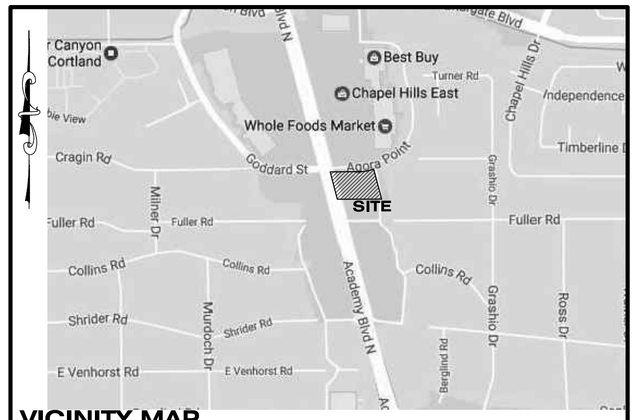
7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT

AMENDMENT HISTORY:		
CASE NO.	APPROVAL DATE:	PURPOSE:
DS DP 95-25	2/27/1995	DEVELOPMENT PLAN FOR GRADY'S AMERICAN GRILL, A 7,019 SF RESTAURANT LOCATED ON LOT 15 OF THE MARKET AT CHAPEL HILLS SUBDIVISION
DS DP 95-25-A1(03)	7/11/2003	REMODEL OF THE EXISTING RESTAURANT BUILDING LOCATED ON LOT 15 OF THE MARKET AT CHAPEL HILLS SUBDIVISION
DS DP 95-25-A2MJ17		MAJOR REDEVELOPMENT PLAN AMENDMENT TO DEMOLISH EXISTING RESTAURANT BUILDING AND REDEVELOP INTO TWO COMMERCIAL LOTS, ONE WITH A 3,050 SF DRIVE-THRU RESTAURANT BUILDING AND THE OTHER WITH AN 8,000 SF MULTI-TENANT BUILDING



VICINITY MAP

SCALE: 1"= 1000'

CONTACTS

DEVELOPER
CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, CO 80205
CONTACT: GREG MEETER
PHONE: (720) 257-6058

ENTITLEMENT, ENGINEERING, AND SURVEYING
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CONTACT: PEGGY FRIESEN
PHONE: (303) 337-1393

ARCHITECT
STUDIO DH ARCHITECTURE
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GOLDEN, CO 80401
CONTACT: BRAD HASWELL
PHONE: (720) 457-3270

LANDSCAPE ARCHITECT
MACK LAND, LLC
1870 DENVER WEST DRIVE
GOLDEN, CO 80401
CONTACT: KATE VOLZ
PHONE: (303) 669-8922

PROJECT DESCRIPTION
REDEVELOPMENT OF LOT 15, MARKET AT CHAPEL HILL INCLUDING:

- DEMOLITION OF EXISTING STRUCTURES, PAVING, AND UNDERGROUND UTILITIES.
- CONSTRUCTION OF TWO BUILDINGS, GRADING, PAVING, AND UNDERGROUND UTILITIES.

TOTAL AREA OF DEVELOPMENT PLAN
2.13 ACRES

ANTICIPATED DEVELOPMENT SCHEDULE
PERMIT AND START OF CONSTRUCTION: Q4 2017
CERTIFICATE OF OCCUPANCY AND OPENING: Q1 2018

PLAN LIST

1 COVER SHEET
2 SITE PLAN
3 GRADING PLAN
4 PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
5 PHOTOMETRIC PLAN
6 LIGHTING CUT SHEETS AND SCHEDULE
7 LANDSCAPE PLAN
8 LANDSCAPE NOTES AND DETAILS
9 EXTERIOR ELEVATIONS
10 EXTERIOR ELEVATIONS
11 EXTERIOR ELEVATIONS

LAND USE/SITE DATA TABLE:	
LEGAL DESCRIPTION	LOTS 1 AND 2 OF MARKET PLACE AT CHAPEL HILLS FILING NO. 2
TAX SCHEDULE NO.	6305409012
ADDRESS	
LOT AREA	LOT 1: 52,795 SF (1.21 AC) LOT 2: 40,193 SF (0.92 AC) TOTAL: 92,988 SF (2.13 AC)
EXISTING ZONE	OC (OFFICE COMPLEX)
PROPOSED ZONE	PBC (PLANNED BUSINESS CENTER) (CITY FILE #: CPC ZC 17-00103, ORD. # _____)
MASTER PLAN	CHAPEL HILLS CENTER MASTER PLAN (CITY FILE #: CPC MP 88-00276)
DRAINAGE BASIN	COTTONWOOD CREEK
EXISTING LAND USE	RESTAURANT (VACANT)
PROPOSED LAND USES	LOT 1: COMMERCIAL CENTER (MULTI-TENANT BUILDING WITH DRIVE-THROUGH LOT 2: RESTAURANT WITH DRIVE-THROUGH
DEVELOPMENT SCHEDULE	PERMIT AND START CONSTRUCTION: Q4 2017 CERTIFICATE OF OCCUPANCY/OPENING Q1 2018
MIN. BUILDING SETBACKS REQUIRED	FRONT: 25 FEET (N. ACADEMY AND AGORA PT) SIDE: 25 FEET REAR: 25 FEET

PARKING DATA:	
LOT 1: COMMERCIAL CENTER (8,000 SF + 700 SF PATIO)	PARKING REQUIRED: 1 SPACE/250 SF = 35 SPACES PARKING PROVIDED: 50 SPACES ADA PARKING REQUIRED: 3 SPACES (1 VAN ACCESSIBLE) ADA PARKING PROVIDED: 3 SPACES (1 VAN ACCESSIBLE)
LOT 2: RESTAURANT WITH DRIVE (3,050 SF + 400 SF PATIO) CONSIDERED UNIFIED DEVELOPMENT WITH LOT 1	PARKING REQUIRED: 1 SPACE/250 SF + 1 SPACE/250 SF PATIO = 14 SPACES PARKING PROVIDED: 32 SPACES ADA PARKING REQUIRED: 2 SPACES (1 VAN ACCESSIBLE) ADA PARKING PROVIDED: 2 SPACES (1 VAN ACCESSIBLE)

FEMA STATEMENT
BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08041C0508 F WITH AN EFFECTIVE DATE OF MARCH 17, 1997. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

USAFA NOTICE:
NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.

ADA ACCESSIBILITY NOTE:
THE RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

TRAFFIC CONTROL NOTE:
THE DEVELOPMENT SHALL INSTALL ALL TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.

MAINTENANCE NOTE:
THE MAINTENANCE OF ALL PRIVATE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE PRIVATE OWNERS, AS ESTABLISHED IN AN AGREEMENT BETWEEN THE OWNERS.

SHARED DRIVE NOTE:
ALL ACCESS DRIVEWAYS, DRIVES, AISLE WAYS, MANEUVERING AND PARKING AREAS WITHIN THESE PLATTED LOTS SHALL BE FOR COMMON USE OF OWNERS, TENANTS, INVITEES, AND GUESTS OF LOTS 1 AND 2 OF MARKET PLACE AT CHAPEL HILLS FILING NO. 2, IN ACCORDANCE WITH THE EASEMENT OR AGREEMENT RECORDED UNDER RECEPTION NO. _____.

SIGNAGE NOTE:
SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. PLEASE CONTACT THE CITY'S DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE, COLORADO SPRINGS FOR A SIGN PERMIT APPLICATION.

COMMERCIAL CENTER PARKING NOTE:
THE COMMERCIAL CENTER PARKING CALCULATION SHALL APPLY TO LOT 1 AND 2 OF MARKET PLACE AT CHAPEL HILLS FILING NO. 2 AS LONG AS 3 OR MORE USES ARE PRESENT WITHIN THE UNIFIED DEVELOPMENT. IF AT ANY TIME THE DEVELOPMENT HAS LESS THAN THIS REQUIREMENT, PARKING SHALL REVERT TO THE REQUIRED PARKING CALCULATION FOR EACH USE.

EXTERIOR LIGHTING NOTE:
ALL EXTERIOR LIGHTING FIXTURES SHALL DIRECT LIGHTING AWAY FROM ADJACENT PROPERTIES AND RIGHTS-OF-WAY, AND USE FULL CUT-OFF FIXTURES WITH NO SAG LENSES.

AVIGATION EASEMENT NOTE:
NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT BY AIRCRAFT USED IN THE U.S. AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES. THIS NOTICE SHALL RUN WITH THE LAND. AN AVIGATION EASEMENT STATING THE ABOVE WILL BE RECORDED PRIOR TO PLAT RECORDING.

ACCESS DRIVE LOADING NOTE:
THE LOADING AND UNLOADING OF SERVICES VEHICLES SHALL BE PROHIBITED WITHIN THE PRIVATE ACCESS DRIVE ENCUMBERING AND ADJACENT TO LOT 2 OF MARKET PLACE AT CHAPEL HILLS FILING NO. 2.

BENCHMARK
FIMS MONUMENT "F_94" BERNSTEN CIDB 3.25" DIAMETER BRASS FIMS CAP SET IN THE TOP OF THE STORM SEWER INLET, LOCATED AT THE NORTHEAST CORNER OF UNION BOULEVARD AND TECHUMSEH ROAD. ELEVATION=6692.98 (NGVD 1929 DATUM)

BASIS OF BEARINGS
BEARINGS ARE BASED ON A LINE FROM THE SOUTHEAST CORNER OF LOT 15 TO AN ANGLEPOINT ON THE NORTHERLY LINE OF LOT 11 BEARING N39°17'45"E PER THE PLAT OF MARKET AT CHAPEL HILLS AND BOUNDED BY THE MONUMENTS SHOWN HEREON. THE ADDRESS OF THE PROPERTY IS 7585 NORTH ACADEMY BOULEVARD.

LEGAL DESCRIPTION
LOTS 1 AND 2, MARKET AT CHAPEL HILLS FILING NO. 2, A PART OF THE SE 1/4 OF SECTION 5, T.13S., R.66W., OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

SITE ADDRESS: 7585 NORTH ACADEMY BOULEVARD, COLORADO SPRINGS, COLORADO, 80920
TAX SCHEDULE NO.: 6305409012
ZONE DISTRICT: O-C (OFFICE COMPLEX)

TOTAL AREA OF DEVELOPMENT PLAN: 2.13 ACRES

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

File Name: N:\Projects\Confluent\COSprings 7585\CAD\DP1 COVER SHEET.dwg Plot Date: 10/2/2017 Company: ESC

ENGINEERING SERVICE COMPANY
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Revisions:

Description	Date
Initial Submittal	7/12/17
Second Submittal	9/07/17

Prepared For:

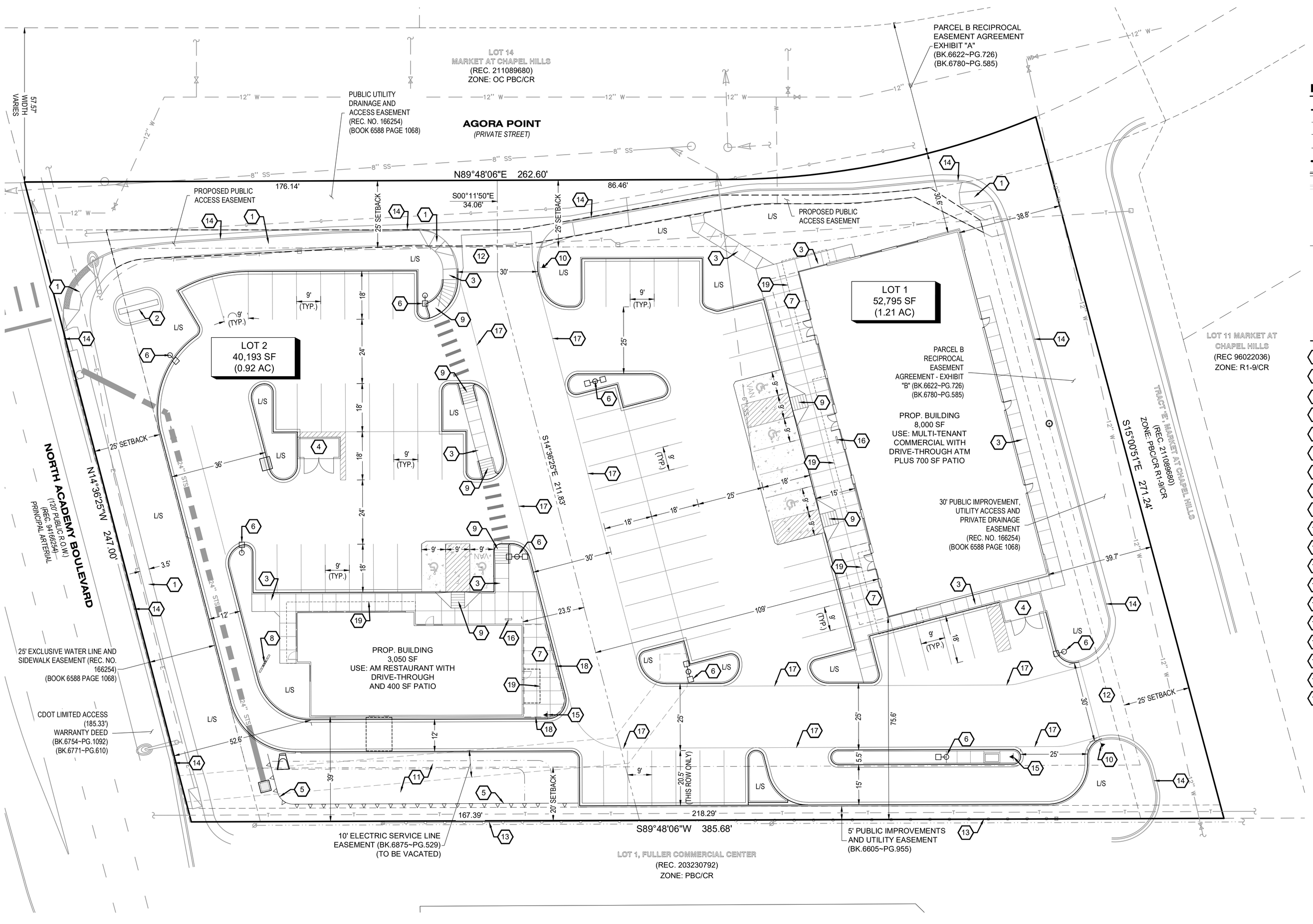
CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

