXIMUM AREA CROSS-SLOPE IS 2% AND MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT EXCEPTIONS. CONTRACTOR SHALL CONTACT ENGINEER BY A4 IN WRITING SUCCESS POINTS DO NOT INFLUENCE CONSTRUCTION IN THE FIELD.  
11) ALL DIMENSIONS SHOWN HEREON ARE ASSUMED TO BE 1:12.00 SLOPE UNLESS OTHERWISE NOTED.

# CONCRETE COYOTE

ADDRESS: 1100 S ROYER STREET, COLORADO SPRINGS, CO

BE PLAN PREPARED BY PE ENGINEERING FOR THE CLIENT'S USE ONLY. NOT FOR CONSTRUCTION.



**LEGEND:**

- PROPERTY LINE
- ASPHALT
- CONCRETE
- GRAVEL
- COMPACTED GRAVEL
- WATER METER
- SEWER/CLEANOUT

**SCALE: 1" = 20'**

**DATE:** 08/24/2023

**FOR CONSTRUCTION:**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	08/24/2023	DATE

**SURVEY STATEMENT:**  
 THE INFORMATION HEREON IS BASED ON THE LAND SURVEY PREPARED BY COMPASS SURVEYING & MAPPING, L.L.C. AND IS SUBJECT TO THE RESPONSIBILITY OF SAID SURVEYOR FOR LAND SURVEYING.  
 THE INFORMATION HEREON IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF COMPASS SURVEYING & MAPPING, L.L.C.  
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**RECORDING STATEMENT:**  
 THIS PLAN IS FILED FOR RECORDING IN THE PUBLIC RECORDS OF THE CITY OF COLORADO SPRINGS, COLORADO, AND IS SUBJECT TO THE RECORDING ACTS OF THE CITY OF COLORADO SPRINGS, COLORADO, AND IS SUBJECT TO THE RECORDING ACTS OF THE CITY OF COLORADO SPRINGS, COLORADO.

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- GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:**
- PROPERTY OWNER'S ACKNOWLEDGES THAT THE CONNECTION AND EXTENSION OF UTILITY SERVICES TO THE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THIS PRELIMINARY UTILITY PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF COMPASS SURVEYING & MAPPING, L.L.C.
  - THE CITY OF COLORADO SPRINGS, COLORADO, HAS THE RIGHT TO REVOKE OR MODIFY ANY PERMITS, RESOLUTIONS, AND ORDINANCES, AND THESE PERMITS, RESOLUTIONS, AND ORDINANCES MAY BE SUBJECT TO CHANGE WITHOUT NOTICE.
  - CONNECTION AND EXTENSION OF UTILITY SERVICES TO THE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THIS PRELIMINARY UTILITY PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF COMPASS SURVEYING & MAPPING, L.L.C.
  - CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND TYPE OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO, AND THE COLORADO SPRINGS UTILITY DEPARTMENT.
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**RAPTOR CIVIL ENGINEERING**  
 WORK@RAPTOR-CIVIL.COM  
 WWW.RAPTOR-CIVIL.COM  
 737-747-7736

