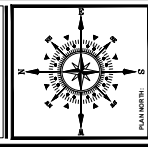




Willita Green
2000 West 10th Street
Colorado Springs, CO 80902
www.willitagreen.com



VERDE COMMONS
3645 VERDE DRIVE
COLORADO SPRINGS, CO 80910
DEVELOPMENT PLAN

Table with columns: DATE, BY, DESCRIPTION

Table with columns: SHEET NO., SHEET TITLE

DEVELOPMENT PLAN
SHEET NO. 01
SCALE: 1" = 12' SHEETS
CPC PUD 22-00082

LEGAL DESCRIPTION: Lot 16-20, Subdivision No. 21, Colorado Springs, containing 2.03 acres, more or less...

APPLICANT DATA:
OWNER/DEVELOPER: Verde Commons, LLC
ADDRESS: 707-365-0891 | info@verdecommons.com

STATEMENT OF INTENT:
Small Lot Planned Unit Development...
This property is subject to the findings...

DRIVEWAY LENGTHS:
2.207' C.2. Architectural Guidelines:
B. Driveway lengths:
1. Driveway length shall be 20' measured from back of curb or made of follow, where applicable...

VERDE COMMONS 'CC&R' - Recreation No. 1 and the VERDE COMMONS Owners Association (Recreation No. 1) shall be subject to the following provisions...

PREC-A0
LOT 1 R1-6 A0
LOT 2 R1-6 A0
LOT 3 R1-6 A0
LOT 4 R1-6 A0
LOT 5 R1-6 A0
LOT 6 R1-6 A0
LOT 7 R1-6 A0
LOT 8 R1-6 A0
LOT 9 R1-6 A0
LOT 10 R1-6 A0
LOT 11 R1-6 A0
LOT 12 R1-6 A0

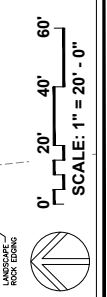
Table with columns: LOT NO., LOT SIZE, USABLE OPEN SPACE (UOS), USABLE OPEN SPACE (UOS) %

PROPOSED BUILDING HEIGHT: 31'-0"
NOTE: 2015 FC-Access and loading facilities, buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved concrete or approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 lbs with a minimum single axle weight of 27,000 lbs. (Ord. 18-03-04, 105-D102-1)



NOTE: Fences on walls over six feet (6') are considered accessory structures... height shall be measured from the top of the fence including fence poles...

NOTE: This property is subject to the findings, summary and conclusions of a geologic hazard waiver prepared by RMG Engineers, dated March 22, 2022. A copy of said waiver has been placed in the CPC PUD 22-00082...



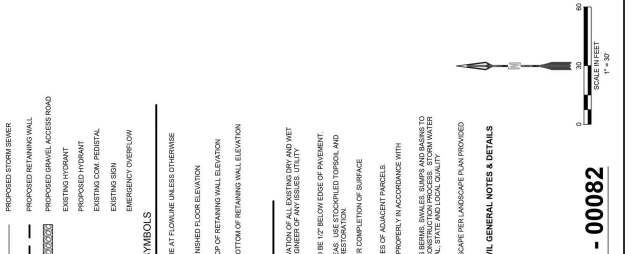


LEGEND

7200	PROPOSED MAJOR CONTOUR
7201	PROPOSED MAJOR CONTOUR
7202	PROPOSED MAJOR CONTOUR
7203	PROPOSED MAJOR CONTOUR
2.5%	PROPOSED SLOPE ANNOTATION
- - - - -	PROPOSED UTILITY EASEMENT
- - - - -	EXISTING UTILITY EASEMENT
- - - - -	EXISTING DRAINAGE
- - - - -	PROPOSED SANITARY SEWER
- - - - -	EXISTING ELECTRICAL
- - - - -	EXISTING GAS LINE
- - - - -	PROPOSED SANITARY SEWER
- - - - -	PROPOSED WATER LINE
- - - - -	EXISTING WATER LINE
- - - - -	PROPOSED STORM SEWER
- - - - -	PROPOSED SWALE
- - - - -	PROPOSED RETAINING WALL
- - - - -	PROPOSED GRAVEL ACCESS ROAD
- - - - -	EXISTING ASPHALT
- - - - -	EXISTING CONC. PAVEMENT
- - - - -	EXISTING CONC. FOOTING
- - - - -	EXISTING CONC. FOUNDATION
- - - - -	EMERGENCY OVERFLOW

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - TOP ELEV. + XXXXX TOP OF RETAINING WALL ELEVATION
 - IF 2488 FISHED FLOOR ELEVATION
 - BOTTOM OF RETAINING WALL ELEVATION

- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING CURB AND VIET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY LOCATIONS ARE BASED ON CITY OF COLORADO SPRINGS RECORD DRAWINGS AND FIELD SURVEY DATA. A SURVEY CONTROL POINT IS SHOWN HEREON. ELEVATION +8009.59 (MVD 2014) IS A KNOWN BENCHMARK. LOCATED AT THE SOUTH WEST CORNER OF PROPERTY PLOTS A & B. DRIVE.
 - REMOVE EXISTING TYPE I CONCRETE BENCHMARK. REPLACE WITH A NEW BENCHMARK AND RECONSTRUCT AS SHOWN HEREON. ELEVATION +8009.59 (MVD 2014) IS A KNOWN BENCHMARK. LOCATED AT THE SOUTH WEST CORNER OF PROPERTY PLOTS A & B. DRIVE.