COVER SHEET
7585 NORTH ACADEMY BOULEVARD

Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: N.T.S.
Sheet No.: 1 OF 11	

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



Scale: 1" = 20'

LEGEND

- EXISTING BOUNDARY
- EXIST. EASEMENT
- BUILDING SETBACK
- PROP. LOT LINE
- PROPOSED ACCESSIBLE ROUTE
- PROP. CURB & GUTTER
- EXIST. CURB & GUTTER
- PROP. SIDEWALK
- PROP. CONCRETE
- PROP. RETAINING WALL (HIGH SIDE)
- PROP. HANDICAP PARKING
- PROP. LIGHT POLE
- L/S LANDSCAPING

SITE PLAN KEYNOTE LEGEND:

1. EXISTING CONCRETE SIDEWALK AND RAMPS TO REMAIN
2. PROPOSED MONUMENT SIGN
3. PROPOSED CONCRETE WALK
4. PROPOSED TRASH / RECYCLING ENCLOSURE (SEE DETAILS ON SHEET 9)
5. PROPOSED RETAINING WALL, SEE GRADING PLAN, SHEET 3 FOR MORE DETAIL
6. PROPOSED SITE LIGHTING
7. OUTDOOR SEATING LOCATION
8. PROPOSED DRIVE THRU MENU BOARD
9. PROPOSED ACCESSIBLE RAMPS
10. PROPOSED STOP SIGN
11. PROPOSED SAND FILTER BASIN
12. EXISTING ACCESS POINT TO REMAIN
13. EXISTING FENCE/WALL TO REMAIN
14. EXISTING CURB AND GUTTER TO REMAIN
15. "DO NOT ENTER" SIGN
16. BICYCLE RACK
17. FIRE LANE STRIPING
18. RAILING AROUND PATIO
19. BUILDING OVERHANG/CANTILEVERED PROJECTION

PUBLIC IMPROVEMENT REPAIR NOTE

ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS, AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ON N. ACADEMY BLVD ADJACENT TO THE SITE WILL NEED TO BE REMOVE AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT (719) 385-5977.

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

ESC
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Revisions:

Description	Date
Initial Submittal	7/12/17
Second Submittal	9/07/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

SITE PLAN
7585 NORTH ACADEMY BOULEVARD

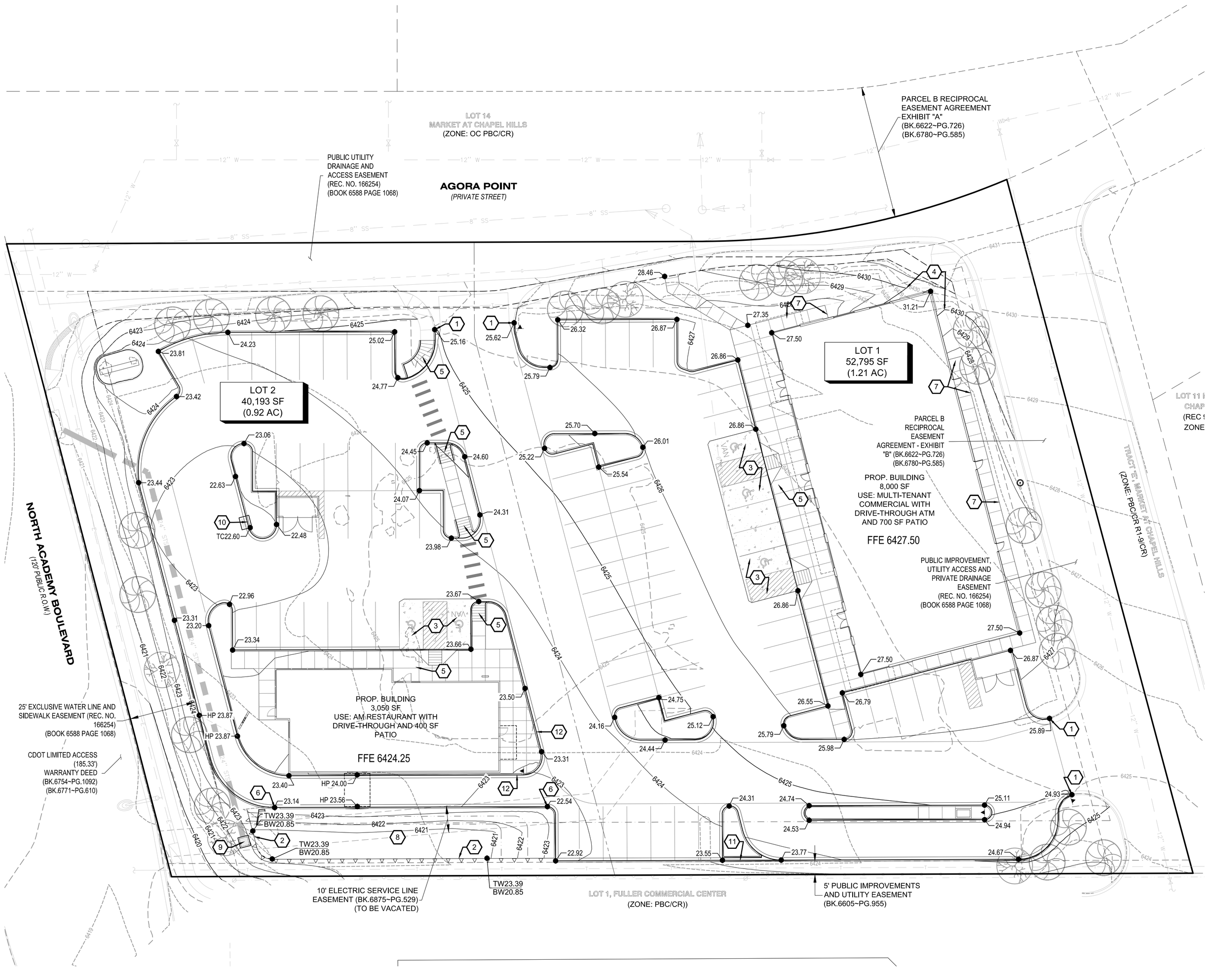
Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1"=20'

Sheet No.: 2 OF 11

File Name: N:\Projects\Confluent\CD\Dpmap 7585\CAD\DP3 SITE PLAN.dwg Plot Date: 9/21/2017 Company: ESC

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



Scale: 1" = 20'

LEGEND

- EXISTING BOUNDARY
- EXIST. EASEMENT
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- PROP. LOT LINE
- PROP. CURB & GUTTER
- EXIST. CURB & GUTTER
- PROP. SIDEWALK
- PROP. CONCRETE
- PROP. RETAINING WALL (HIGH SIDE)
- PROP. HANDICAP PARKING
- PROP. LIGHT POLE
- L/S LANDSCAPING
- EXISTING TREE TO REMAIN

GRADING PLAN KEYNOTE LEGEND:

1. MATCH TO EXISTING CURB, GUTTER, AND ASPHALT DRIVE IMPROVEMENTS
2. MODULAR BLOCK RETAINING WALL, MAXIMUM HEIGHT AS INDICATED.
3. CONSTRUCT HANDICAPPED PARKING AREA - NO GRADES GREATER THAN 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY WITH CONSTRUCTION MANAGER AT FORM SET OR REMAIN SOLELY RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY ADA-NONCOMPLIANT INSTALLATIONS.
4. EARTHEN DRAINAGE SWALE WITH 3H:1V MAX SIDES
5. HANDICAPPED RAMP
6. 18" CURB CUT
7. TRENCH DRAIN TO DISCHARGE OUT CURB FACE
8. SAND FILTER BASIN
9. SAND FILTER BASIN OUTLET STRUCTURE
10. SINGLE TYPE "13" INLET
11. 12" CURB CHASE
12. HEIGHTENED CURB

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Revisions:

Description	Date
Initial Submittal	7/12/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

GRADING PLAN

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT

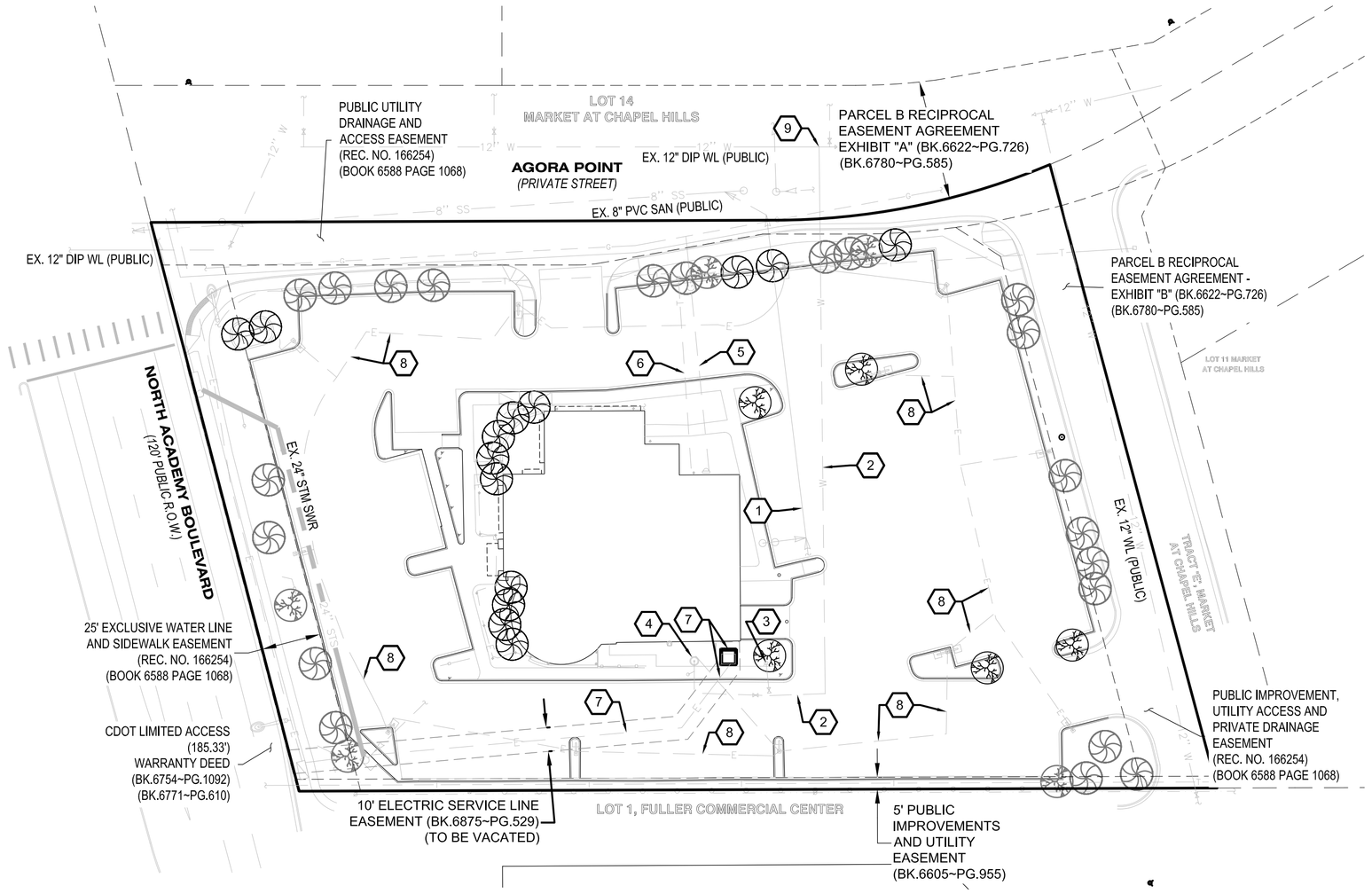
Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1"=20'
Sheet No.: 3 OF 11	

CITY CASE NO. DS DP 95-00025-A2MJ17

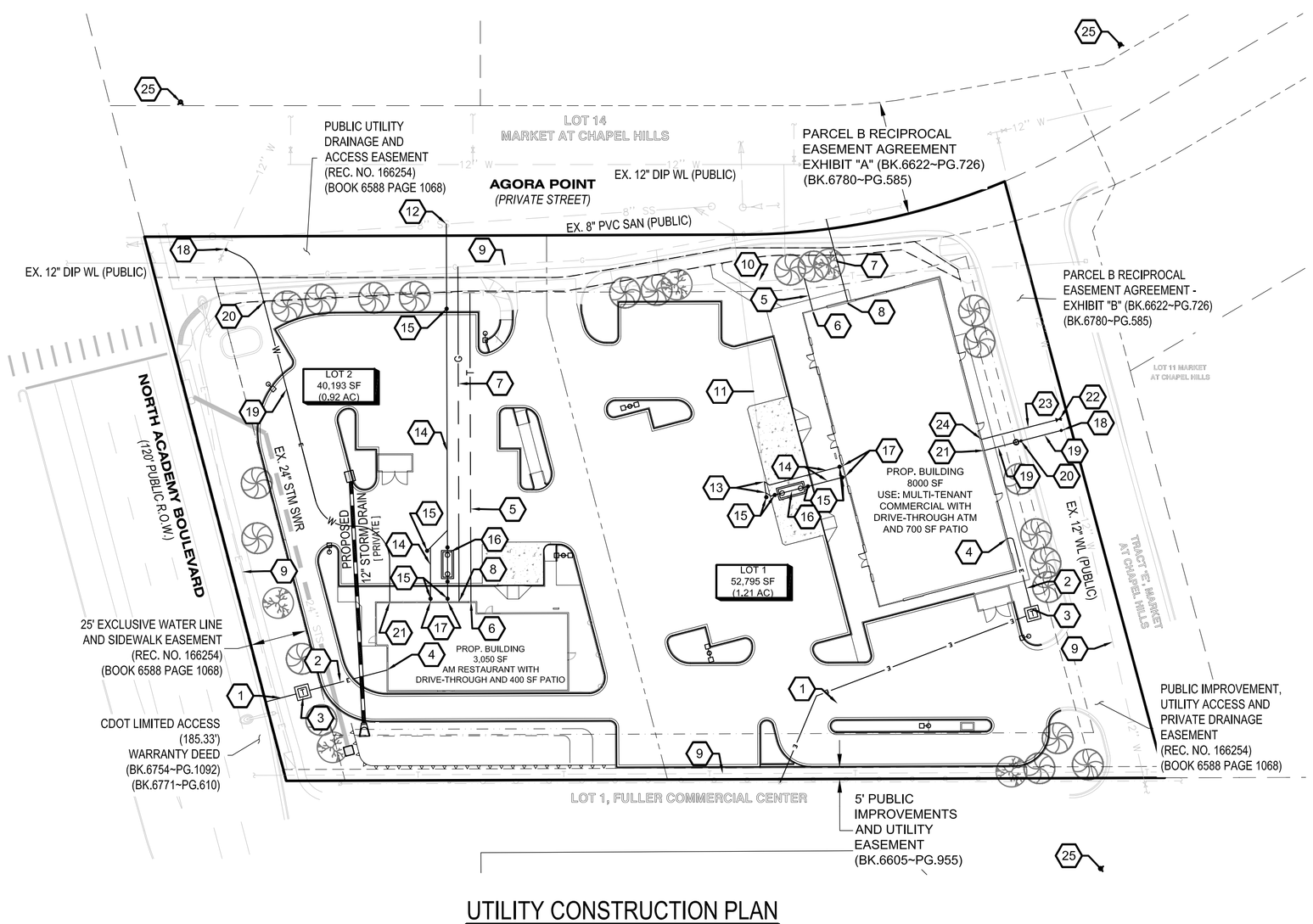
FIGURE 2

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



UTILITY DEMOLITION PLAN



UTILITY CONSTRUCTION PLAN

LEGEND

- EXISTING BOUNDARY
- EXIST. EASEMENT
- BUILDING SETBACK
- PROP. LOT LINE
- PROP. CURB & GUTTER
- EXIST. CURB & GUTTER
- PROP. SIDEWALK
- PROP. CONCRETE
- PROP. RETAINING WALL (HIGH SIDE)
- PROP. HANDICAP PARKING
- PROP. LIGHT POLE
- L/S LANDSCAPING