**CONCRETE COYOTE**  
 CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

22-16

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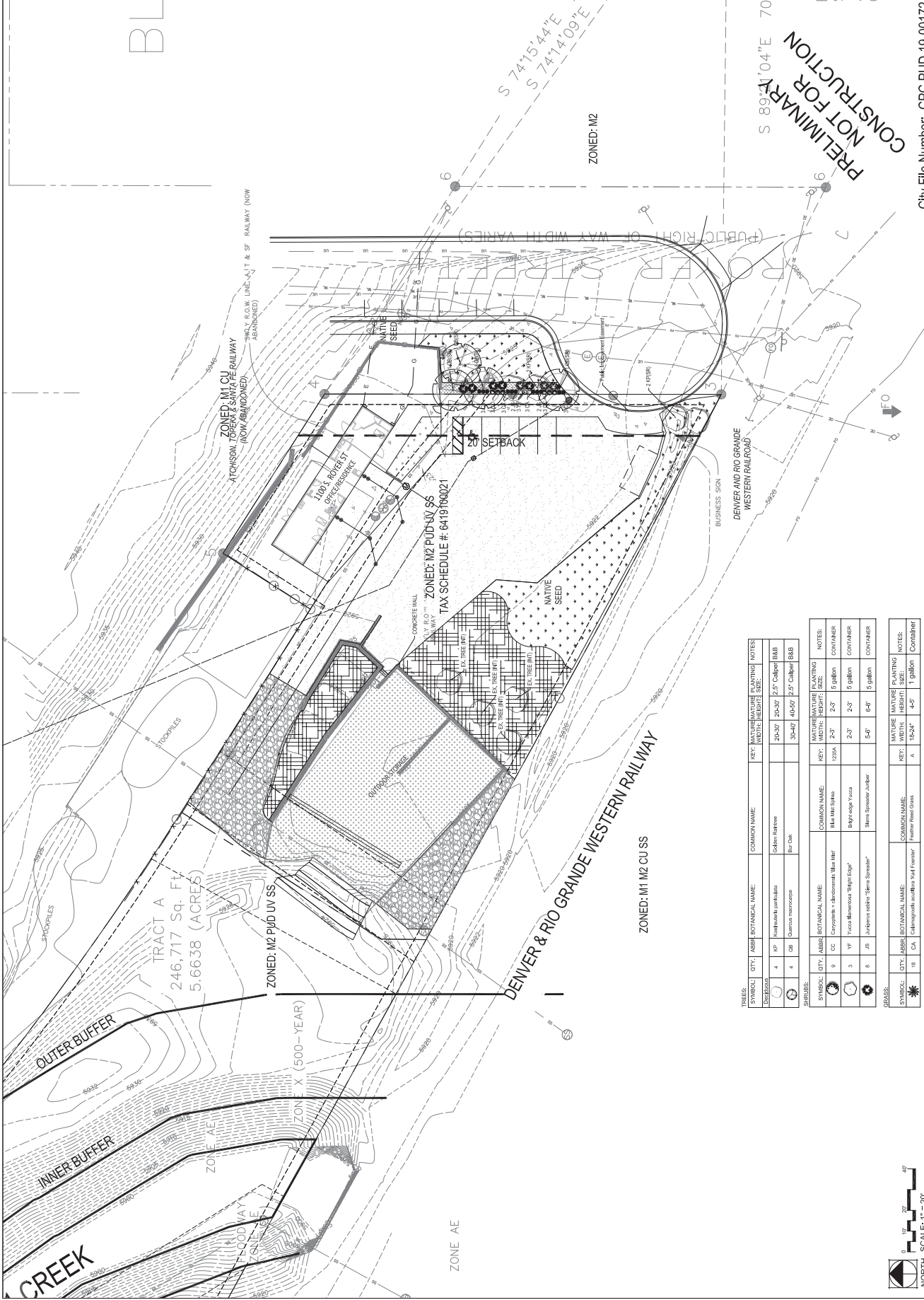
**PRELIMINARY UTILITY & PUBLIC FACILITY PLAN**

**C2.0**

**5 OF 9**

CONCRETE COYOTE - CPC AND 19-00177





LS2  
7 OF 9

City File Number: CPC PUD 19-00172

DESIGNED	JEH	10.20.20
DRAWN	JEH	10.20.20
CHECKED	LMT	10.20.20
PROJECT NUMBER	3912.00	
AS NOTED		

REV #	DATE	REVISIONS
1	04/05/22	Comment Responses
2	06/13/22	Comment Responses
3		
4		
5		
6		

STAMP

FINAL LANDSCAPE  
CONCRETE COYOTE  
Colorado Springs, CO  
Final Landscape Plan

BL

SYMBOL	QTY	ABBR	BOTANICAL NAME	COMMON NAME	KEY	MATURE WIDTH	MATURE HEIGHT	PLANTING SIZE	NOTES
	4	T01	Quercus macrocarpa	White Oak		20-30'	25-30'	2.5' Caliper	180B
	4	Q01	Quercus macrocarpa	White Oak		20-30'	25-30'	2.5' Caliper	BAB
<b>SHRUBS:</b>									
	9	CC	Erigeron + Monarda 'Mtn Nir'			2'-3'	2'-3'	5 gallon	CONTAINER
	3	VF	Yucca filamentosa 'Bright Edge'			2'-3'	2'-3'	5 gallon	CONTAINER
	8	JB	Juniperus ssp. 'Stern Sprueller'			5'-6'	6'-8'	5 gallon	CONTAINER
<b>GRASS:</b>									
	18	CA	Callandrea + scirpus 'Soft Foyer'			15-24"	4-5'	1 gallon	Container