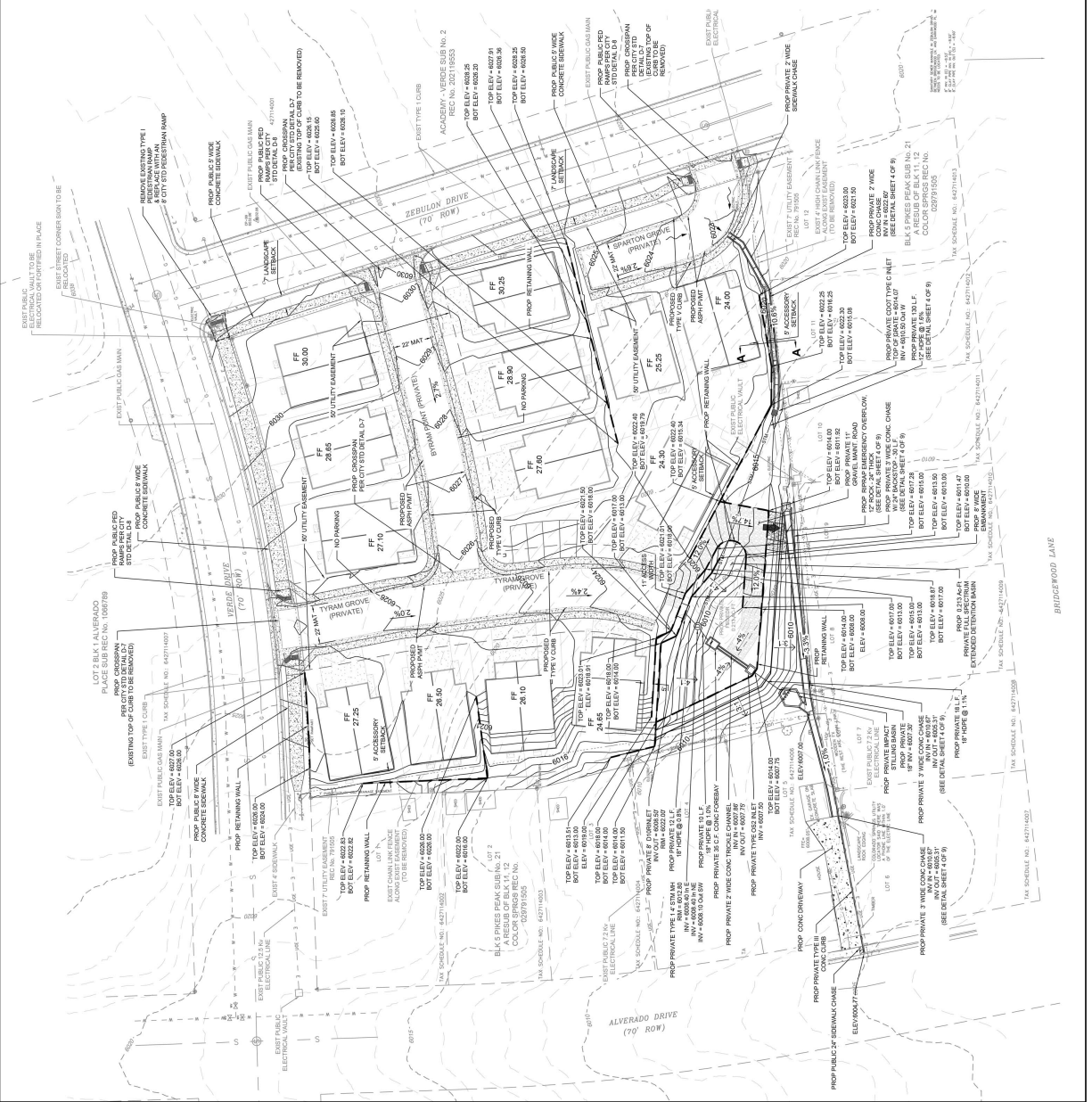


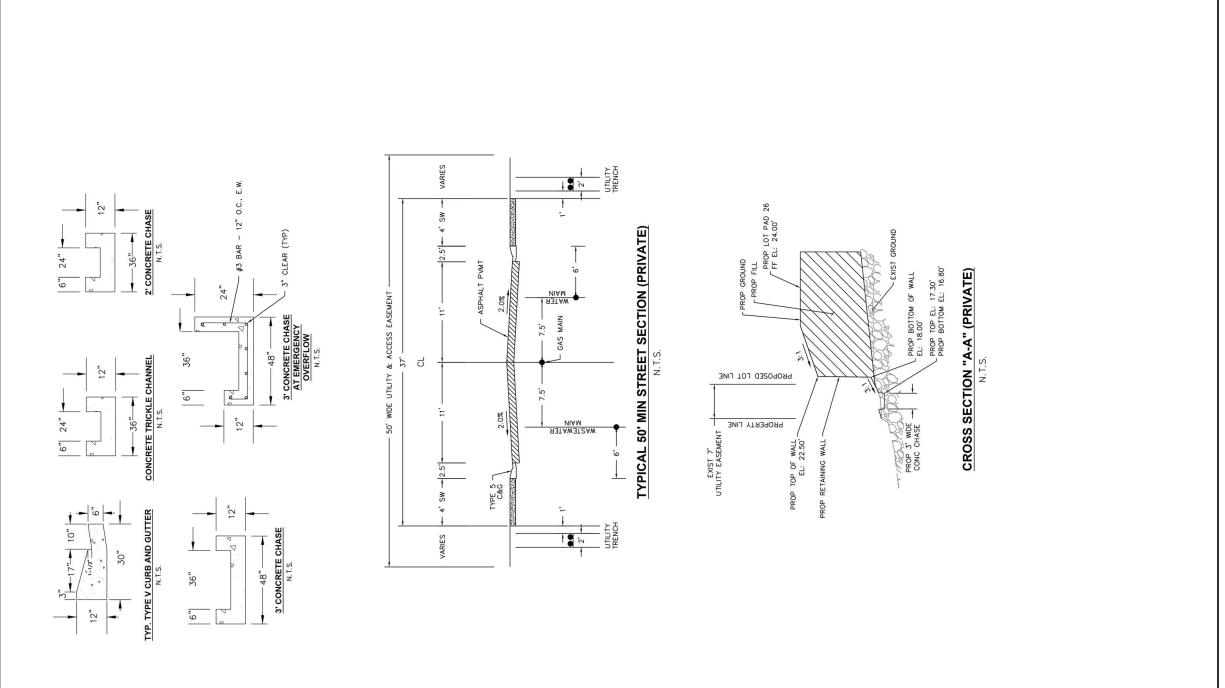
BENCHMARKS

- EXISTING BENCHMARK TO BE RELOCATED OR FORTIFIED IN PLACE.
- REMOVE EXISTING TYPE I CONCRETE BENCHMARK. REPLACE WITH A NEW BENCHMARK AND RECONSTRUCT AS SHOWN HEREON. ELEVATION +8009.59 (MVD 2014) IS A KNOWN BENCHMARK. LOCATED AT THE SOUTH WEST CORNER OF PROPERTY PLOTS A & B. DRIVE.

FOR GENERAL CIVIL PLAN NOTES, SEE CIVIL GENERAL NOTES & DETAILS (SHEET 1 OF 9).

CPC - PUD 22 - 00082





GENERAL NOTES

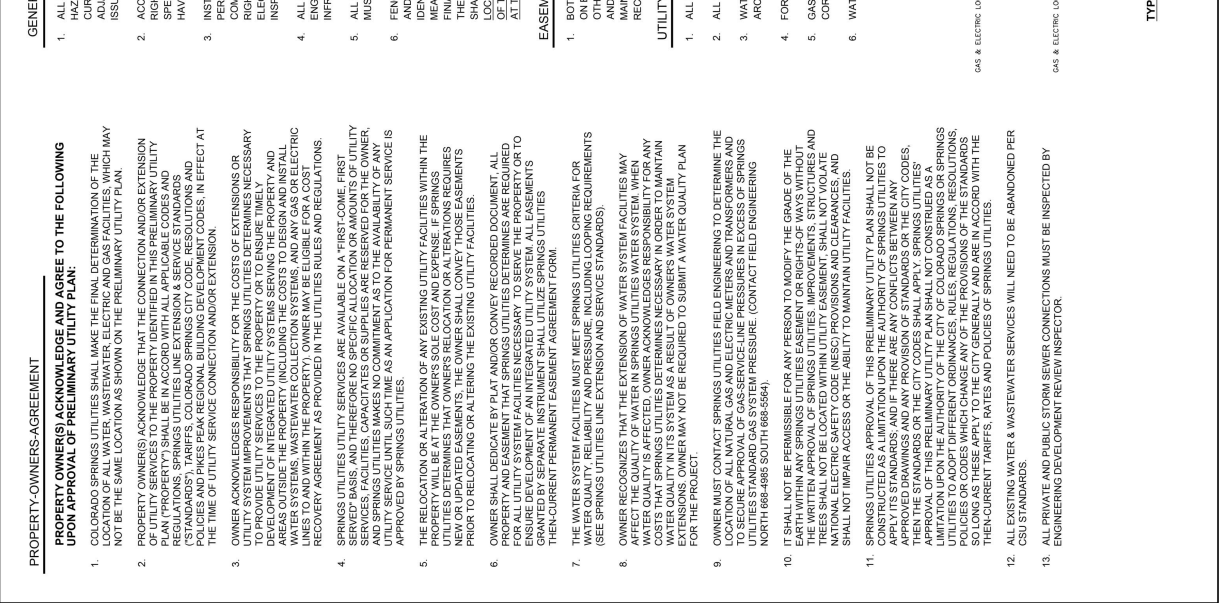
- ALL EXISTING CURB, GUTTER, SIDEWALK, AND PEDESTRIAN RAMPS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG VERDE DRIVE & ZEBULON DRIVE SHALL BE REPAIRED OR REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.).
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR INSPECTION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR. ALL PROPOSED STORM SEWER INFRASTRUCTURE IS PRIVATE.
- ALL RETAINING WALLS OVER 4 FEET SHALL BE STRUCTURALLY ENGINEERED, AND MUST RECEIVE APPROVAL OF A BUILDING PERMIT.
- FENCES OR WALLS OVER SIX FEET (6') ARE CONSIDERED ACCESSORY STRUCTURES AND MUST MEET ACCESSORY STRUCTURE SETBACK AND HEIGHT REQUIREMENTS AND BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY. THE HEIGHT OF THE FENCE SHALL BE MEASURED FROM THE TOP OF THE FENCE INCLUDING FENCE POSTS, AND SHALL BE MEASURED TO THE FINISHED GRADE ON BOTH SIDES OF THE FENCE. IF THE HEIGHT OF THE TWO (2) SIDES VARIES, THEN THE LARGER OF THE TWO (2) MEASUREMENTS SHALL BE USED IN DETERMINING THE HEIGHT OF THE FENCE. IF THE FENCE IS LOCATED WITHIN THREE FEET (3') OF THE FACE OF A RETAINING WALL, THE HEIGHT SHALL BE MEASURED FROM THE TOP OF THE FENCE TO THE FINISHED GRADE AT THE BOTTOM OF THE RETAINING WALL.