4 24 60
0 12 40 80
Scale: 1" = 40'

UTILITY DEMOLITION PLAN KEYNOTE LEGEND:

1. CUT AND REMOVE A PORTION OF ON-SITE 6" PVC SANITARY SEWER
2. REMOVE 6" PVC WATER AND APPURTENANCES BACK TO MAIN PER CSU WATER LINE EXTENSION AND SERVICE STANDARDS.
3. REMOVE FIRE HYDRANT
4. REMOVE DOMESTIC METER PIT AND APPURTENANCES
5. REMOVE GAS LINE - COORDINATE WITH UTILITY PROVIDER
6. REMOVE TELECOM LINES - COORDINATE WITH UTILITY PROVIDER
7. REMOVE ELECTRICAL PRIMARY AND TRANSFORMER
8. REMOVE PRIVATE ON-SITE ELECTRICAL LINES AND CONDUITS
9. REMOVE AND REPLACE ONE PORTION OF 12" DIP WATER LINE WITH SOLID COUPLINGS PER CSU WATER LINE EXTENSION AND SERVICE STANDARDS (TAP REMOVAL).

UTILITY CONSTRUCTION PLAN KEYNOTE LEGEND:

1. APPROXIMATE ALIGNMENT OF THE PRIMARY ELECTRIC SERVICE. FINAL ALIGNMENTS TO BE COORDINATED WITH THE SERVICE PROVIDER.
2. APPROXIMATE ALIGNMENT OF THE SECONDARY ELECTRIC SERVICE. FINAL ALIGNMENTS TO BE COORDINATED WITH THE SERVICE PROVIDER.
3. PROPOSED TRANSFORMER LOCATION
4. PROPOSED BUILDING MOUNT LOCATION OF THE ELECTRICAL METER SET, PRIMARY DISCONNECT, AND C/T CAN.
5. APPROXIMATE ALIGNMENT OF TELEPHONE, DATA, AND CABLE SERVICES. FINAL ALIGNMENTS TO BE COORDINATED WITH THE SERVICE PROVIDER.
6. APPROXIMATE BUILDING ENTRY LOCATION OF TELECOM.
7. APPROXIMATE ALIGNMENT OF GAS SERVICE FROM BUILDING TO THE MAIN. FINAL ALIGNMENTS TO BE COORDINATED WITH THE SERVICE PROVIDER.
8. PROPOSED BUILDING MOUNT LOCATION OF THE GAS METER SET.
9. EXISTING UTILITIES IN EASEMENTS OR PUBLIC RIGHTS-OF-WAY TO REMAIN AND BE PROTECTED.
10. EXISTING DRY UTILITIES OUTSIDE OF EASEMENTS TO BE RELOCATED AS NECESSARY IN COORDINATION WITH THE APPROPRIATE UTILITY PROVIDER
11. EXISTING 6" PVC SANITARY SEWER LATERAL (PRIVATE)
12. PROPOSED SANITARY SEWER SADDLE TAP
13. PROPOSED SANITARY SEWER WYE CONNECTION
14. PROPOSED ROUTING OF 4" D3034 PVC SANITARY SEWER LATERAL.
15. PROPOSED LOCATION OF SANITARY SEWER CLEANOUT
16. PROPOSED GREASE TRAP
17. PROPOSED POINT OF BUILDING DEPARTURE SANITARY SEWER SERVICE
18. PROPOSED LOCATION FOR DOMESTIC WATER TAP AND CORPORATION STOP
19. PROPOSED ROUTING OF 1" TYPE "K" COPPER DOMESTIC WATER SERVICE LINE
20. PROPOSED LOCATION OF 1" CURB STOP
21. PROPOSED 1" DOMESTIC WATER SERVICE CONNECTION TO BUILDING. DOMESTIC WATER METER TO BE LOCATED IN BUILDING.
22. CONNECTION TO THE EXISTING 12" WATER MAIN INCLUDING 12"X4" TAPPING SLEEVE, 4" TAPPING VALVE, AND THRUST BLOCK.
23. PROPOSED 4" PVC FIRE LINE
24. PROPOSED 4" FIRE LINE CONNECTION TO BUILDING. FIRE LINE SHALL NOT RUN MORE THAN 3' UNDER SLAB PER CSU WATER LINE EXTENSION AND SERVICE STANDARDS.
25. LOCATION OF EXISTING OFF-SITE FIRE HYDRANT

BENCHMARK

FIMS MONUMENT "F_94" BERNSTEN CIDB 3.25" DIAMETER BRASS FIMS CAP SET IN THE TOP OF THE STORM SEWER INLET, LOCATED AT THE NORTHEAST CORNER OF UNION BOULEVARD AND TECHUMSEH ROAD. ELEVATION=6692.98 (NGVD 1929 DATUM)

BASIS OF BEARINGS

BEARINGS ARE BASED ON A LINE FROM THE SOUTHEAST CORNER OF LOT 15 TO AN ANGLEPOINT ON THE NORTHERLY LINE OF LOT 11 BEARING N39°17'45"E PER THE PLAT OF MARKET AT CHAPEL HILLS AND BOUNDED BY THE MONUMENTS SHOWN HEREON. THE ADDRESS OF THE PROPERTY IS 7585 NORTH ACADEMY BOULEVARD.

LEGAL DESCRIPTION

LOT 15, MARKET AT CHAPEL HILLS A PART OF THE SE 1/4 OF SECTION 5, T.13S., R.66W., OF THE 6TH P.M. CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

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Revisions:

	Date
Preliminary	
Initial Submittal	7/12/17
Second Submittal	9/07/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT

Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1"=40'
Sheet No.: 4 OF 11	

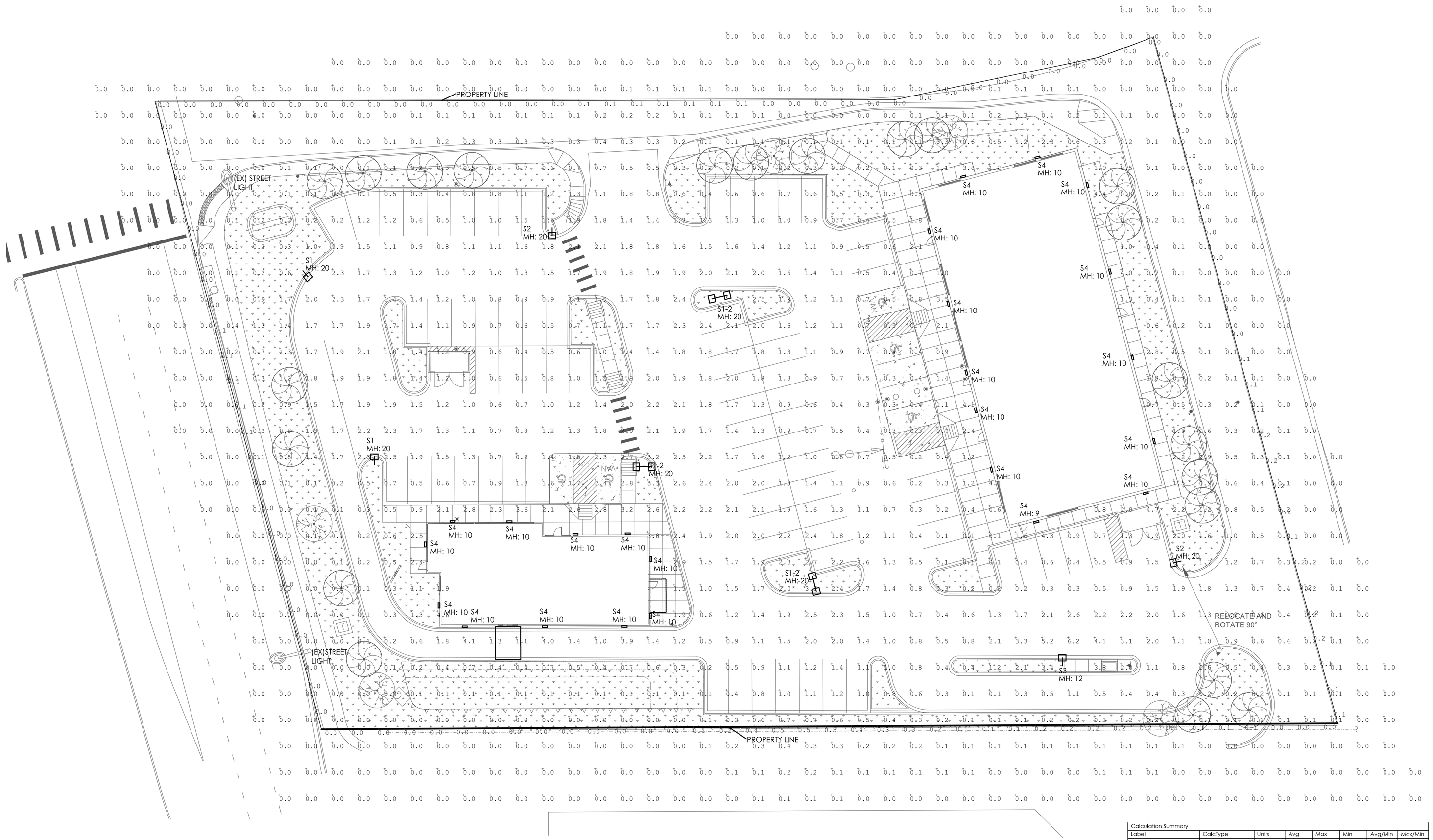
CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

File Name: W:\Projects\Confluent\COSprings 7585\CAD\DP\PRELIMINARY UTILITY PLAN.dwg Plot Date: 9/22/2017 Company: ESC

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



1 REFLECTED CEILING PLAN
SCALE 1"=20'-0"

NORTH

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.07	0.5	0.0	N.A.	N.A.
Site Area	Illuminance	Fc	0.68	6.2	0.0	N.A.	N.A.

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Revisions:

	Date
Initial Submittal	12/14/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

PHOTOMETRIC PLAN

7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT

Designed By: CL	Date: 08/30/17
Drawn By: MW	Survey No.:
Checked By: JDT	Project No.:
Field Book No.:	Scale: 1"=20'-0"
Sheet No.: 5 OF 11	

File Name: C:\Users\cory\Dropbox (Klok Group)\Projects Folder\2017.08.30 7585 Academy\Site Submittal 7585ACADEMY-E1.dwg Plot Date: 9/13/2017 Company: ESC

CITY CASE NO. XX-XXXX

FIGURE 2

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT

LUMINAIRE SCHEDULE

TYPE	LAMPS/KELVIN	DESCRIPTION	MOUNTING	INITIAL LUMENS	LOAD, VA	VOLTS	MANUFACTURER/CAT. NO.
S1	4000K LED	SMALL AREA LIGHT TYPE 4, 20' SQUARE STEEL POLE.	POLE, 20'	6,110	55	277	BEACON VIPER - VPS-24NB-55-3K-T4-UNV-RA(FINISH) , 20' SQUARE STEEL POLE
S1-2	3000K LED	SMALL AREA LIGHT TYPE 4, DOUBLE HEAD, MOUNTED AT180, 20' SQUARE STEEL POLE.	POLE, 20'	12,220	55	277	BEACON VIPER - (2) VPS-24NB-55-3K-T4-UNV-RA(FINISH) , 20' SQUARE STEEL POLE
S2	3000K LED	SMALL AREA LIGHT TYPE 5, 20' SQUARE STEEL POLE.	POLE, 20'	6,221	55	277	BEACON VIPER- VPS-24NB-55-3K-T5-UNV-RA(FINISH) , 20' SQUARE STEEL POLE
S3	3000K LED	SMALL AREA LIGHT TYPE 3, 12' SQUARE STEEL POLE.	POLE, 20'	6,221	55	277	BEACON VIPER- VPS-24NB-55-3K-T3-UNV-RA(FINISH) , 12' SQUARE STEEL POLE
S4	3000K LED	6" WALL SCONCE	SURFACE, 10'	1,163	47	277	TECH - 700WSBOW-6-(FINISH)-LED830277

VIPER S SERIES

SMALL VIPER LUMINAIRE

Cat.#

Job

Type

BEACON

Approvals

SPECIFICATIONS

Intended Use:
The Beacon Viper luminaire is available with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 400W MH or HPS.