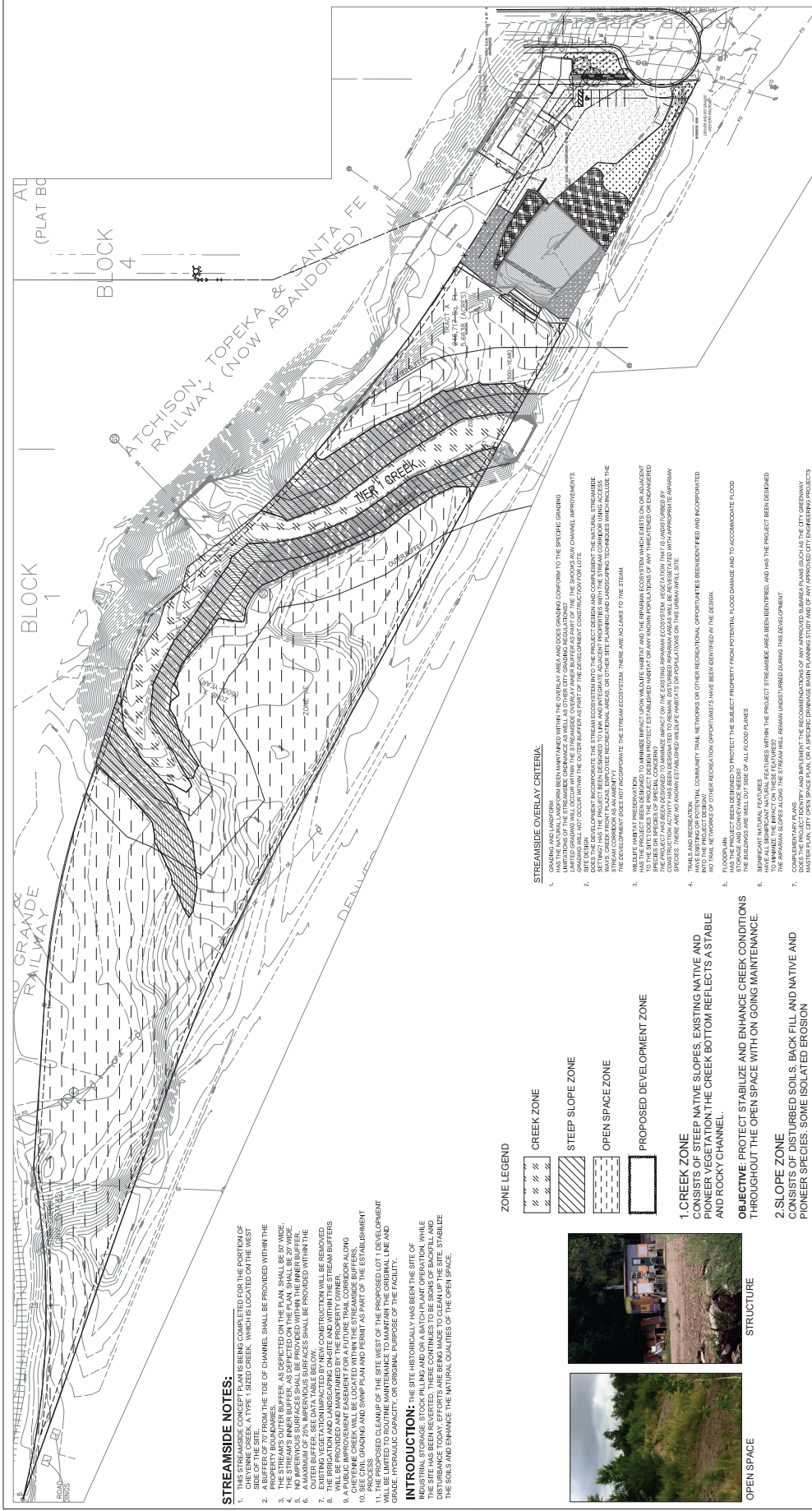
PRELIMINARY  
NOT FOR  
CONSTRUCTION

BL

CREEK

REV #	REVISIONS	DATE
1	Comment Responses	04/05/22
2		
3		
4		
5		
6		

DESIGNED	DRAWN	CHECKED	AS NOTED