EASEMENTS

- BOTH SIDES OF ALL SIDE LOT LINES HEREBY PLATTED WITH A FIVE (5') FOOT ON BOTH SIDES OF ALL REAR LOT LINES WITH A SEVEN (7') FOOT, UNLESS OTHERWISE SPECIFIED, SHALL BE CONSIDERED UTILITY EASEMENTS FOR MAINTENANCE AND REPAIR PURPOSES, WITH THE SOLE RESPONSIBILITY FOR MAINTENANCE BEING VESTED WITH THE ADJACENT PROPERTIES. RECEPTION No. 791505

UTILITY SERVICE-DETAIL NOTES

- ALL SANITARY SEWER SERVICES ARE 4" PVC @ 2.08%
- ALL WATERLINE SERVICES ARE 1" HDPE
- WATER METERS ARE INSIDE WITHIN THE UTILITY ROOM. SEE ARCHITECTURAL DRAWINGS FOR WATER METER LOCATIONS.
- FOR UTILITY CROSS SECTION, SEE THIS SHEET.
- GAS & ELECTRIC METERS SHALL BE WITHIN 5' OF THE FRONT BUILDING CORNER.
- WATER METERS NEED TO BE LOCATED INSIDE WITHIN A UTILITY ROOM.



PROPERTY-OWNERS-AGREEMENT

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

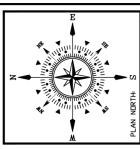
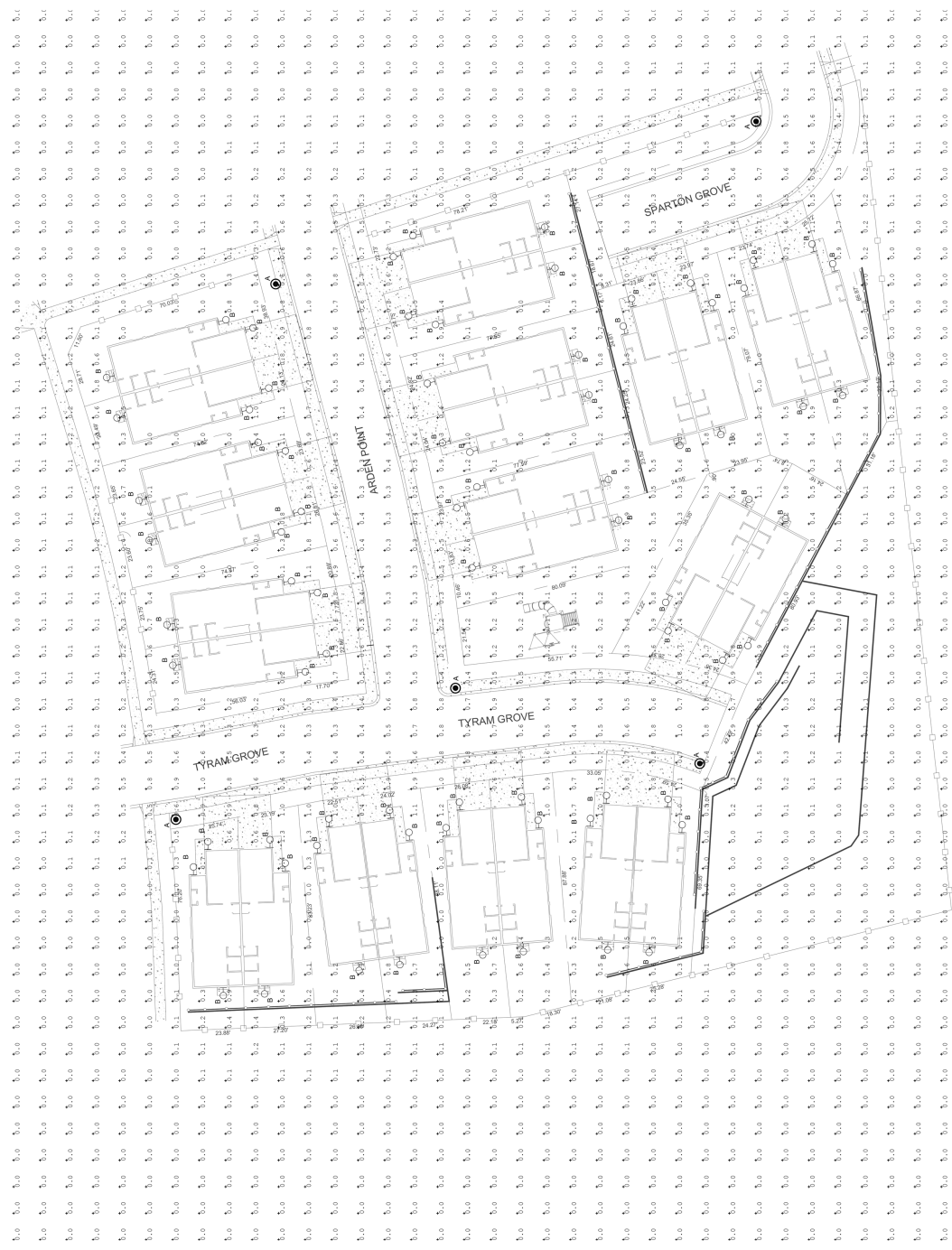
- COLORADO SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S). THE CITY'S ENGINEERING DEVELOPMENT INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS. APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT CONSTITUTE AS A LIMITATION UPON THE AUTHORITY OF THE COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES AND STANDARDS, INCLUDING BUT NOT LIMITED TO THE CITY'S THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
- ALL EXISTING WATER & WASTEWATER SERVICES WILL NEED TO BE ABANDONED PER CSU STANDARDS.
- ALL PRIVATE AND PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

GENERAL PHOTOMETRY NOTES

- A. THESE PHOTOMETRIC CALCULATIONS ARE BASED ON THE ASSUMPTIONS LISTED IN THE NOTES.
- B. ACTUAL ILLUMINANCE LEVELS MAY VARY FROM THE CALCULATED LEVELS DUE TO VARIABLE FIELD CONDITIONS, SUCH AS LANDSCAPING, AND FUTURE DEVELOPMENTS.
- C. THESE PLANS ARE BASED ON THE INFORMATION AVAILABLE. THE ILLUMINANCE LOCATIONS SHOWN MUST BE COORDINATED WITH EXISTING ON-SITE FIELD CONDITIONS.