Construction:
- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D922 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

Electrical:
- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input.
- Power factor is ≥.90 at full load.
- All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL- 217F Notice 2.
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- The housing is designed for an optional twist lock photo control receptacle.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20KA.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- LifeShield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Controls/Options:
- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the Motion Response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration.
- Available with Energent for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see www.beaconproducts.com/products/energent).
- In addition, Viper can be specified with **SiteSync™** wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelllighting.com/sitesync for more details.

Installation:
- Mounting options for horizontal arm&, vertical tenon or traditional arm mounting available. Mounting hardware included.

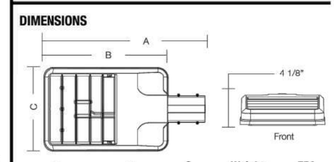
Finish:
- IFS polyester powder-coat electro-statically applied and thermocured.
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermosetsuper TGIC polyester powder coat finish.
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

Listings:
- DesignLights Consortium (DLC) qualified, consult DLC website for more details: http://www.designlights.org/QPL
- Certified to UL 1598 and CSA C22.2 No.250.0
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at: http://www.beaconproducts.com/products/external

Warranty:
Five year limited warranty for more information visit: www.hubbelllighting.com/resources/warranty

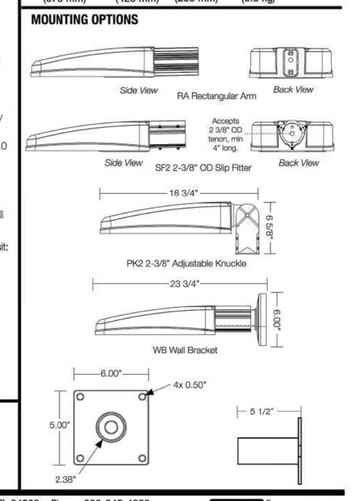
PRODUCT IMAGE(S)

DIMENSIONS



A	B	C	Weight:	EPA
22.75" (578 mm)	16.75" (425 mm)	11.25" (286 mm)	15.0 lbs (6.8 kg)	.67 ft²

MOUNTING OPTIONS



CERTIFICATIONS/LISTINGS

*3000K and warmer CCTs only

BEACON

Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
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HUBBELL Lighting

TYPE S1, S2 AND S3

BOWMAN 6 WALL SCONCE

TECH LIGHTING

The classic silhouette of this sleek LED wall sconce makes it suitable for both indoor and outdoor applications. The Bowman's die-cast aluminum body houses a powerful, long-lasting LED light source tightly controlled for down light only, yet supplying significant illumination for even the darkest nights.

High quality LM80-tested LEDs
for consistent long-life performance and color

Outstanding protection against the elements:
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	1163
WATTS	47.2
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight
CCT	3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL, Title 24
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	L70: 70,000 Hours
WARRANTY*	5 Years

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

700WSBOW	LENGTH	FINISH	LAMP	
	6 6"	B BLACK Z BRONZE H CHARCOAL I SILVER W WHITE	-LED830 -LED830277	LED 80 CRI, 3000K 120V LED 80 CRI, 3000K 277V

techlighting.com

TYPE S4

CITY CASE NO. XX-XXXX

FIGURE 2

File Name: C:\Users\ooxo\Dropbox (Klok Group)\Projects Folder\2017.08.30 7585 Academy\Site-Submittal\7585ACADEMY-E2.dwg Plot Date: 8/13/2017 Company: ESC

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Revisions:

Description	Date
Initial Submittal	12/14/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

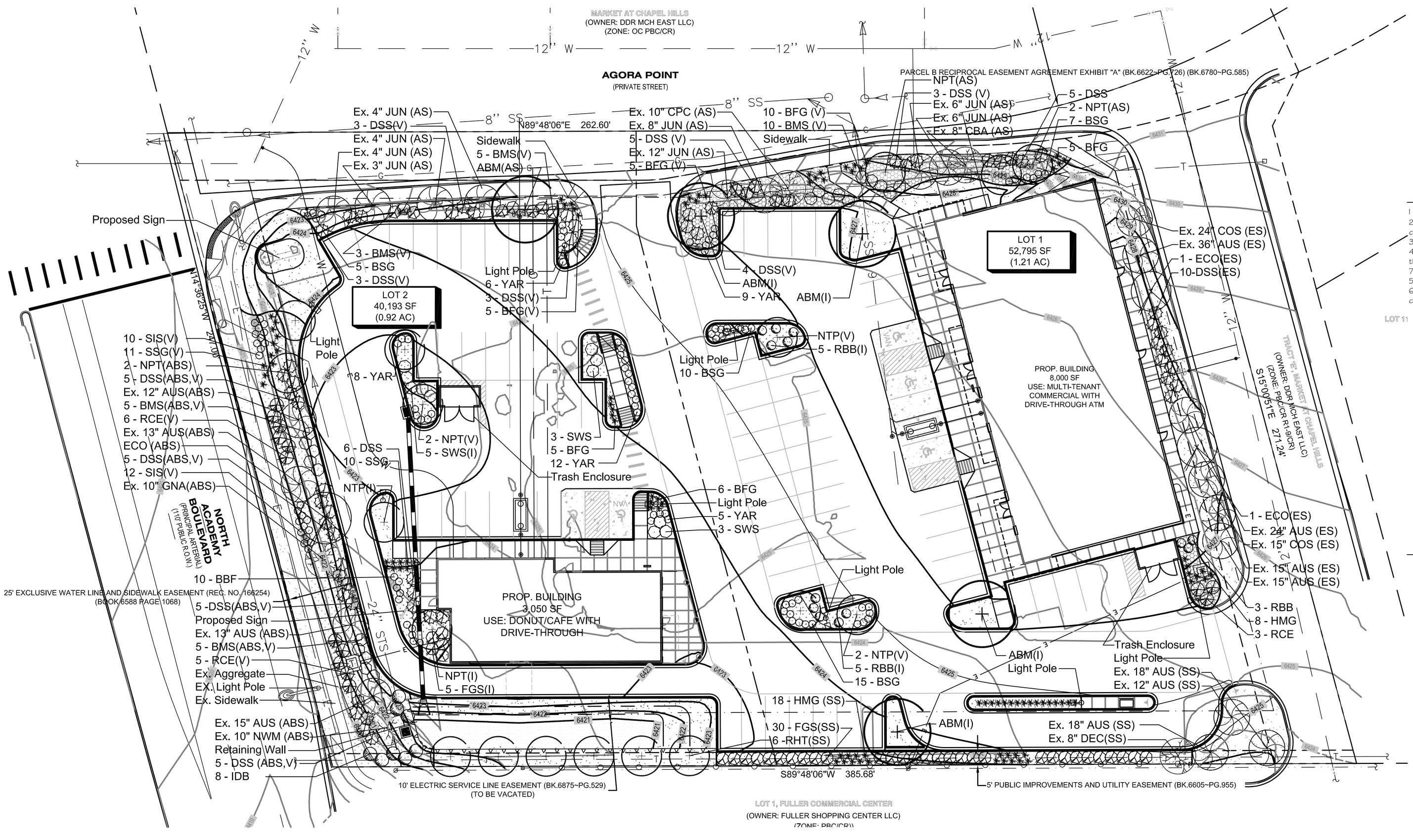
LIGHTING CUTSHEETS AND SCHEDULE
7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT

Designed By: CL	Date: 08/30/17
Drawn By: MW	Survey No.:
Checked By: JDT	Project No.:
Field Book No.:	Scale: NONE

Sheet No.: 6 OF 11

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



NOTES:

1. Proposed cobble stone and aggreate groundcovers to match existing.
2. Steel landscape edger to be installed to delineate between turf areas and cobble or aggreate areas.
3. Exisiting trees that are shown are incorporated in landscape calculations.
4. All landscape submittal requirements shall be met and plans approved by the City's reviewing authorities prior to issuance of a building permit per 7.4.308.G.
5. All lots will be fully maintained by their respective owners.
6. Plant labels without abbrevations (ES, SS, ABS, AS, V, and I) are to be considered extra and not required by Code or administrative relief.

LEGEND

- EXISTING TREE TO REMAIN
- DECIDUOUS TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- GRASSES & PERENNIALS
- TURF GRASS / SOD
- AGGREGATE GROUNDCOVER EXISTING / PROPOSED
- COBBLE GROUNDCOVER EXISTING / PROPOSED
- SAND FILTER BASIN

LANDSCAPE SETBACKS

REQUIREMENT CATEGORIES	CLASSIFICATION	REQUIREMENT FORMULA	LINEAR FOOTAGE	TREES REQ./PROVIDED	SHRUB SUB. REQ./PROVIDED	ORNAMENTAL GRASS SUB. REQ./PROVIDED	SETBACK PLANT ABBR. DENOTED ON PLAN	% GROUND PLANE VEG. REQ./PROVIDED
ACADEMY BOULEVARD N WEST BOUNDARY	MAJOR ARTERIAL	MIN 25' BUFFER 1 TREE / 20'	247'	12 / 9 + SHRUBS	30 / 30	0 / 11	AS (ACADEMY BLVD. SETBACK)	75% / 75%
AGORA POINT NORTH BOUNDARY	NON-ARTERIAL	MIN 10' BUFFER 1 TREE / 30'	362'	13 / 13			AS (AGORA SETBACK)	75% / 75%
EAST BOUNDARY	NON STREET	NO MIN BUFFER 1 TREE / 30'	271'	9 / 8	10 / 10		ES (EAST SETBACK)	75% / 75%
SOUTH BOUNDARY	NON STREET	NO MIN BUFFER 1 TREE / 30'	386'	13 / 10 + SHRUBS	30 / 30	0 / 18	SS (SOUTH SETBACK)	75% / 75%

MOTOR VEHICLE LOTS

NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROVIDED	VEHICLE LOT FRONTAGE	LINEAR FOOTAGE	2/3 LENGTH OF FRONTAGE (SF)	MIN 3' SCREEN PLANTS PROVIDED	EVERGREEN PLNT REQ.(50%)/PROV.	LENGTH OF SCREEN WALL OR BERM PROVIDED	VEHICLE LOT PLANT ABBR. ON PLAN	% GROUND PLANE VEG. REQ./PROVIDED
LOT 1: 50	3 / 3	AGORA POINT	46'	31'	19 SHRUBS 15 GRASSES	10 / 9	82'	V	75% / 75%
LOT 2: 32	2 / 2	ACADEMY BLVD. N	139'	93'	41 SHRUBS 11 GRASSES	21 / 20	82'	V	75% / 75%
		AGORA POINT	92'	61'	17 SHRUBS 5 GRASSES	9 / 9	82'	V	75% / 75%

INTERNAL LANDSCAPING

NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	% MIN INTERNAL AREA	INTERNAL AREA (SF) REQ. / PROVIDED	INTERNAL TREES (1/500 SF) REQ. / PROVIDED	SHRUB SUB. REQ./PROVIDED	ORN. GRASS SUB. REQ./PROVIDED	INTERNAL PLANT ABBR. ON PLAN	% GROUND PLANE VEG. REQ./PROVIDED
82,681 SF	NONRES. 5%	4,134 SF / 13,608 SF	8 / 6	20 / 20		I	75% / 75%

PLANT LIST

ABR	QTY	Scientific Name	Common Name	Key from Appendix B	Mature Width	Planting Size	Notes
Deciduous Trees							
ABM	5	Acer x fremanii	Autumn Blaze Maple	S	25-30'	2" Cal.	B&B
RHT	6	Crataegus ambigua	Russian Hawthorn	235AD	20'	2" Cal.	B&B
NPT	12	Prunus americana	Native Plum	234567DA	8-12'	2" Cal.	B&B
ECO	3	Quercus robur 'Fastigiata'	English Columnar Oak	S	18-20'	2" Cal.	B&B
Evergreen Shrubs							
RCE	14	Cottoneaster honzontalis	Rock Cottoneaster	2345S	5-8'	5 Gal.	
DSS	62	Pinus cembra 'Nana'	Dwarf Swiss Stone Pine	A	3-6'	5 Gal.	
Deciduous Shrubs							
IDB	8	Amorpha fruticosa	Indigo Bush	2345A	5-15'	5 Gal.	
SWS	11	Artemisia abrotanum	Southernwood Sagebrush	123GD	2-3'	5 Gal.	
BMS	28	Caryoptenis x clandonensis	Blue Mist Spirea	1235A	2-3'	5 Gal.	
RBB	13	Chrysothamnus nauseosus	Rabbitbrush	1235D	3-4'	5 Gal.	
FGS	35	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	23456DA	4-5'	5 Gal.	
Perennials/Grasses/Groundcovers							
YAR	40	Achillea mill. 'Summer Pastels'	Summer Pastels Yarrow	1356A	1-2'	1 Gal.	
SIS	22	Cerastium tomentosum	Snow-In-Summer	356D	24-36"	1 Gal.	
BFG	36	Fescue ovina glauca	Elijha Blue Fescue	23568D	8-12"	2 Gal.	
BBF	10	Gaillardia aristata 'Burgundy'	Burgundy Blanket Flower	35A	24-36"	1 Gal.	
BSG	37	Liatris punctata	Blazing Star Gayfeather	1235D	8-12"	1 Gal.	
SSG	21	Panicum vir. 'Shenandoah'	Shenandoah Switch Grass	12346D	2-3'	2 Gal.	
HMG	26	Panicum vir. 'Heavy Metal'	Heavy Metal Switch Grass	12346D	2-3'	2 Gal.	