10.20.20	10.20.20	10.20.20	10.20.20



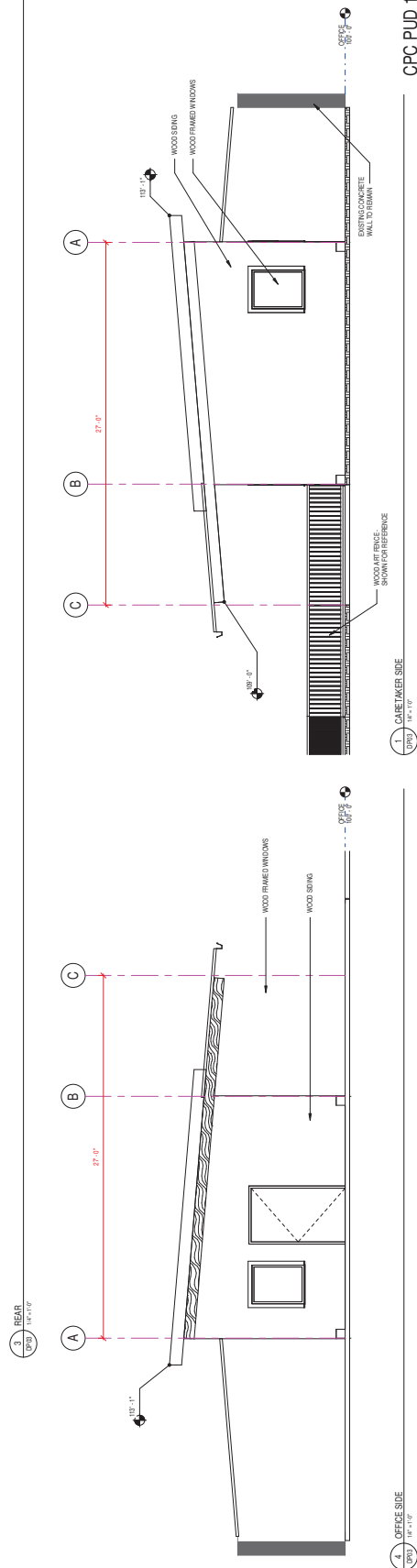
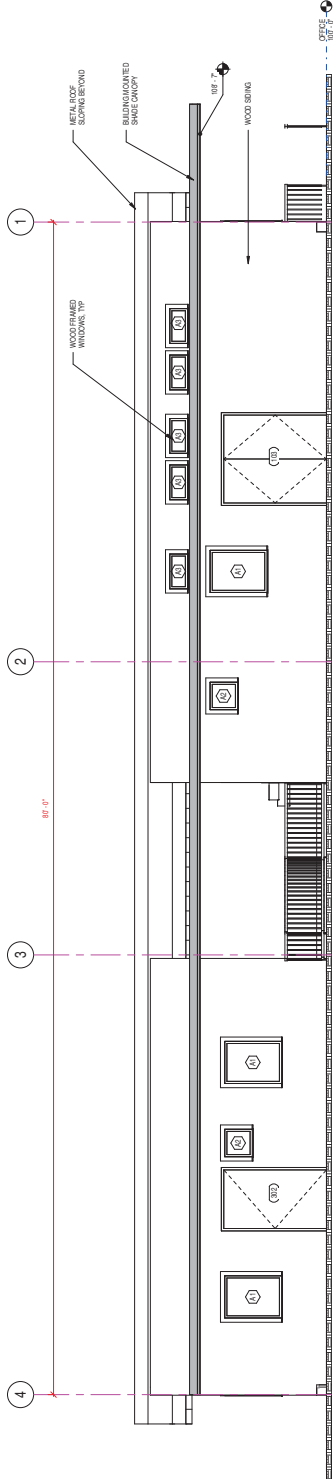
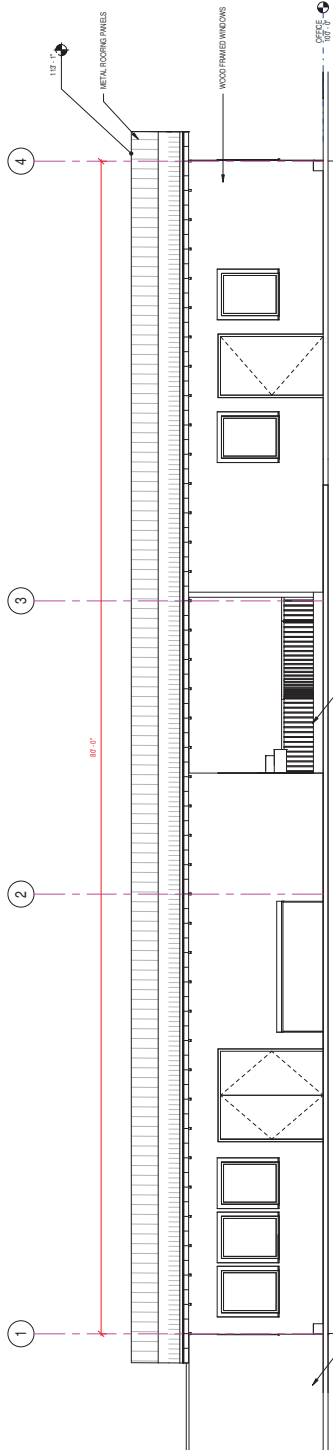
**STREAMSIDE DATA TABLE: (EAST SIDE OF CREEK)**