Calculation Summary	Units	Avg	Max	Min	Max/Min	Min/Max
Footcandle	fc	0.00	1.4	0.0	N/A	N/A
Footcandle	fc	0.00	1.4	0.0	N/A	N/A

Symbol	Qty	Label	Description	LF	LF	Description
●	5	A	ARRANGEMENT	17.00	17.00	ARR-B1-LED-21-TT-4-8030
			SINGLE	N/A	N/A	



VERDE COMMONS
3645 VERDE DRIVE
COLORADO SPRINGS, CO 80910
DEVELOPMENT PLAN

PROJECT NAME	VERDE COMMONS
PROJECT ADDRESS	3645 VERDE DRIVE
PROJECT DESCRIPTION	DEVELOPMENT PLAN



DATE	11/20/2022
DRAWN BY	MP
CHECKED BY	MP

REVISIONS	DATE	DESCRIPTION

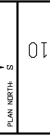
PLAN SCALE	20' GRAPHIC SCALE
SHEET TITLE	PHOTOMETRIC PLAN
SHEET NO.	09
PROJECT NO.	22022





PROJECT NAME
VERDE COMMONS
PROJECT ADDRESS
3645 VERDE DRIVE
COLORADO SPRINGS, CO 80910
PROJECT DESCRIPTION
DEVELOPMENT PLAN

DATE: 08/18/2022
CHECKED: MP
DATE: 08/18/2022
CHECKED: MP



REVISIONS
DATE BY DESCRIPTION

PLAN SCALE: 1/8" = 1'-0" (AS SHOWN)
SHEET TITLE: LIGHTING CUT SHEETS
SHEET NO.: 10
PROJECT NO.: 22022

FIGURE 3 ABB ARBOR POST TOP

ORDERING INFORMATION

PROJECT DATA:
 Location: VERDE COMMONS, 3645 VERDE DRIVE, COLORADO SPRINGS, CO 80910
 Client: MPP, PE
 Designer: PLANT ENGINEERING CONSULTANTS, 100 S. KAUFMAN STREET, COLORADO SPRINGS, CO 80902

ABB ARBOR POST TOP

ABB ARBOR POST TOP is a high-pressure sodium (HPS) street lighting fixture. It is designed for use in residential and commercial areas. The fixture is available in two pole configurations: 15' and 25'. The fixture is made of die-cast aluminum and has a life expectancy of 100,000 hours. It is rated for use in wet locations and has a maximum height of 150 feet. The fixture is available in two pole configurations: 15' and 25'. The fixture is made of die-cast aluminum and has a life expectancy of 100,000 hours. It is rated for use in wet locations and has a maximum height of 150 feet.

OPERATING INFORMATION:

OPERATING INFORMATION:

The fixture is designed to meet the following requirements:
 - Operate at 150W, 275V, 50/60 Hz
 - Operate at 150W, 275V, 50/60 Hz
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FIGURE 4 ABB ARBOR POST TOP

CONTROL OPTIONS

ABB ARBOR POST TOP offers several control options to meet the needs of different applications. The most common options are:

- On-Off Control:** A simple on-off switch that turns the fixture on and off at a set time.
- Daylight Sensing:** A sensor that turns the fixture on at dusk and off at dawn.
- Photocell Control:** A sensor that turns the fixture on at dusk and off at dawn, but allows for manual override.
- Remote Control:** A wireless remote control that can be used to turn the fixture on and off from a distance.
- Time Control:** A timer that turns the fixture on and off at a set time, but allows for manual override.

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FIGURE 5 ABB ARBOR POST TOP

POWER AND LUMENS

Power (Watt)	Lumen Output (lm)	Beam Angle (degrees)
150	15,000	120
200	20,000	120
300	30,000	120
400	40,000	120
500	50,000	120
600	60,000	120
700	70,000	120
800	80,000	120
900	90,000	120
1000	100,000	120

OPERATING INFORMATION:

The fixture is designed to meet the following requirements:
 - Operate at 150W, 275V, 50/60 Hz
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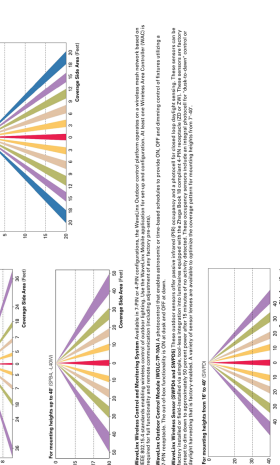


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LUMEN MAINTENANCE

Power (Watt)	Lumen Output (lm)	Beam Angle (degrees)
150	15,000	120
200	20,000	120
300	30,000	120
400	40,000	120
500	50,000	120
600	60,000	120
700	70,000	120
800	80,000	120
900	90,000	120
1000	100,000	120

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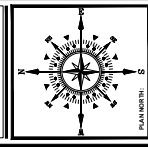
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PROJECT NAME: Verde Commons (Small Lot Planned Unit Development) 3645 Verde Drive, Colorado Springs, CO
 DATE: 25 February 2024
 SHEET NO.: 11 OF 12 SHEETS
 PROJECT NO.: 22-00082



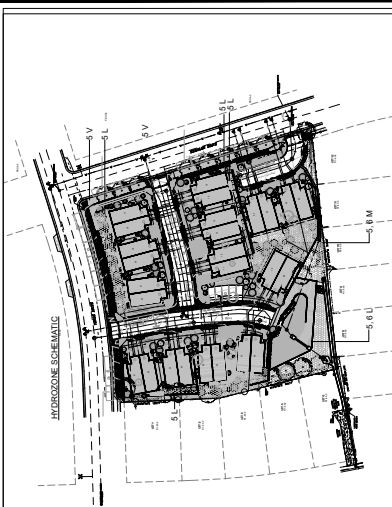
PROJECT ADDRESS:
VERDE COMMONS
3645 VERDE DRIVE
COLORADO SPRINGS, CO 80910
 PROJECT DESCRIPTION:
 LANDSCAPE PLAN

DATE	BY	DESCRIPTION
10/20/22	ESB	REVISIONS
02/25/24	ESB	REVISIONS

DATE	BY	DESCRIPTION
10/20/22	ESB	REVISIONS
02/25/24	ESB	REVISIONS

SCALE: 1" = 20'-0"

11 OF 12 SHEETS
 SPC: PUD 22-00082



SCHEMATIC LANDSCAPE DIAGRAM: submitted in compliance with Policy 311
 PROJECT NAME: Verde Commons (Small Lot Planned Unit Development) 3645 Verde Drive, Colorado Springs, CO
 DATE: 25 February 2024
 SHEET NO.: 11 OF 12 SHEETS
 PROJECT NO.: 22-00082

Hydrozones (Supplemental Water) Labeled by (s) on diagram
 1. Saturated Streets
 2. Pines/Jungo Woods
 3. Lower Elevation Urban
 4. Fossil Strata
 5. Upper Elevation Urban
 6. Shrubland Forest
 7. High Moisture (Less than 25 inches per year)
 8. V. Herb (Less than 25 inches per year)
 9. L. Low (7 to 15 inches per year)
 10. M. Moderate (15 to 25 inches per year)
 11. H. High (More than 25 inches per year)

NOTE: A final landscape and irrigation system plan will be submitted and approved with building permit submittal and approved prior to issuance of a building permit.
 NOTE: Landscape improvements and maintenance areas shall be the responsibility of the Verde Commons Homeowners Association (HOA) and/or their assigns.
 NOTE: All street tree and streetscape improvements located in the Verde Drive and Zebulon Drive ROW will be maintained by the Verde Commons Homeowners Association (HOA) and/or their assigns.
 NOTE: Refer to Sheet LS2 for Planting Schedule, Notes, and Details pertaining to this installation.

SITE CATEGORY CALCULATION FORMATS
 (or Double Frontage Lot 5 Streetscape)

Street Name or Address	Width (ft.)	Linear Feet	No. of Trees
Verde Drive	107.0'	255.00'	1/25
Zebulon Drive	6.0'	183.00'	1/30
South Boundary	n/a	n/a	n/a
West Boundary	n/a	n/a	n/a
Streetscape Substitutes	n/a	n/a	n/a
Commercial Grass Substitutes	n/a	n/a	n/a
Subtotal Plant Abbr.	A:SB	438.00'	1/55
Total	n/a	n/a	n/a

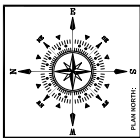
Per the small lot guidelines, 1 tree is required for all street-oriented units. Twenty-six (26) street trees are provided for the twenty-six (26) units. All trees shall be maintained by the Homeowners Association (HOA).
STREET ORIENTED ANTI-TREE REQUIREMENT
 All landscape setbacks requirements as they apply to double frontage lots are provided.
COMMON OPEN SPACE REQUIREMENT FOR STREET ORIENTED SMALL LOT PUD
 For the small lot PUD guidelines, 1 tree is required for each 500 SF of required open space. The guidelines, 500 SF of open space is required per lot (in total of 26 lots is proposed). Therefore, 13,000 SF of open space is required. The project provides 16,075 SF of required common open space. With one tree required for each 500 SF of required common open space, 16,075 SF / 500 SF = 32 trees required. The project provides 43 trees, which exceeds the required amount of 32 trees. Therefore, the project provides 11 trees in excess of the required amount on the landscape plan.
STREET ORIENTED ANTI-TREE REQUIREMENT
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SCALE: 1" = 20'-0"



NOTES: 1. ALL WOOD BE ROUGH SAWN CEDAR... 2. APPLY APPROVED SEALANT AND PROTECTANT TO WOOD AFTER INSTALLATION.