EXISTING TREE LEGEND

ABR	Scientific Name	Common Name
Deciduous Trees		
DEC	Deciduous species	
GNA	Fraxinus pennsylvanica	Green Ash
NWM	Acer platanoides	Norway Maple
CBA	Malus species	Crabapple
CPC	Pyrus calleryana	Pear species
Everagreen Trees		
AUS	Pinus nigra	Austnan Pine
COS	Picea pungens	Colorado Spruce
JUN	Juniperus chinesis	Juniper species

NORTH

20 0 10 20
SCALE: 1"= 20'-0"

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Revisions:

Description	Date
Site Plan	07/12/17
Draft Site Summary	07/12/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT
REVISED FINAL LANDSCAPE PLAN

MACK
www.macklandllc.com
1870 Denver West Drive
Golden, CO 80401
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F 888.712.3001

Designed By: KCV	Date: 07/12/17
Drawn By: KCV	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1"=20'
Sheet No.: 6	

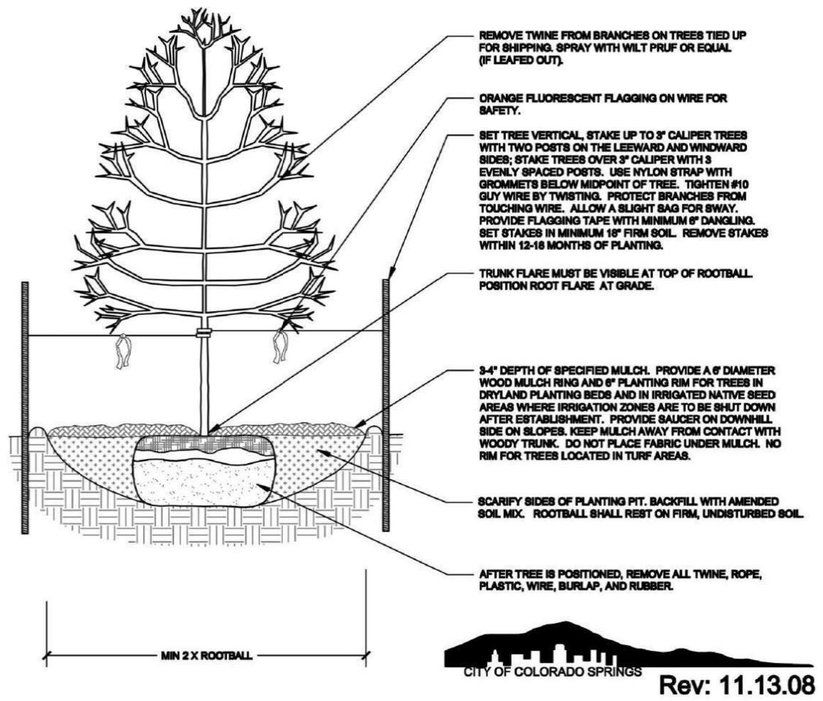
CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT

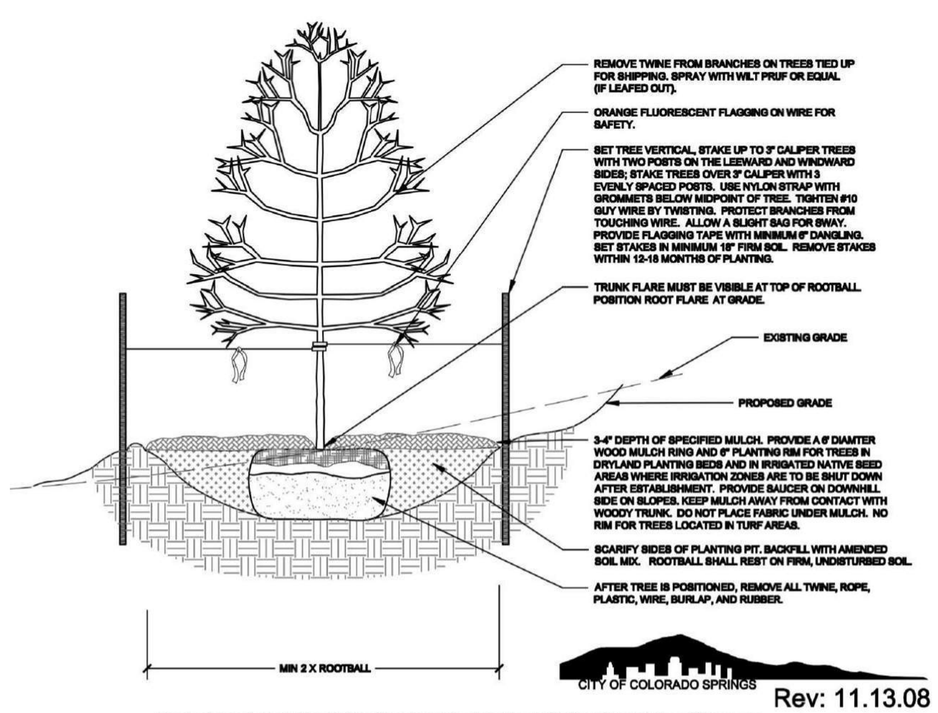
NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

1/5 DECIDUOUS TREE PLANTING DETAIL — NOT TO SCALE — SECTION

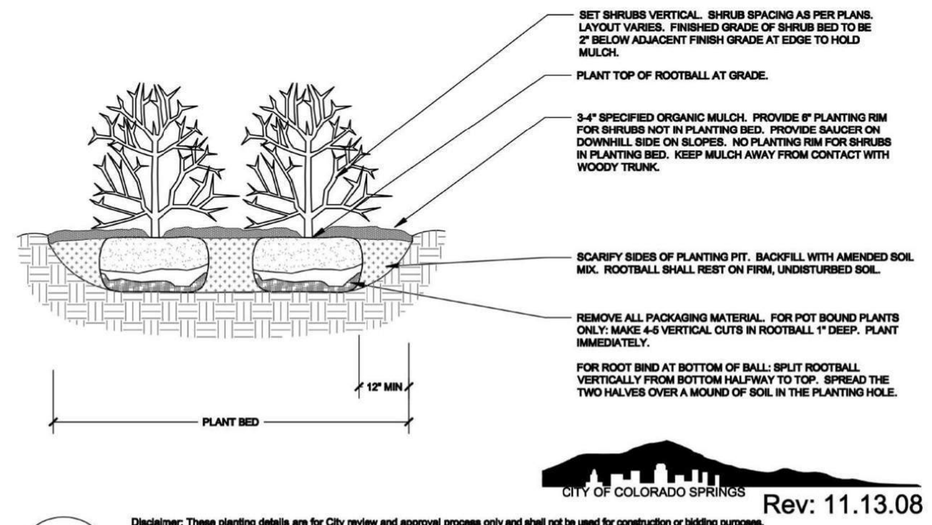
NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND REMOVE MARCH 31 FOR THE PIKES PEAK REGION.
8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

2/5 DECIDUOUS TREE PLANTING ON SLOPES DETAIL — NOT TO SCALE — SECTION

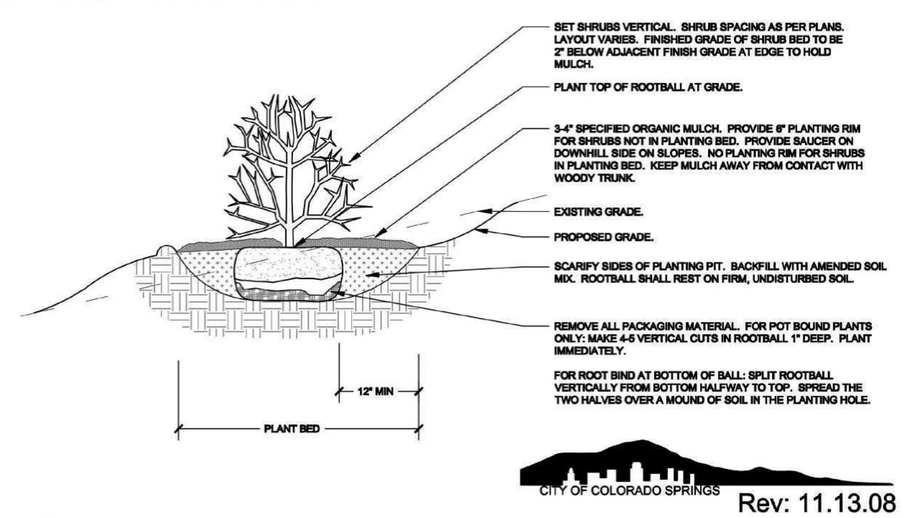
NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

3/5 SHRUB PLANTING DETAIL — NOT TO SCALE — SECTION

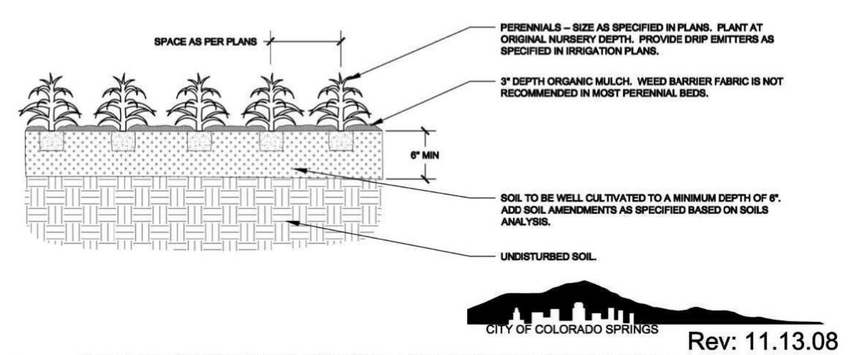
NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

4/5 SHRUB PLANTING ON SLOPES DETAIL — NOT TO SCALE — SECTION

NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes.

5/5 PERENNIAL/GROUNDCOVER PLANTING DETAIL — NOT TO SCALE — SECTION

1. ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

2. THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.

3. CONTRACTOR SHALL CALL FOR UTILITY LOCATES AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO THE START OF WORK.

4. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.

5. CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES / IMPROVEMENTS, UNLESS OTHERWISE NOTED.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND / OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND / OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.

7. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.

8. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.

9. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED PRIOR TO CONSTRUCTION SHALL BE COLLECTED, SAVED AND PROTECTED FOR LATER USE ON AREAS REQUIRING REVEGETATION (SEED) AND / OR LANDSCAPING.

10. ALL LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (3) THREE CUBIC YARDS PER 1,000 SQUARE FEET.

11. COMPOSITE EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TO TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENT / PARALLEL / NEXT TO CURBS, WALLS, AND WALKS.

12. ALL PLANTING BEDS SHALL BE MULCHED WITH A (4") DEPTH OF AGGREGATE AND COBBLE STONE OVER WEED BARRIER. AGGREGATE AND COBBLE STONE TO MATCH EXISTING ON SITE OR EQUIVALENT.

13. ALL PLANT OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN NURSERYMAN ASSOCIATION" STANDARD FOR NURSERY STOCK.

14. ALL PLANTS SHALL BE PLANTED USING AND EQUALLY SPACED TRIANGULAR PATTER, UNLESS OTHERWISE NOTE AND / OR SHOWN ON THE LANDSCAPE DRAWINGS.

15. CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND / OR THE CITY / COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.

16. THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

17. CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY / COUNTY.

18. FOR TREES NOT IN PLANTED BEDS, ALLOW A 4'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY A 3" DEPTH SHREDDED CEDAR MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO LANDSCAPE FABRIC OR EDGER IS NECESSARY FOR TREE RINGS.

19. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM.

20. ALL CITY OWNED IMPROVEMENTS WILL BE CONSISTENT WITH THE CITY'S STANDARD SPECIFICATIONS.

21. ALL PLANTS SHALL BE MAINTAINED CONTINUALLY IN A HEALTHY CONDITION IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL HORTICULTURAL STANDARDS AND PRACTICES. PLANTS THAT DIE OR UNHEALTHY SHALL BE REPLACED. REGULAR PRUNING AND TRIMMING SHALL APPLY TO MAINTAIN HEALTH AND ATTRACTIVE APPEARANCE AND TO PERMIT THE PLANTS TO ACHIEVE THEIR INTENDED FORM AND HEIGHT. LANDSCAPE AREAS SHALL REMAIN FREE OF WEEDS, LITTER, JUNK, RUBBISH AND OTHER NUISANCES AND OBSTRUCTIONS. TO PREVENT WEED GROWTH, EROSION AND BLOWING DUST, AREAS NOT COVERED BY VEGETATION SHALL BE COVERED WITH MULCH, WOOD OR BARK CHIPS, OR DECORATIVE ROCKS OR COBBLE, OR SIMILAR NATURAL MATERIALS PROVIDING A CLEAN, UNIFORM APPEARANCE.

7.4.321 Motor Vehicle Lots
- A. Where motor vehicle lot soil has been compacted by grading operations, the soil of any planter within the lot shall be structurally renovated (tilled) or removed to a depth of thirty inches (30") and replaced with an acceptable growing medium for species indicated for installation.
- B. Any tree planting space (planter) within a motor vehicle lot shall be at least three hundred (300) square feet in size to provide adequate soil rooting space.
- C. Where more than one tree occupies any motor vehicle lot planter, each tree shall be allocated at least one hundred fifty (150) square feet of planter space (or the equivalent soil rooting volume) per tree.
- D. Minimum motor vehicle lot planter width shall be ten feet (10').
- E. Required trees may be planted in other site category areas, provided they are located within five to eight feet (5'-8') of a paved motor vehicle lot, and tree spacing requirements are maintained.
- F. Spacing of trees and shrubs shall be consistent with the ranges of height and spread for the respective species indicated in Appendix B.