STREAM TYPE - 1	INNER BUFFER	OUTER BUFFER
WIDTH REQ./ PROVIDED	20' / 20'	50' / 50'
TREE REQUIREMENT	1' / 20'	1' / 30'
LINEAR FRONTAGE	320'	320'
TREES REQ. / PROVIDED	16 "16" Existing	11 "11" Existing
SHRUB SUBSTITUTES	0	0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.	0' / 0'	0' / 0'
PERVIOUS SURFACES ALLOWED	0 SF (0%)	2,240 SF (20%)
IMPERVIOUS SURFACES PROPOSED	0 SF (0%)	0 SF (0%)
PLANT ABREVIATION DENOTED ON PLAN:	S1	SO

- STREAMSIDE OVERLAY CRITERIA:**
1. GROUND AND LANDFORM... (text continues)
  2. VEGETATION AND LANDSCAPE... (text continues)
  3. FLOODPLAIN... (text continues)
  4. SIGNIFICANT NATURAL FEATURES... (text continues)
  5. SOILS... (text continues)
  6. OPEN SPACE... (text continues)
  7. SLOPE... (text continues)
  8. OPEN SPACE... (text continues)
  9. OPEN SPACE... (text continues)
  10. OPEN SPACE... (text continues)
  11. OPEN SPACE... (text continues)

- ZONE LEGEND**
- CREEK ZONE
  - STEEP SLOPE ZONE
  - OPEN SPACE ZONE
  - PROPOSED DEVELOPMENT ZONE
- 1. CREEK ZONE**  
 CONSISTS OF STEEP NATIVE SLOPES, EXISTING NATIVE AND PIONEER VEGETATION THE CREEK BOTTOM REFLECTS A STABLE AND ROCKY CHANNEL.  
**OBJECTIVE:** PROTECT STABILIZE AND ENHANCE CREEK CONDITIONS THROUGHOUT THE OPEN SPACE WITH ON GOING MAINTENANCE.
- 2. SLOPE ZONE**  
 CONSISTS OF DISTURBED SOILS, BACK FILL AND NATIVE AND PIONEER SPECIES, SOME ISOLATED EROSION.  
**OBJECTIVE:** PROTECT AND ENHANCE EXISTING NATIVE VEGETATION. FUTURE WORK WILL INCLUDE MULCHING AND SEEDING OF DISTURBED AREAS AND REMOVE OLD CONCRETE SLABS.
- 3. OPEN SPACE ZONE**  
 CONSISTS OF NATIVE GRASSES, DISTURBED SOILS, UNCONTROLLED BACKFILL, AND CONCRETE BARRIERS.  
**OBJECTIVE:** REMOVE DEBRIS, STABILIZE SOILS, AND NATIVE VEGETATION AS PART OF A PLANNED PASSIVE RECREATION, TRAIL AND GARDEN OPEN SPACE ZONE.
- 4. PROPOSED DEVELOPMENT ZONE:**  
 CONSISTS OF DISTURBED VEGETATION, SOIL, OLD ROAD BASE STAGING AND CONCRETE FOUNDATIONS.  
**OBJECTIVE:** IMPROVE OVERALL SITE WITH NEW STRUCTURE, ARTWORK, VEGETATION, GARDENS AND SOIL AMENDMENTS. THIS IS PART OF THE OVERALL PROPOSED EDUCATION CAMPUS IMPROVEMENTS.





CPCO PUD 19-00172

1 CARETAKER SIDE  
 18'-4 1/2"

A OFFICE SIDE  
 18'-4 1/2"