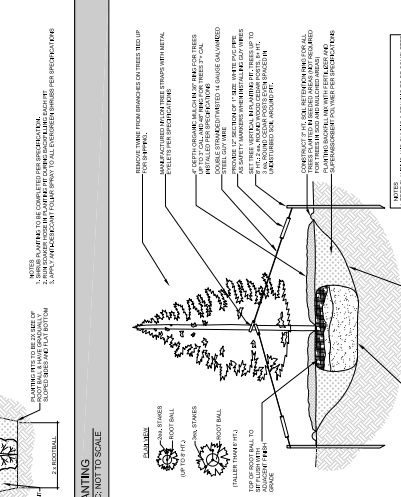
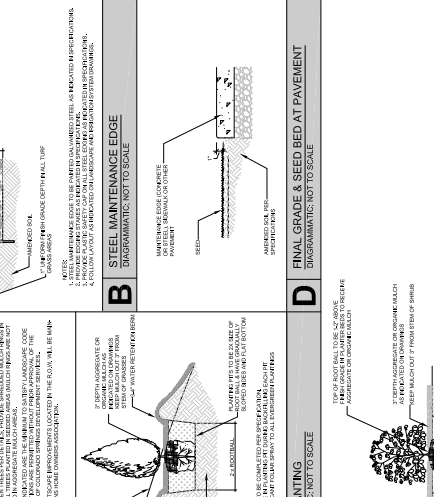
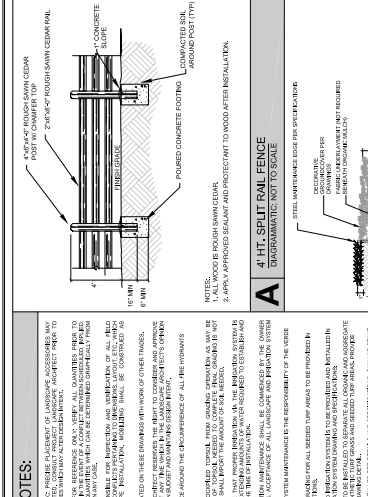
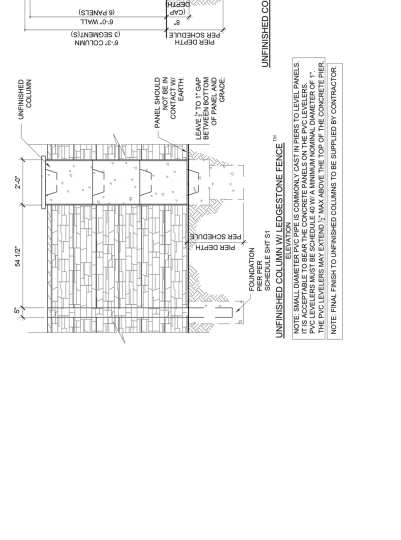
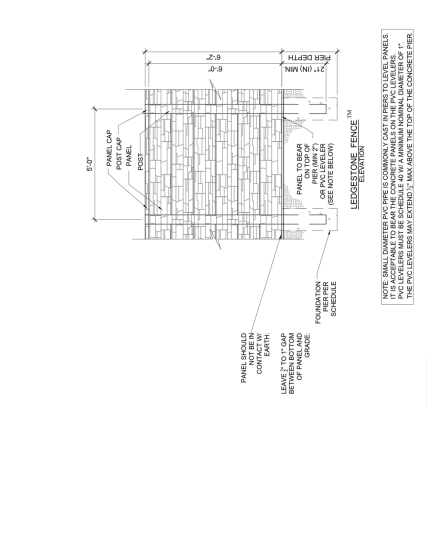
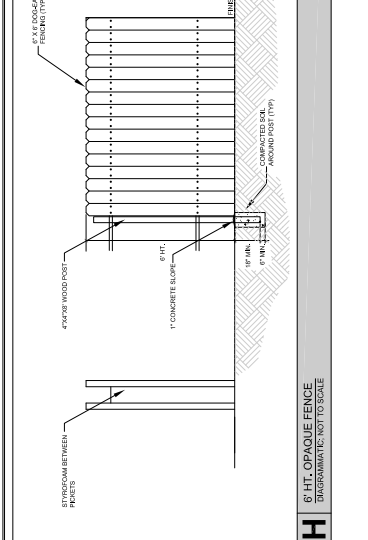
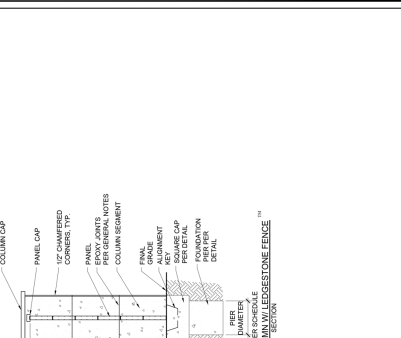
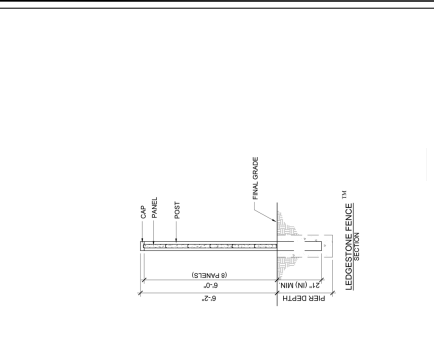
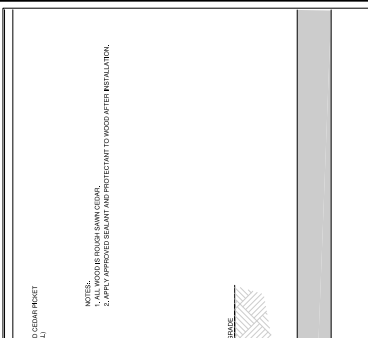
VERDE COMMONS
3645 VERDE DRIVE
COLORADO SPRINGS, CO
LANDSCAPE DETAILS

Table with 2 columns: DATE, DESCRIPTION. Includes dates like 10/20/22 and 10/21/22.

Table with 2 columns: SYMBOL, DESCRIPTION. Lists various landscape symbols and their corresponding descriptions.

SCALE: 1/4" = 1'-0" (AS NOTED BY THE CONTRACTOR)

12 of 12 SHEETS
EPC PUD 22-00082



LANDSCAPE SCHEDULE: Planting Schedule table with columns for SYM, QTY, PRODUCT, ESTIMATED QUANTITY, NAME, HEIGHT, PLANTING DATE, and NOTES.

SYMBOL KEY table with columns for SYMBOL, DESCRIPTION, and REMARKS.

SYMBOL KEY table with columns for SYMBOL, DESCRIPTION, and REMARKS.

SYMBOL KEY table with columns for SYMBOL, DESCRIPTION, and REMARKS.

WATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE 719-664-6654 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET COLORADO SPRINGS UTILITIES' WATER LINE EXTENSION AND SERVICE STANDARDS (WATER LESS).
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
3. COLORADO SPRINGS UTILITIES DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES.
6. ALL FIELD STAKING SHALL COMPLY WITH THE WATER LESS.
7. THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO INSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
8. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER LESS.
9. NO SERVICE TAPS WILL BE ALLOWED UNTIL THE MAIN IS EXTENDED TO THE NEXT MAINLINE VALVE.
10. NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE COLORADO SPRINGS UTILITIES' INSPECTOR.
11. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
12. FIELD MODIFICATIONS TO A FIRE HYDRANT OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE, AND COLORADO SPRINGS UTILITIES' AS REQUIRED BY THE INSPECTOR.
13. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE COLORADO SPRINGS UTILITIES' INSPECTOR.
14. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 208 OF THE CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS MANUAL.
15. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING. WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.