NORTH

20 0 10 20
SCALE: 1"= 20'-0"

MACK
www.macklandllc.com
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Golden, CO 80401
P 303.669.8922
F 888.712.3001

ESC
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Aurora, Colorado 80014
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P 303.337.1393
F 303.337.7481
T/F 1.877.273.0659

Revisions:

Description	Date
Initial Submittal	07/12/17
2nd Site Submittal	09/01/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT
REVISED FINAL LANDSCAPE NOTES & DETAILS

Designed By: KCV	Date: 07/12/17
Drawn By: KCV	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: NTS
Sheet No.:	8 OF 11

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

File Name: C:\Users\lin\Desktop\2017\MACK\07.05.2017 - Redline\Confluent - Colorado Springs\09.01.2017\Confluent Development - DP Title Block Jeng Plot Date: — Company: ESC

7585 NORTH ACADEMY BOULEVARD

LOT 15, MARKET AT CHAPEL HILLS
SITUATED IN THE SE 1/4 OF SECTION 5, T.13S., R.66W., OF THE 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

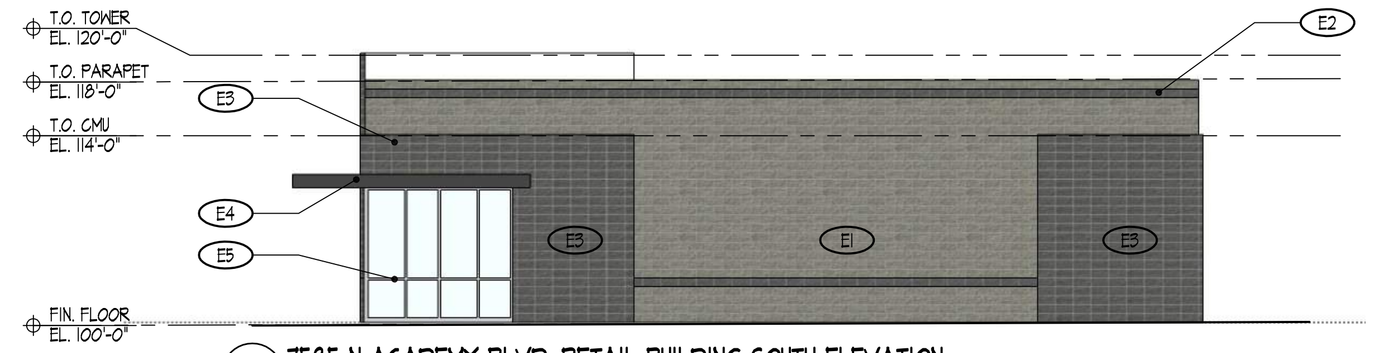
DEVELOPMENT PLAN

MATERIAL LEGEND

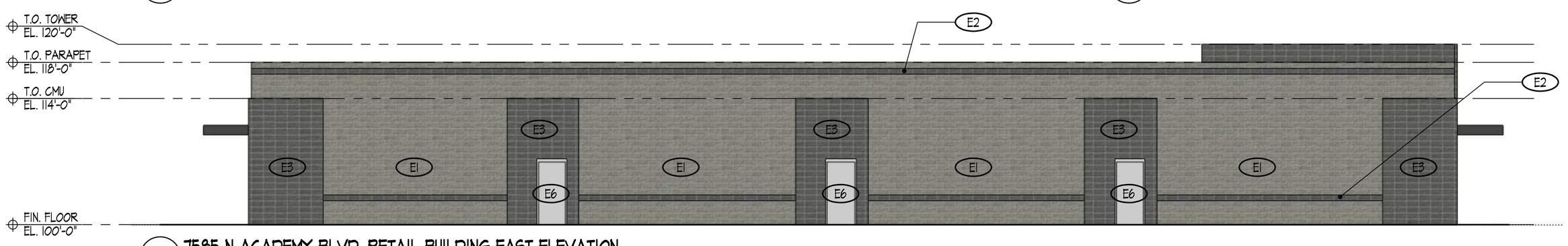
E1	BASALITE SPLIT FACE CMU (600WR) RUNNING BOND
E2	BASALITE SPLIT FACE CMU (807WR) RUNNING BOND
E3	BASALITE COMB FACE CMU (807WR) STACKED BOND
E4	STEEL CANOPY PAINT - SW 7017 DORIAN GREY
E5	KAWNEER ALUMINUM STOREFRONT TRIFAB 451T - CLEAR ANODIZED
E6	HM DOOR AND FRAME PAINT - LIGHT GREY
E7	ATM & CANOPY FINISH/DESIGN BY TENANT - TBD
E8	PRECAST CONCRETE CAP
E9	STEEL GATE/POST PAINT - SW 7017 DORIAN GREY

1 7585 N ACADEMY BLVD. RETAIL BUILDING WEST ELEVATION
SCALE: 1/8" = 1'-0"

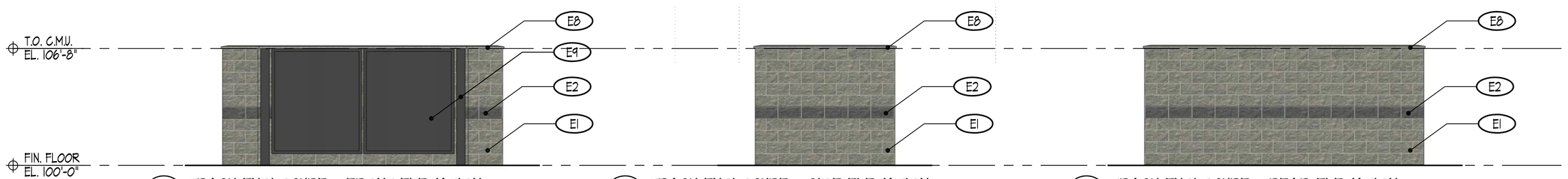
2 7585 N ACADEMY BLVD. RETAIL BUILDING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 7585 N ACADEMY BLVD. RETAIL BUILDING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



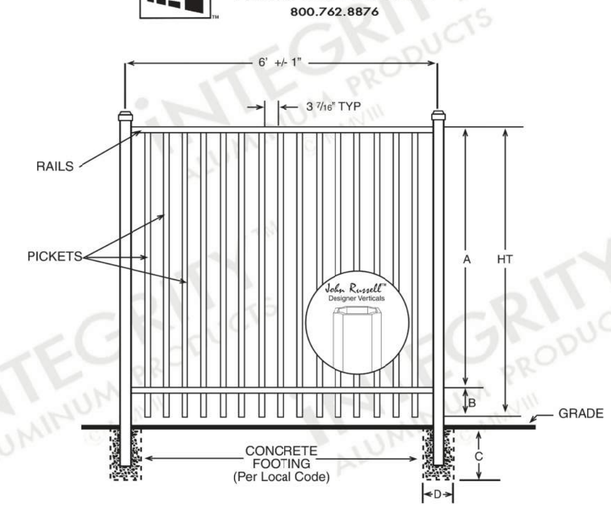
4 7585 N ACADEMY BLVD. RETAIL BUILDING EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0" TYP

6 TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0" TYP

7 TRASH ENCLOSURE - REAR ELEVATION
SCALE: 1/4" = 1'-0" TYP



VENTURA™
John Russell™ Designer Verticals

DIMENSIONS

HT	A	B	C	D
3'	30½"	5½"	Per Local Code	
3½	36½"	5½"	Per Local Code	
4'	42½"	5½"	Per Local Code	
All Dimensions Are Nominal				

SPECIFICATIONS
DESIGNER CLASSIC

Posts Available	2" x 2" x .060 Wall 2" x 2" x .080 Wall 2" x 2" x .125 Wall 2½" X 2½" X .100 Wall
Horizontal Rails Side Walls Top Walls	1¼" x 1" .062" .062"
Pickets Picket Spacing	1" x 7/16" x .062 Wall 3 7/16"
Heights Available	3, 3½ & 4

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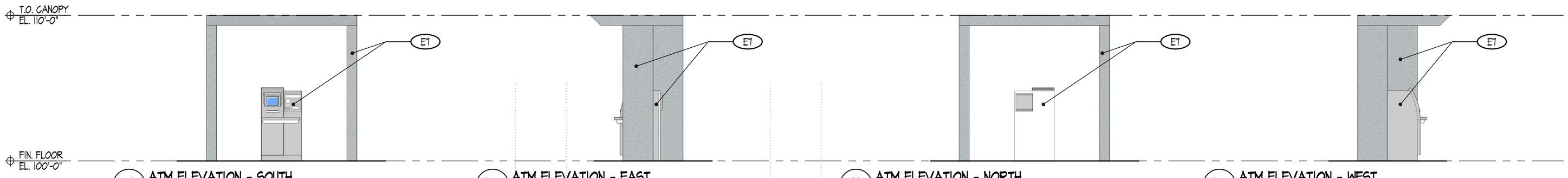
8 TYPICAL RAILING - PREFINISHED BLACK
SCALE: 1/4" = 1'-0"



9 ATM ELEVATION - SOUTH
SCALE: 1/4" = 1'-0" CANOPY & ATM DESIGN BY TENANT

10 ATM ELEVATION - EAST
SCALE: 1/4" = 1'-0" CANOPY & ATM DESIGN BY TENANT

11 ATM ELEVATION - NORTH
SCALE: 1/4" = 1'-0" CANOPY & ATM DESIGN BY TENANT

12 ATM ELEVATION - WEST
SCALE: 1/4" = 1'-0" CANOPY & ATM DESIGN BY TENANT

CITY CASE NO. XX-XXXX

File Name: P17002 - 7585 Academy - Confluent C Springs\DWG\CAD\SDUX 7585 N Academy Mixed-Use Plot Date: 9/21/2017 Company: ESC

FIGURE 2

ESC

STUDIO DH
ARCHITECTURE
DESIGN
PLANNING
1300 Jackson St. Suite #200 Golden CO 80401

Revisions:

Description	Date
Initial Submittal	7/12/17
Sescond Submittal	9/21/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

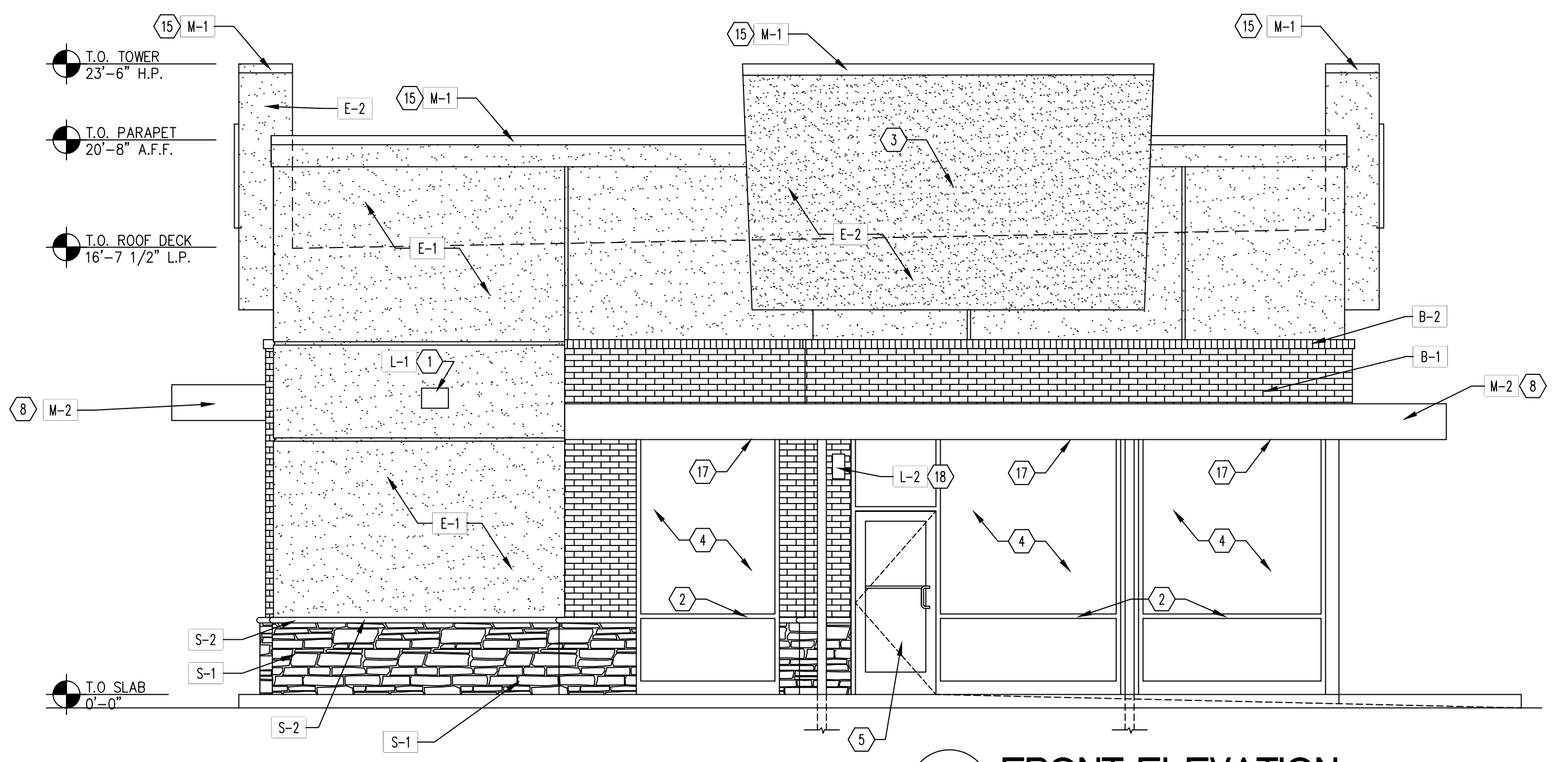
EXTERIOR ELEVATIONS
LOT 15, MARKET AT CHAPEL HILLS
A PART OF THE SE 1/4 OF SECTION 5, T13S, R66W, 6TH P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

7585 NORTH ACADEMY BOULEVARD

Designed By: CMA	Date: 07/12/17
Drawn By: SHM	Survey No.:
Checked By: JDT	Project No.:
Field Book No.:	Scale:
Sheet No.: 9 of 11	

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



3 / A6 **FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL:

EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)

E-1	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	GRAY TO MATCH SHOPPING CENTER
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404
E-2	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	109A EGGSHELL CREAM
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404
E-3	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	DARK GARY
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404

METAL

M-1	TYPE:	2-PEICE SNAP-ON COMPRESSION EDGING
	MANUFACTURER:	EXCEPTIONAL METALS
	COLOR:	MEDIUM BRONZE
M-2	TYPE:	2-PIECE FLEX SNAP ON COMPRESSION EDGE
	MANUFACTURER:	EXCEPTIONAL METALS
	COLOR:	REGAL RED SR.38/TE.87

LIGHTING

L-1	EXTERIOR LIGHTING TYPE: HALF ROUND SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
L-2	EXTERIOR LIGHTING TYPE: EMERGENCY FIXTURE SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION

PAINT

P-1	TYPE:	PAINT
	MANUFACTURER:	SHERWIN WILLIAMS
	COLOR:	TO MATCH E-1
	LOCATION:	METAL

BRICK VENEER (TO MATCH SHOPPING CENTER)

B-1	TYPE:	TRAD. BRICK W/ 3/8" JOINT
	MANUFACTURER:	INTERSTATE BRICK
	COLOR:	INCA (MATTE FINISH)
	GROUT:	TO MATCH SHOPPING CENTER
B-2	TYPE:	ROWLOCK BRICK COURSE
	MANUFACTURER:	INTERSTATE BRICK
	COLOR:	INCA (MATTE FINISH)
	GROUT:	TO MATCH SHOPPING CENTER