WATER PROJECT - SPECIFIC NOTES

1. ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE BEHEAR OF THE CONTRACTOR.
2. A CONNECTION TO AN EXISTING STUB IS PROPOSED. COLORADO SPRINGS UTILITIES DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS-BUILT" DRAWINGS.
3. A WATER STUB-OUT(S) IS/ARE PROPOSED. COLORADO SPRINGS UTILITIES DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.
4. A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT.

FIRE FLOW:

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO COLORADO SPRINGS UTILITIES' WATER LINE EXTENSION AND SERVICE STANDARDS. THE THEORETICAL AVAILABLE FLOW AT EACH FIRE HYDRANT MADE AVAILABLE TO THE CONTRACTOR SHALL BE DETERMINED BY THE CITY OF COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE. THE CONTRACTOR SHALL FOLLOW THE ACTUAL FLOW RATE (VARY DUE TO VARIOUS PARAMETERS).

CSD ACCEPTANCE

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO COLORADO SPRINGS UTILITIES' WATER LINE EXTENSION AND SERVICE STANDARDS. THE THEORETICAL AVAILABLE FLOW AT EACH FIRE HYDRANT MADE AVAILABLE TO THE CONTRACTOR SHALL BE DETERMINED BY THE CITY OF COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE. THE CONTRACTOR SHALL FOLLOW THE ACTUAL FLOW RATE (VARY DUE TO VARIOUS PARAMETERS).

BORED _____ GROUND _____ OF THE FIRE MAIN
CSD IS AN RECEIVING _____

BUILDING DATA

PIKE PEAK PARK SUBDIVISION	
REVISIONS	
NO. DATE	DESCRIPTION
1	ISSUED FOR PERMIT
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3	ISSUED FOR PERMIT
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100	ISSUED FOR PERMIT

NOTES:

1. ALL WATER LINE SERVICES ARE 4" OR 6" P.C. WITH A MINIMUM SLOPE OF 2.0%.
2. ALL WATER LINE SERVICES ARE 1" P.C. AND SHALL BE R.F. 470 COMPLIANT.

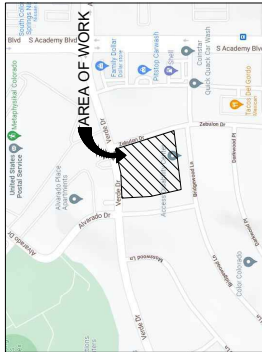
HYD FLOW DATA

HYD	FLANGE ELEV	FLOW @ 200 PSI	PRESSURE @ MAX PSI	PRESSURE @ BURIED DEPTH
FHA	6032	2500 GPM	65	51
ST1P	6038	3100 GPM	80	66

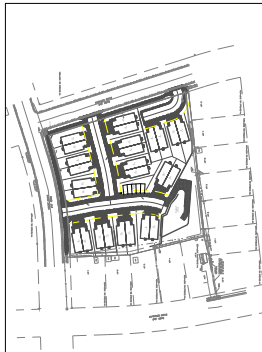
PIKE MAP NUMBER: L-37
 MAX STATIC PRESSURE: 140 PSI
 UTILITY DESIGN CASE FILE NO. OF 2022-064
 APPROVAL DATE: OCTOBER 20, 2022
 DATE REC. NO. 21490105
 NOTE: OF PRIVATE WATER SERVICE

UTILITY MAIN & SERVICE PLANS OF PROPOSED VERDE COMMONS PIKES PEAK PARK SUB. FIL., 21 LOT 6 3645 VERDE DR, COLORADO SPRINGS, CO 80910

OCTOBER 2022



VICINITY MAP N.T.S.



SITE MAP N.T.S.

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	WATER MAIN PLAN
3	SANITARY MAIN PLAN & PROFILES
4	UTILITY SERVICE PLAN & DETAIL

AGENCIES:

OWNER: 100 PROPERTY GROUP, LLC
 12345 S 800 E
 ORION, UTAH 84097

CIVIL ENGINEER: RESPEC, INC.
 121 S. TEALON, SUITE 1110
 COLORADO SPRINGS, CO 80903
 MR. RICHARD GALLEGOS, P.E. (719) 268-5212

OWNER/DEVELOPER PLAN APPROVAL

THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THEY SHALL AT THEIR EXPENSE, BE SOLELY RESPONSIBLE FOR THE INSTALLATION OF THE PROPOSED UTILITY INFRASTRUCTURE IN ACCORDANCE WITH THESE PLANS, AND 2) ALL DAMAGES AND DEFECTS ARISING FROM, OR RELATED TO, THE INSTALLATION, MAINTENANCE OR OPERATION OF THE PUBLIC UTILITY INFRASTRUCTURE FROM THE DATE OF PRELIMINARY ACCEPTANCE FOR A PERIOD OF TWO YEARS, OR UNTIL FINAL ACCEPTANCE, WHICHEVER IS LATER.

THE UNDERSIGNED UNDERSTANDS THAT ALL PRIVATE UTILITY INFRASTRUCTURE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE OWNER, AS REQUIRED BY COLORADO SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS.

PUBLIC FACILITIES PROVIDED PRIVATE FACILITIES PROVIDED

DATE: _____

BY: _____ DATE: _____

FOR: _____

FOR: _____ DATE: _____

ADDRESS: _____

PHONE: _____

EMAIL: _____

RESPEC

121 SOUTH TEALON ST, SUITE 1110
 COLORADO SPRINGS, CO 80903
 WWW.RESPEC.COM (719) 268-5212

DATE: 2022-10-14

PROJECT: W0008

DESIGNER: RGG/IMDF

CHECKED BY: MAB

DRAWN BY: DOW

SHEET: 1 OF 4

BENCHMARKS

1. BENCHMARKS SHALL BE SET ON THE NORTHWEST CORNER OF A TOWER BRICK OR CONCRETE FOUNDATION THAT IS AT LEAST 10 FEET FROM THE PROPERTY LINE AND NOT TO BE USED FOR CONSTRUCTION PURPOSES.
2. BENCHMARKS SHALL BE SET ON THE SOUTH SIDE OF FOUNDATION WALLS AND SHALL BE AT LEAST 10 FEET FROM THE PROPERTY LINE.
3. BENCHMARKS SHALL BE SET ON THE SOUTH SIDE OF FOUNDATION WALLS AND SHALL BE AT LEAST 10 FEET FROM THE PROPERTY LINE.

LEGEND

PROPOSED MAJOR CONTOUR	7290
PROPOSED MINOR CONTOUR	7281
EXISTING MAJOR CONTOUR	7290
EXISTING MINOR CONTOUR	7291
PROPOSED EASEMENT	---
EXISTING EASEMENT	---
PROXIMITY LINE	---
PROPOSED RETAINING WALL	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED WATER LINE	---
EXISTING WATER LINE	---
PROPOSED STORM SEWER	---
PROPOSED WATER VALVE CURB STOP	---
EXISTING WATER VALVE	---
PROPOSED UTILITY HANDLE	---
EXISTING UTILITY HANDLE	---
PROPOSED ELECTRICAL METER	---
EXISTING ELECTRICAL METER	---

HYD FLOW DATA

HYD	FLANGE ELEV. (EOM @ 30PS)	PRESSURE @ MAX USE	BURY DEPTH
801A	6020	2000 GPM	35
801B	6028	3100 GPM	50

NOTES

1. ENGINEER'S SAFF COVER BETWEEN TOP OF FIRE ANTI-PANIC GRADE ON SOUTH MAIN AND SOUTH VERDE DR. TO BE SET TO THE FINISHED GRADE OF THE ADJACENT SIDEWALK.
2. BOND TO ALL CONDUITS WITH AN ANTI-CORROSION BARRIER ON THE FLANGES OF ALL FLANGES (SEE DETAIL 445 ON SHEET 80910).
3. HYDRANT ASSEMBLIES SHALL BE INSTALLED WITH CTB AND ON ALL FLANGES (SEE DETAIL 445 ON SHEET 80910).
4. USE 1/2" WIRE BONDING AND GROUNDING DETAIL 445 ON SHEET 80910 FOR ALL CONDUITS LOCATED ON THE SOUTH SIDE OF FOUNDATION WALLS.
5. ALL WEL UTILITIES ARE A MIN. 1' FROM ADJACENT FOUNDATIONS.
6. CONDUIT METERS ARE WITHIN THE UTILITY ROOM. SEE ARCHITECTURAL SWAMPAGE FOR WATER METER LOCATION.

FIRE HYDRANTS:

1. HYDRANT ASSEMBLIES SHALL BE INSTALLED WITH CTB AND ON ALL FLANGES (SEE DETAIL 445 ON SHEET 80910).
2. CONDUIT IS REQUIRED AT EACH JOINT.
3. SEE EASEMENT CRITERIA FOR HYDRANTS WATER LINES 2 & 3.

FIRE FLOW:

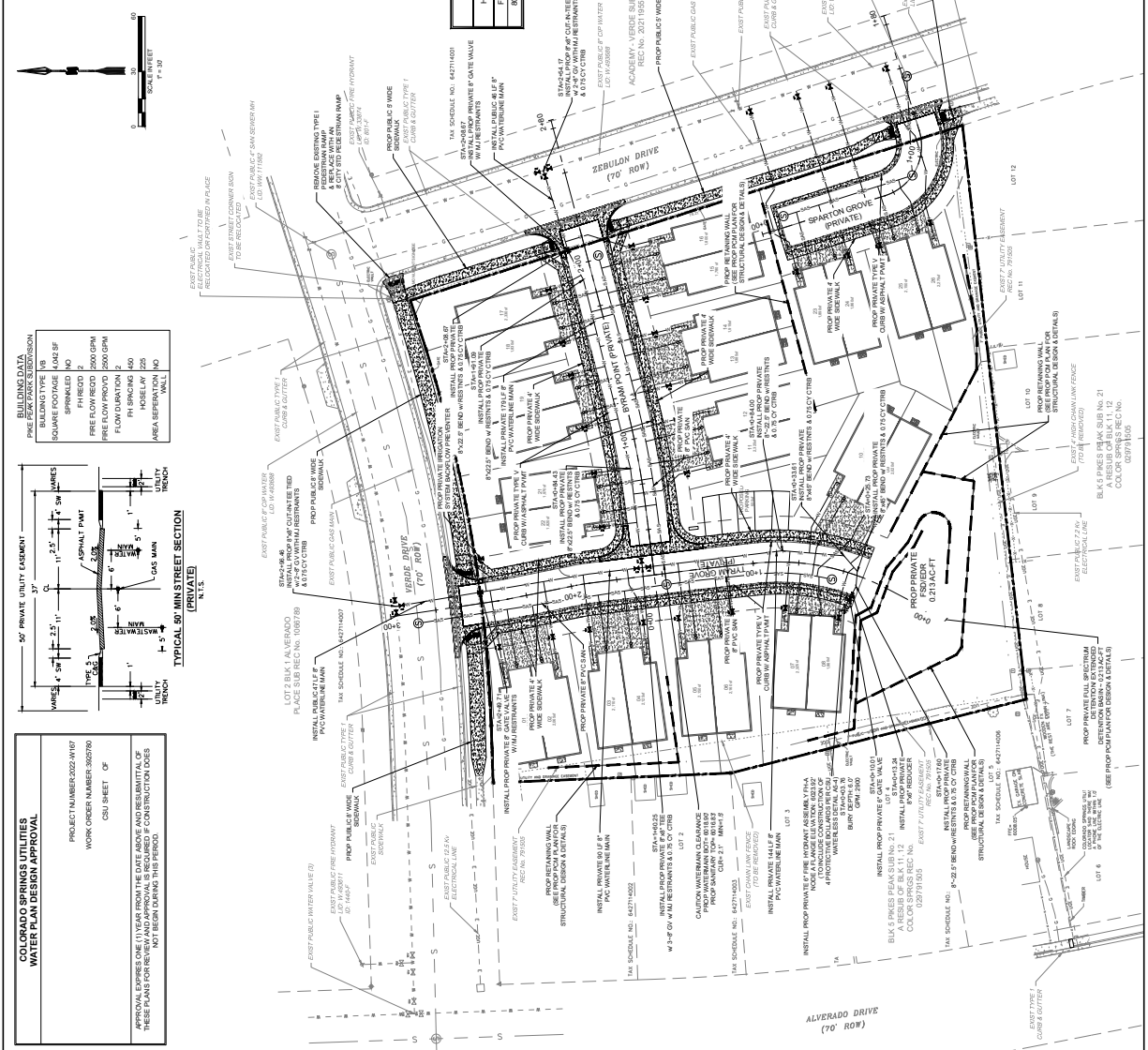
1. CALCULATIONS BASED ON 1500 GPM WATER MAIN PRESSURE.