STONE VENEER (TO MATCH SHOPPING CENTER)

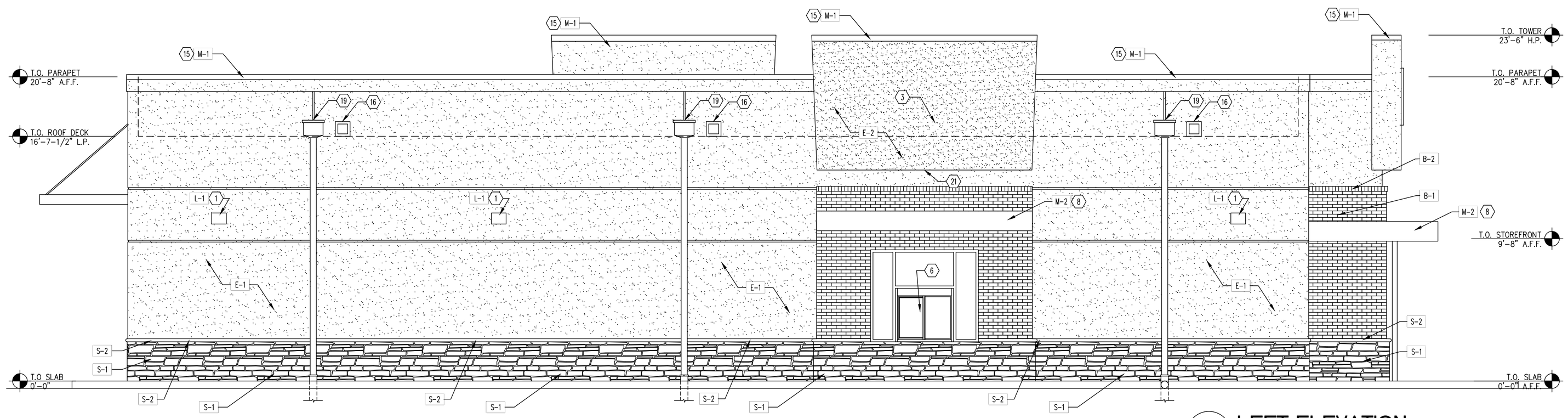
S-1	TYPE:	MANUFACTURED STONE VENEER
	MANUFACTURER:	CENTURY
	COLOR:	ENGLISH BLEND
	STYLE:	RUBBLE PATTERN
S-2	TYPE:	MANUFACTURED STONE VENEER SILL
	MANUFACTURER:	CENTURY
	COLOR:	TO MATCH SHOPPING CENTER
	STYLE:	–

ELEVATION NOTES:

1. DECORATIVE EXTERIOR LIGHTS– MOUNT BOTTOM AT 11'-0" A.F.F. – REFER TO ELECTRICAL DWGS
2. ANODIZED NATURAL ALUMINUM STOREFRONT WINDOW SYSTEM
3. EXTERIOR WALL SIGNAGE TO BE PROVIDED BY OWNER'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SIGNS MUST NOT BE 2'-0" ABOVE ROOF LINE. SEE ELECT DWGS FOR J-BOX LOCATION
4. SAFETY GLAZING – TINTING AND LOW E AS REQUIRED TO MEET ENERGY CODE REQUIREMENTS AS INDICATED IN CODE SUMMARY.
5. EXTERIOR DOOR PER SCHEDULE
6. DRIVE THRU WINDOW PROVIDED AND INSTALLED BY G.C.
7. INTERIOR NEON SIGNAGE BY NATIONAL VENDOR – UNDER SEPARATE CONTRACT AND PERMIT.
8. CANOPY BY NATIONAL VENDOR – UNDER SEPARATE CONTRACT AND PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED. COLOR – MEDIUM BRONZE.
9. HOLLOW METAL DOOR & FRAME PAINT P-1
10. METAL ROLL UP DOOR & FRAME– PREFINISHED
11. ELECTRICAL EQUIPMENT. EIFS TO STOP PRIOR TO ELECTRICAL EQUIPMENT. COORDINATE EXACT DIMENSIONS WITH MANUFACTURER. GC SHALL PROVIDE CONT. SEALANT ALL AROUND EQUIPMENT.
12. GAS METER– RE: PLUMBING DWGS– PROVIDE WEATHER SEAL AT PENETRATIONS INTO BUILDING,
13. LINE OF ROOF BEYOND
14. E.I.F.S. "V" GROOVE JOINT REFER TO DETAIL 5/A12
15. METAL SNAP ON COMPRESSION EDGE PROVIDED BY NATIONAL ROOFING CONTRACTOR UNDER SEPARATE CONTRACT. GC RESPONSIBLE FOR COORDINATION OF CONSTRUCTION SCHEDULE. SEE SHEET A13 FOR DETAILS.
16. METAL OVERFLOWW SCUPPER WITH 2" DECORATIVE FLANGE PROVIDED AND INSTALLED BY EXCEPTIONAL METALS. SEE DETAIL 5/A5.
17. BOTTOM SIDE OF EIFS CANOPIES SHALL BE E-3
18. EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
19. SCUPPER AND DOWNSPOUT – MEDIUM BRONZE BY EXCEPTIONAL METAL – ROOFING VENDOR TO PROVIDE AND INSTALL BOOT AND TIE INTO STORM DRAIN. REFER TO CIVIL DRAWINGS.
20. EXTERIOR ROOF LADDER – PAINT PT-1.
21. AIR CURTAIN –SEE BLOCKING DETAIL 9/A13– REFER TO MECHANICAL DRAWINGS.
22. KNOX BOX SERIES 3200 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 5'-8" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
23. NOT USED.
24. ADD CONCRETE CURB OF STOREFRONT WHERE GRADE DROPS BELOW FRAMING AND SEAL.– SEE DETAIL 4/A13.
25. CANOPY DOWNSPOUT BY G.C.–ALUMINUM TO MATCH STOREFRONT. RUN SHORTEST DIST. BELOW GRADE. RUN DRAINAGE INTO UNDERGROUND STORM DRAINAGE SYSTEM – REFER TO CIVIL DRAWINGS.

GENERAL NOTES:

1. NEW CANOPIES AND SIGNAGE BY OWNER NATIONAL VENDOR– TO BE FILED UNDER SEPARATE PERMIT – TYPICAL.
2. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.
4. OWNERS NATIONAL ROOFING VENDOR TO PROVIDE AND INSTALL ROOFING MEMBRANE, SCUPPERS, MAIN ROOF DOWNSPOUTS, DRAIN SADDLES, MECHANICAL CURBS, WALL FLASHING, ROOF FLASHING AND ROOF WALK WAY MATS.



2 / A6 **LEFT ELEVATION**
SCALE: 1/4" = 1'-0"

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

File Name: N:\Projects\Confluent\CODrawings_7585\CADD\PLOT 2 BLDG ELEVATIONS.dwg Plot Date: 9/21/2017 Company: ESC

ENGINEERING SERVICE COMPANY
CIVIL ENGINEERS LAND SURVEYORS
Creative Solutions Since 1954
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Aurora, Colorado 80014
engineeringservicesco.com
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F 303.337.7583
T/F 1.877.272.0659

Revisions:

	Date
Submission	7/12/17
Second Submittal	08/07/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

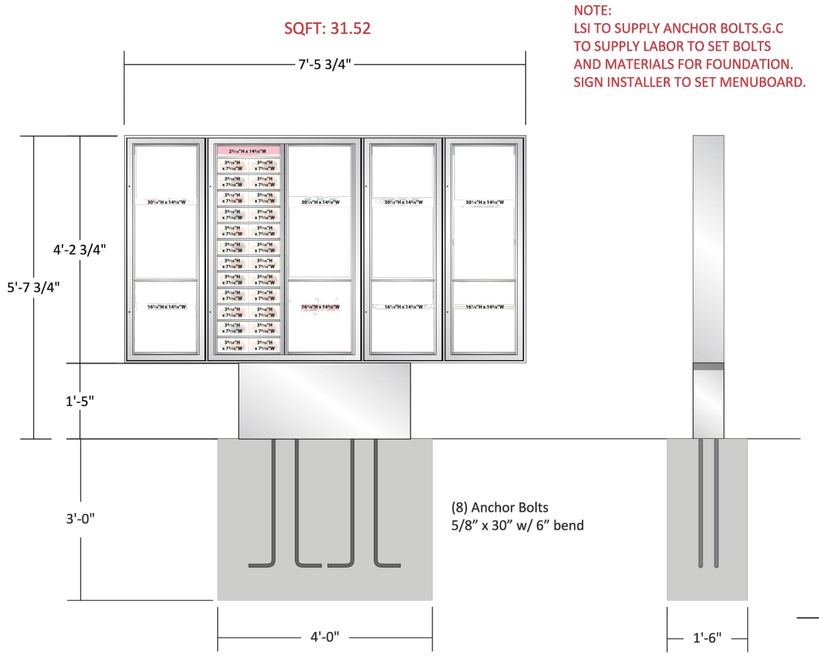
EXTERIOR ELEVATIONS

7585 NORTH ACADEMY BOULEVARD
MAJOR DEVELOPMENT PLAN AMENDMENT

Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1/4" = 1'
Sheet No.: 10 OF 11	

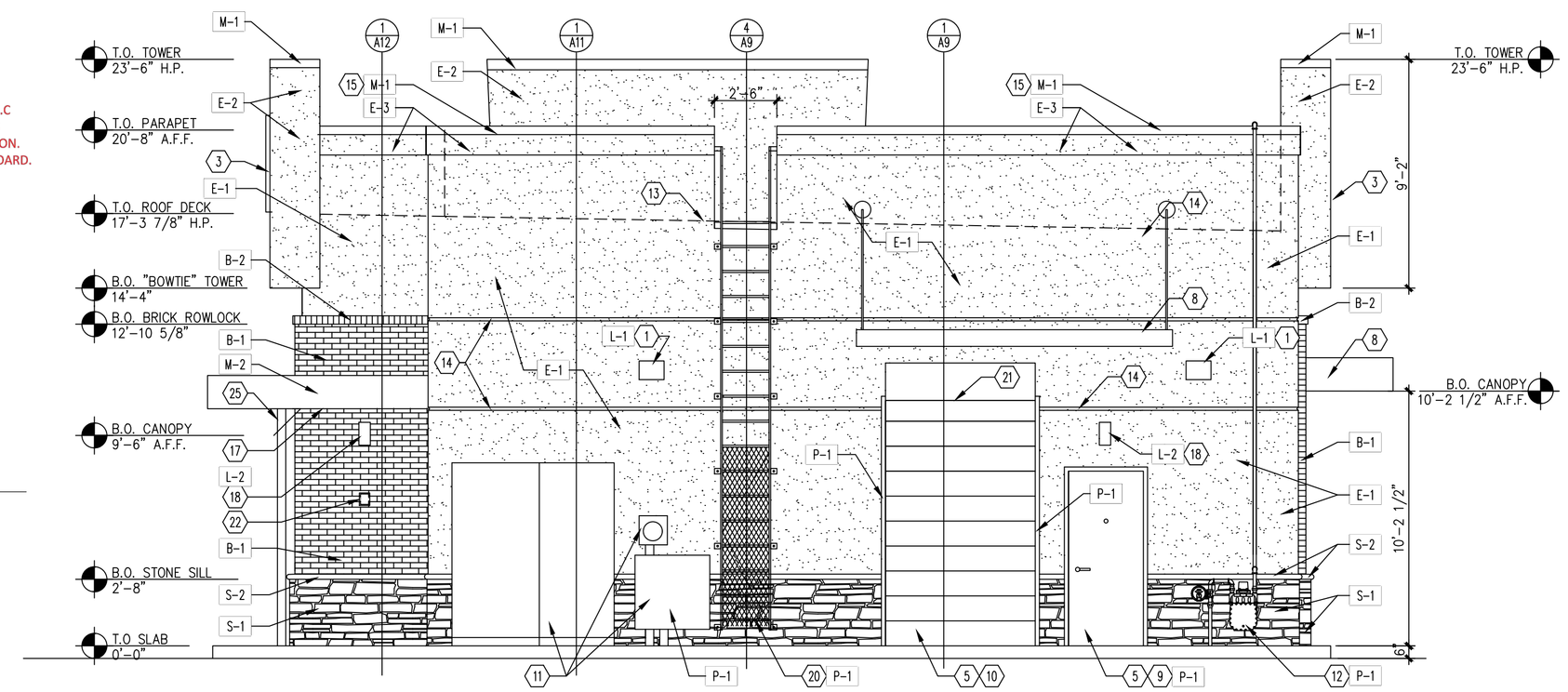
7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT

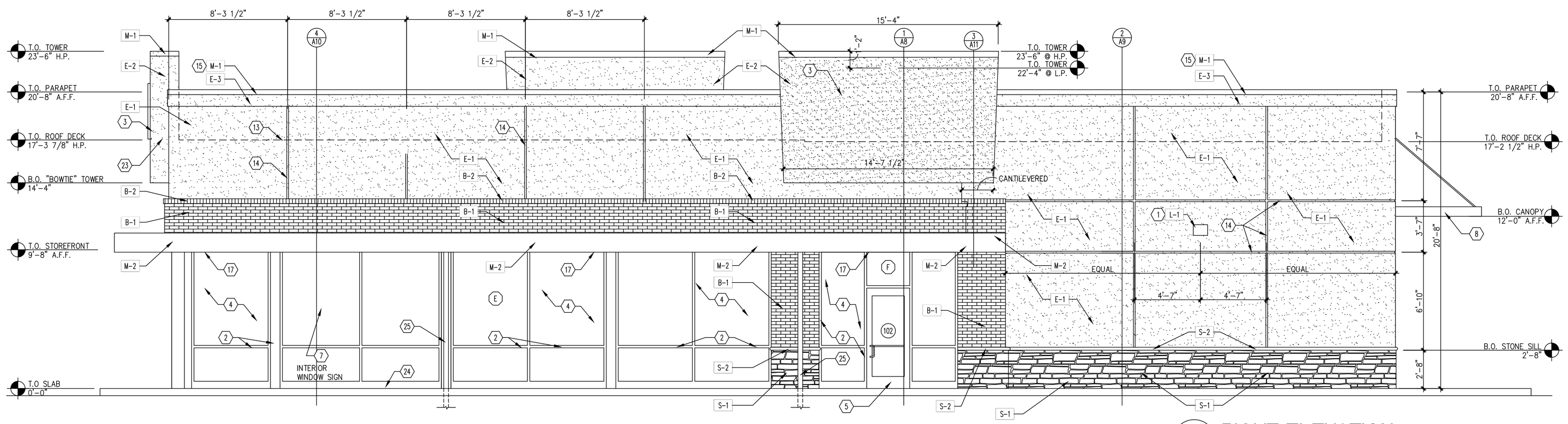


MENUBOARD
SCALE: 1/2"=1'-0"

NOTE:
LSI TO SUPPLY ANCHOR BOLTS.G.C
TO SUPPLY LABOR TO SET BOLTS
AND MATERIALS FOR FOUNDATION.
SIGN INSTALLER TO SET MENUBOARD.