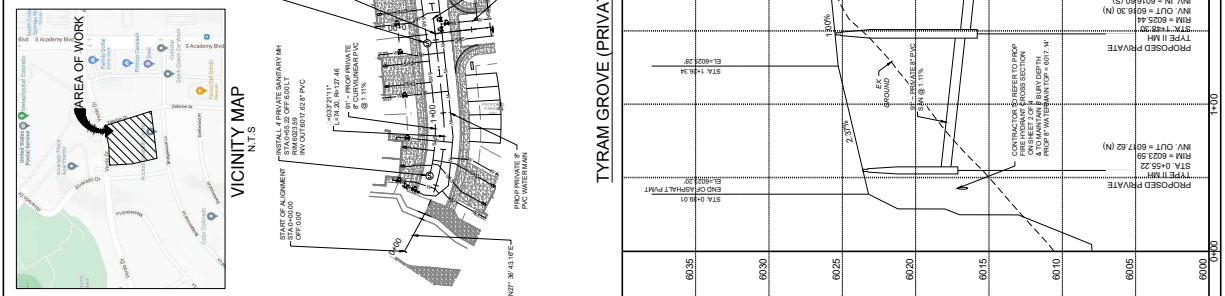
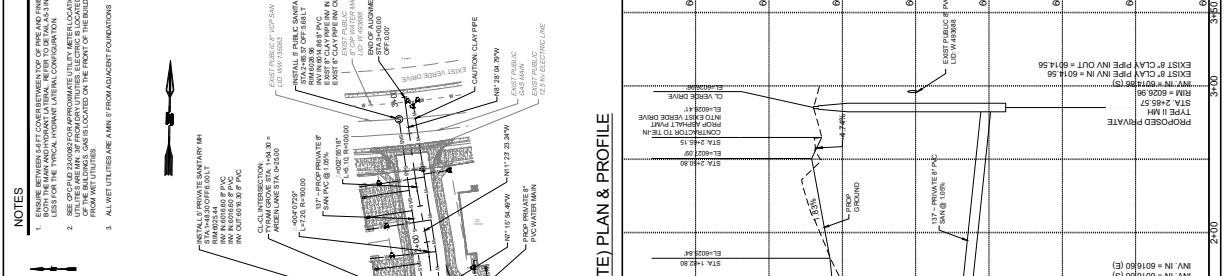
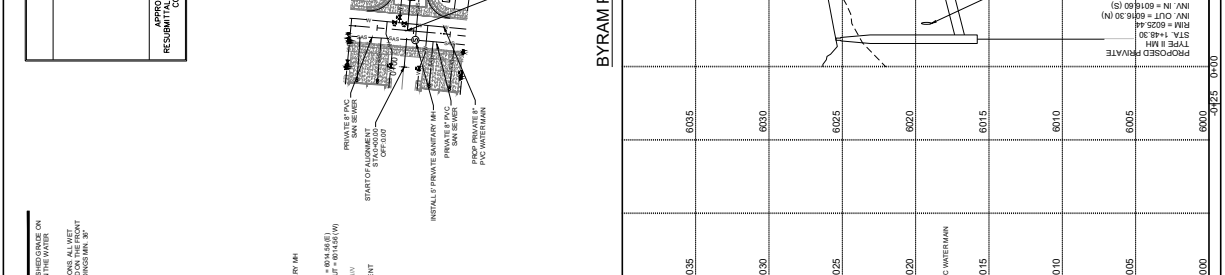
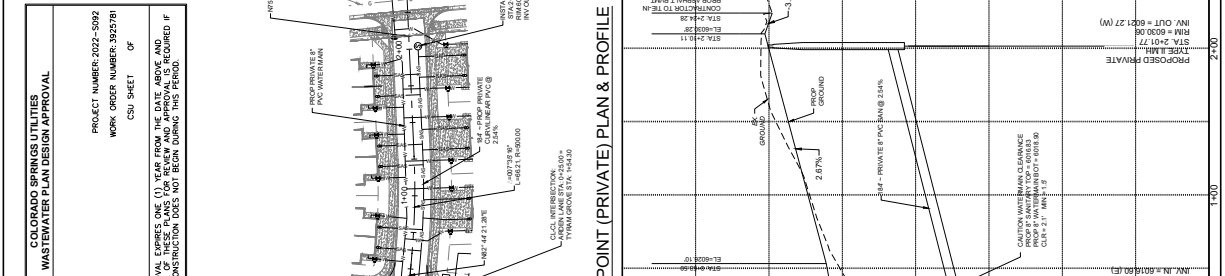
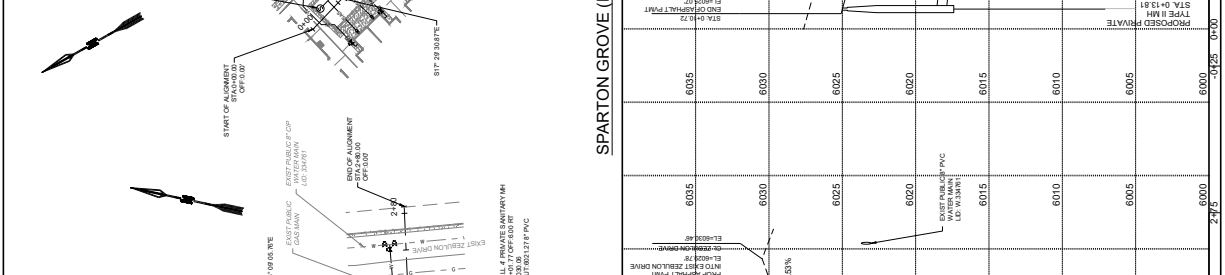
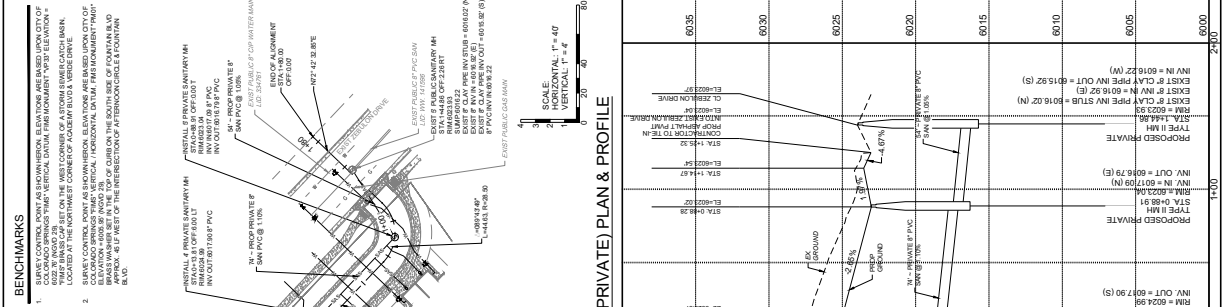
2. THE THEORETICAL WATER FLOW AT EACH FIRE HYDRANT NODE SHALL BE 3100 GPM.

3. FOLLOWING ACTUAL FLOW RATES TO MAINTAIN PRESSURE:

HYD	FLANGE ELEV. (EOM @ 30PS)	PRESSURE @ MAX USE	BURY DEPTH
801A	6020	2000 GPM	35
801B	6028	3100 GPM	50

VICINITY MAP





NOTES
 1. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 2. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 3. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 4. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 5. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 6. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
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 8. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 9. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.
 10. ALL UTILITY LINES ARE SHOWN AS-BUILT UNLESS NOTED OTHERWISE.

REVISIONS
 NO. DATE BY DESCRIPTION
 1 10/14/2022 JLD

DESIGNED JLD
DRAWN JLD
CHECKED JLD
DATE 10/14/2022

STAMP
 Community Design Solutions
 121 S. N. HIGHWAY 103
 COLORADO SPRINGS, CO 80904
 WWW.CDSOLUTIONS.COM PHONE: (719) 586-5275

PRELIMINARY
 NOT FOR CONSTRUCTION
 PROJECT NO. 202203070
 KING OF THE HILL CIVIL, INC.
 21 LOT 6 - 3645 VERDE DR.
 COLORADO SPRINGS, CO
 80910

BENCHMARKS
 1. BENCHMARK SET AT THE CORNER OF THE INTERSECTION OF VERDE DRIVE AND 10TH AVENUE, STATIONING 10+00.00, ELEVATION 6010.00.
 2. BENCHMARK SET AT THE CORNER OF VERDE DRIVE AND 10TH AVENUE, STATIONING 10+00.00, ELEVATION 6010.00.

AREA OF WORK
 N.T.S.
 VICINITY MAP

COLORADO SPRINGS UTILITIES
WASTEWATER PLAN DESIGN APPROVAL
 PROJECT NUMBER: 2022-5092
 WORK ORDER NUMBER: 3523781
 CSU SHEET OF

APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE ABOVE AND RESUBMITTAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

BENCHMARKS

1. COLORADO SPRINGS UTILITIES (CSU) WATER MAIN, 2. COLORADO SPRINGS UTILITIES (CSU) SANITARY MAIN, 3. COLORADO SPRINGS UTILITIES (CSU) WATER MAIN, 4. COLORADO SPRINGS UTILITIES (CSU) SANITARY MAIN, 5. COLORADO SPRINGS UTILITIES (CSU) WATER MAIN, 6. COLORADO SPRINGS UTILITIES (CSU) SANITARY MAIN

LEGEND

PROPOSED MAJOR CONTOUR: 7250'
 PROPOSED MINOR CONTOUR: 7251'
 EXISTING MAJOR CONTOUR: 7251'
 EXISTING MINOR CONTOUR: 7251'
 PROPOSED EASEMENT: [Symbol]
 EXISTING EASEMENT: [Symbol]
 PROPOSED RETAINING WALL: [Symbol]
 EXISTING RETAINING WALL: [Symbol]
 PROPOSED SANITARY SEWER: [Symbol]
 EXISTING SANITARY SEWER: [Symbol]
 PROPOSED WATER LINE: [Symbol]
 EXISTING WATER LINE: [Symbol]
 PROPOSED STORM SEWER: [Symbol]
 EXISTING STORM SEWER: [Symbol]

APPROVAL EXPRESSES ONE (1) YEAR FROM THE DATE ABOVE AND RESUMPTION OF THESE PLANS FOR REVISIONS OR CONSTRUCTION.

COLORADO SPRINGS UTILITIES COMMERCIAL UTILITY SERVICE DESIGN APPROVAL

PROJECT NUMBER: 2022-0092
 WORK ORDER NUMBER: 2022-0092
 CSU SHEET: [] OF []

COLORADO SPRINGS UTILITIES RESIDENTIAL UTILITY SERVICE DESIGN APPROVAL

PROJECT NUMBER: 2022-0092
 WORK ORDER NUMBER: 2022-0092
 CSU SHEET: [] OF []

APPROVAL EXPRESSES ONE (1) YEAR FROM THE DATE ABOVE AND RESUMPTION OF THESE PLANS FOR REVISIONS OR CONSTRUCTION.