4 / A6.1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 / A6.1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL:

EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)

E-1	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	GRAY TO MATCH SHOPPING CENTER
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404
E-2	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	109A EGGSHELL CREAM
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404
E-3	TYPE:	E.I.F.S.
	MANUFACTURER:	DRYVIT
	COLOR:	DARK GARY
	EIFS FINISH:	QUARTZ PUTZ
	CONTACT:	ROBERT DAZEL, AIA
	TELEPHONE:	734-276-0404

METAL

M-1	TYPE:	2-PEICE SNAP-ON COMPRESSION EDGING
	MANUFACTURER:	EXCEPTIONAL METALS
	COLOR:	MEDIUM BRONZE
M-2	TYPE:	2-PIECE FLEX SNAP ON COMPRESSION EDGE
	MANUFACTURER:	EXCEPTIONAL METALS
	COLOR:	REGAL RED SR.38/TE.87

LIGHTING

L-1	EXTERIOR LIGHTING	
	TYPE:	HALF ROUND
	SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION	
L-2	EXTERIOR LIGHTING	
	TYPE:	EMERGENCY FIXTURE
	SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION	

PAINT

P-1	TYPE:	PAINT
	MANUFACTURER:	SHERWIN WILLIAMS
	COLOR:	TO MATCH E-1
	LOCATION:	METAL

BRICK VENEER (TO MATCH SHOPPING CENTER)

B-1	TYPE:	TRAD. BRICK W/ 3/8" JOINT
	MANUFACTURER:	INTERSTATE BRICK
	COLOR:	INCA (MATTE FINISH)
	GROUT:	TO MATCH SHOPPING CENTER
B-2	TYPE:	ROWLOCK BRICK COURSE
	MANUFACTURER:	INTERSTATE BRICK
	COLOR:	INCA (MATTE FINISH)
	GROUT:	TO MATCH SHOPPING CENTER

STONE VENEER (TO MATCH SHOPPING CENTER)

S-1	TYPE:	MANUFACTURED STONE VENEER
	MANUFACTURER:	CENTURY
	COLOR:	ENGLISH BLEND
	STYLE:	RUBBLE PATTERN
S-2	TYPE:	MANUFACTURED STONE VENEER SILL
	MANUFACTURER:	CENTURY
	COLOR:	TO MATCH SHOPPING CENTER
	STYLE:	–

ELEVATION NOTES:

1. DECORATIVE EXTERIOR LIGHTS– MOUNT BOTTOM AT 11'-0" A.F.F. – REFER TO ELECTRICAL DWGS
2. ANODIZED NATURAL ALUMINUM STOREFRONT WINDOW SYSTEM
3. EXTERIOR WALL SIGNAGE TO BE PROVIDED BY OWNER'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SIGNS MUST NOT BE 2'-0" ABOVE ROOF LINE. SEE ELECT DWGS FOR J-BOX LOCATION
4. SAFETY GLAZING – TINTING AND LOW E AS REQUIRED TO MEET ENERGY CODE REQUIREMENTS AS INDICATED IN CODE SUMMARY.
5. EXTERIOR DOOR PER SCHEDULE
6. DRIVE THRU WINDOW PROVIDED AND INSTALLED BY G.C.
7. INTERIOR NEON SIGNAGE BY NATIONAL VENDOR – UNDER SEPARATE CONTRACT AND PERMIT.
8. CANOPY BY NATIONAL VENDOR – UNDER SEPARATE CONTRACT AND PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED. COLOR – MEDIUM BRONZE.
9. HOLLOW METAL DOOR & FRAME PAINT P-1
10. METAL ROLL UP DOOR & FRAME– PREFINISHED
11. ELECTRICAL EQUIPMENT. EIFS TO STOP PRIOR TO ELECTRICAL EQUIPMENT. COORDINATE EXACT DIMENSIONS WITH MANUFACTURER. GC SHALL PROVIDE CONT. SEALANT ALL AROUND EQUIPMENT.
12. GAS METER– RE: PLUMBING DWGS– PROVIDE WEATHER SEAL AT PENETRATIONS INTO BUILDING,
13. LINE OF ROOF BEYOND
14. E.I.F.S. "V" GROOVE JOINT REFER TO DETAIL 5/A12
15. METAL SNAP ON COMPRESSION EDGE PROVIDED BY NATIONAL ROOFING CONTRACTOR UNDER SEPARATE CONTRACT. GC RESPONSIBLE FOR COORDINATION OF CONSTRUCTION SCHEDULE. SEE SHEET A13 FOR DETAILS.
16. METAL OVERFLOWW SCUPPER WITH 2" DECORATIVE FLANGE PROVIDED AND INSTALLED BY EXCEPTIONAL METALS. SEE DETAIL 5/A5.
17. BOTTOM SIDE OF EIFS CANOPIES SHALL BE E-3
18. EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
19. SCUPPER AND DOWNSPOUT – MEDIUM BRONZE BY EXCEPTIONAL METAL – ROOFING VENDOR TO PROVIDE AND INSTALL BOOT AND TIE INTO STORM DRAIN. REFER TO CIVIL DRAWINGS.
20. EXTERIOR ROOF LADDER – PAINT PT-1.
21. AIR CURTAIN –SEE BLOCKING DETAIL 9/A13– REFER TO MECHANICAL DRAWINGS.
22. KNOX BOX SERIES 3200 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 5'-8" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
23. NOT USED.
24. ADD CONCRETE CURB OF STOREFRONT WHERE GRADE DROPS BELOW FRAMING AND SEAL.– SEE DETAIL 4/A13.
25. CANOPY DOWNSPOUT BY G.C.–ALUMINUM TO MATCH STOREFRONT. RUN SHORTEST DIST. BELOW GRADE. RUN DRAINAGE INTO UNDERGROUND STORM DRAINAGE SYSTEM – REFER TO CIVIL DRAWINGS.

GENERAL NOTES:

1. NEW CANOPIES AND SIGNAGE BY OWNER NATIONAL VENDOR– TO BE FILED UNDER SEPARATE PERMIT – TYPICAL.
2. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.
4. OWNERS NATIONAL ROOFING VENDOR TO PROVIDE AND INSTALL ROOFING MEMBRANE, SCUPPERS, MAIN ROOF DOWNSPOUTS, DRAIN SADDLES, MECHANICAL CURBS, WALL FLASHING, ROOF FLASHING AND ROOF WALK WAY MATS.

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ENGINEERING SERVICE COMPANY
Creative Solutions Since 1954
CIVIL ENGINEERS | LAND SURVEYORS

Revisions:

Rev.	Date
Initial Submittal	7/12/17
Second Submittal	08/07/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

EXTERIOR ELEVATIONS
7585 NORTH ACADEMY BOULEVARD

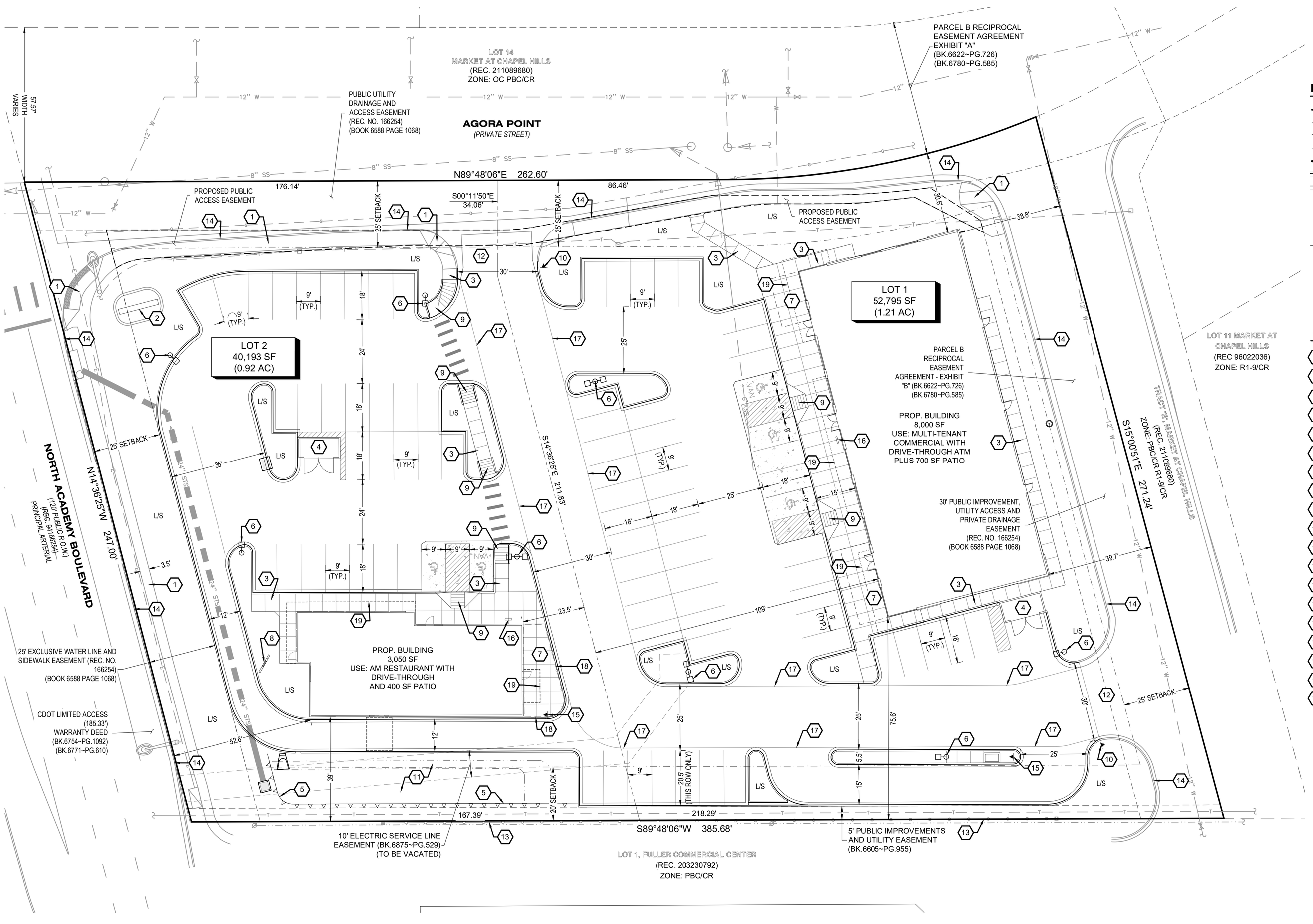
Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1/4" = 1'
Sheet No.: 11 OF 11	

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

7585 NORTH ACADEMY BOULEVARD

MAJOR DEVELOPMENT PLAN AMENDMENT



Scale: 1" = 20'

LEGEND

- EXISTING BOUNDARY
- EXIST. EASEMENT
- BUILDING SETBACK
- PROP. LOT LINE
- PROPOSED ACCESSIBLE ROUTE
- PROP. CURB & GUTTER
- EXIST. CURB & GUTTER
- PROP. SIDEWALK
- PROP. CONCRETE
- PROP. RETAINING WALL (HIGH SIDE)
- PROP. HANDICAP PARKING
- PROP. LIGHT POLE
- L/S LANDSCAPING

SITE PLAN KEYNOTE LEGEND:

1. EXISTING CONCRETE SIDEWALK AND RAMPS TO REMAIN
2. PROPOSED MONUMENT SIGN
3. PROPOSED CONCRETE WALK
4. PROPOSED TRASH / RECYCLING ENCLOSURE (SEE DETAILS ON SHEET 9)
5. PROPOSED RETAINING WALL, SEE GRADING PLAN, SHEET 3 FOR MORE DETAIL
6. PROPOSED SITE LIGHTING
7. OUTDOOR SEATING LOCATION
8. PROPOSED DRIVE THRU MENU BOARD
9. PROPOSED ACCESSIBLE RAMPS
10. PROPOSED STOP SIGN
11. PROPOSED SAND FILTER BASIN
12. EXISTING ACCESS POINT TO REMAIN
13. EXISTING FENCE/WALL TO REMAIN
14. EXISTING CURB AND GUTTER TO REMAIN
15. "DO NOT ENTER" SIGN
16. BICYCLE RACK
17. FIRE LANE STRIPING
18. RAILING AROUND PATIO
19. BUILDING OVERHANG/CANTILEVERED PROJECTION

PUBLIC IMPROVEMENT REPAIR NOTE

ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS, AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ON N. ACADEMY BLVD ADJACENT TO THE SITE WILL NEED TO BE REMOVE AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT (719) 385-5977.

CITY CASE NO. DS DP 95-00025-A2MJ17

FIGURE 2

ESC
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Revisions:

Description	Date
Initial Submittal	7/12/17
Second Submittal	9/07/17

Prepared For:

CONFLUENT DEVELOPMENT
2240 BLAKE STREET, SUITE 200
DENVER, COLORADO 80205

SITE PLAN
7585 NORTH ACADEMY BOULEVARD

Designed By: CMA	Date: 07/12/17
Drawn By: SLH	Survey No.:
Checked By: JDT	Project No.: E-006-17
Field Book No.:	Scale: 1"=20'

Sheet No.: 2 OF 11

File Name: N:\Projects\Confluent\CD\Dpmap 7585\CAD\DP3 SITE PLAN.dwg Plot Date: 9/21/2017 Company: ESC