

PREPARED BY:
DREWEL BARRELL & CO.
 ENGINEERS-ARCHITECTS
 2144 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: TIM D. MCCONNELL, PE
 (503) 241-1800
 EMAIL: tim@barrell.com

CLIENT:
DBG PROPERTIES, LLC.
 2144 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: TIM D. MCCONNELL, PE
 (503) 241-1800
 EMAIL: tim@barrell.com

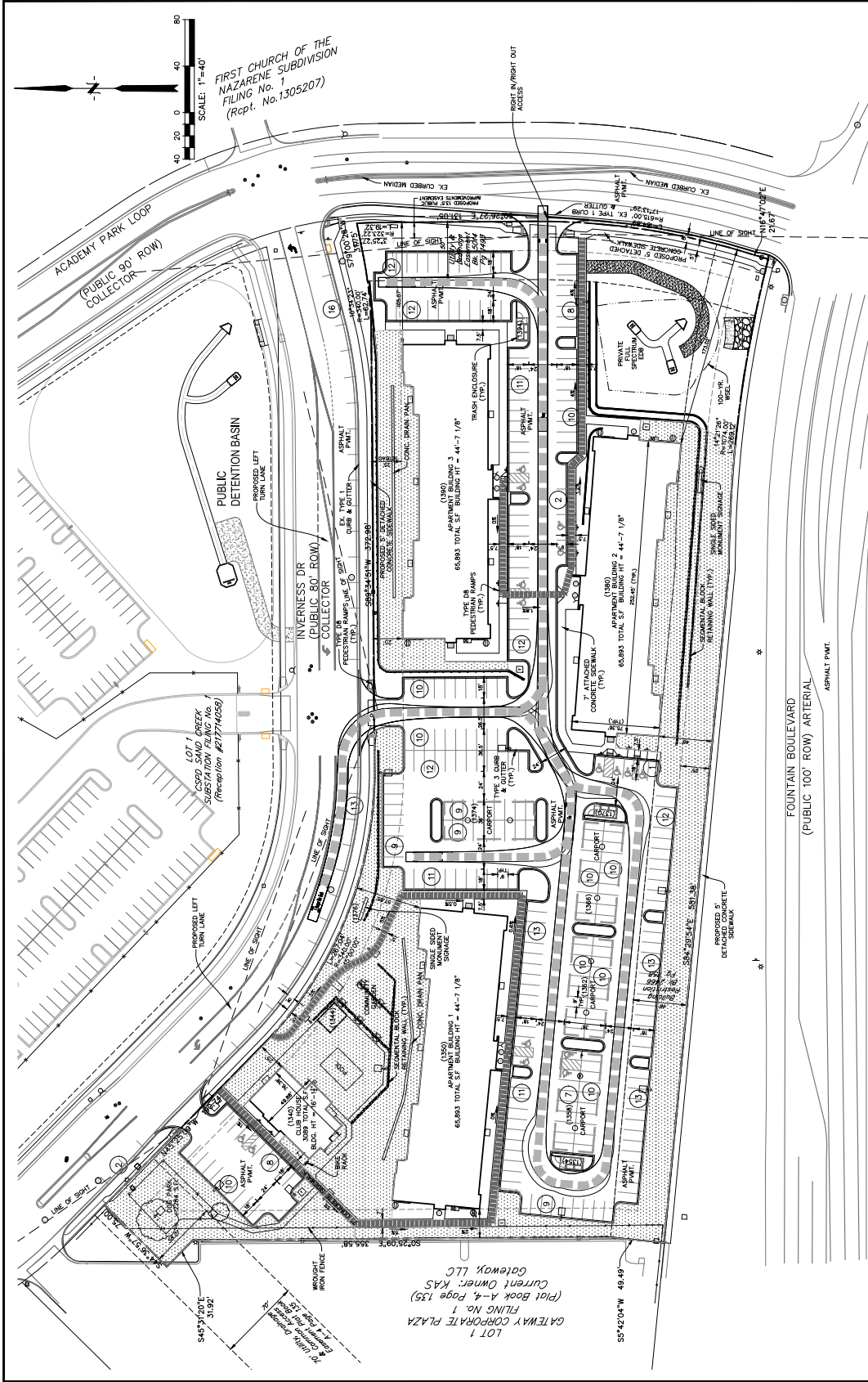
DEVELOPMENT PLAN FOR
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	2-21-20
REVISED ISSUE	2-25-20

DESIGNED BY: TDM
 DRAWN BY: CES
 FILE NAME: 21408-00001

DRAWING SCALE:
 HORIZONTAL: 1" = 40'
 VERTICAL: N/A

PRELIMINARY
 SITE PLAN
 DRAWING NO. **SP01**



Know what's below.
Call before you dig.
 CALL 3-BUSINESS DAYS IN ADVANCE
 TO REQUEST A PRELIMINARY
 EXCAVATION PERMIT FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.

- FIRE LANE (CSD HYBRID TRUCK APPROXIMATE DATA USED) - OUTER RADIUS
- NO ACCESSIBLE ROUTE TO PUBLIC ROW
- OPEN SPACE REQUIRED - 32' x 20' = 64,000 S.F.
- 77,000 S.F. PROVIDED

PARKING COUNT
 284 ON-SITE REGULAR SPACES
 15 ON-SITE HANDICAPPED SPACES
 31 ON-STREET SPACES
331 TOTAL

(XXXX) ASSIGNED STREET ADDRESS

LOT 1, GATEWAY CORPORATE PLAZA
 (Plot Book A-4, Page 135)
 FILING NO. 1

LOT 1, PREEK SUBSTATION FILING NO. 1
 (Reception #21774058)

FIRST CHURCH OF THE NAZARENE SUBDIVISION
 FILING NO. 1
 (Rept. No. 1305207)


LOT 1, PREEK SUBSTATION FILING NO. 1
 (Reception #21774058)

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 (Reception #21774058)

LOT 1, PREEK SUBSTATION FILING NO. 1
 (Reception #21774058)

PREPARED BY:

DREYER BARRELL & CO.
 ENGINEERS-ARCHITECTS
 1000 SOUTH WASHINGTON AVENUE
 COLORADO SPRINGS, COLORADO 80902
 CONTACT: TIM D. MCCONNELL, PE
 LICENSE: COLORADO ENGINEER-ARCHITECT

CLIENT:
DBG PROPERTIES, LLC.
 2164 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: JEFFREY L. BROWN, P.E.
 (503) 990-4355

DEVELOPMENT PLAN FOR
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	7-21-20
REVISION	8-25-20
REVISION	9-25-20
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	GES
FILE NAME:	24108-00101

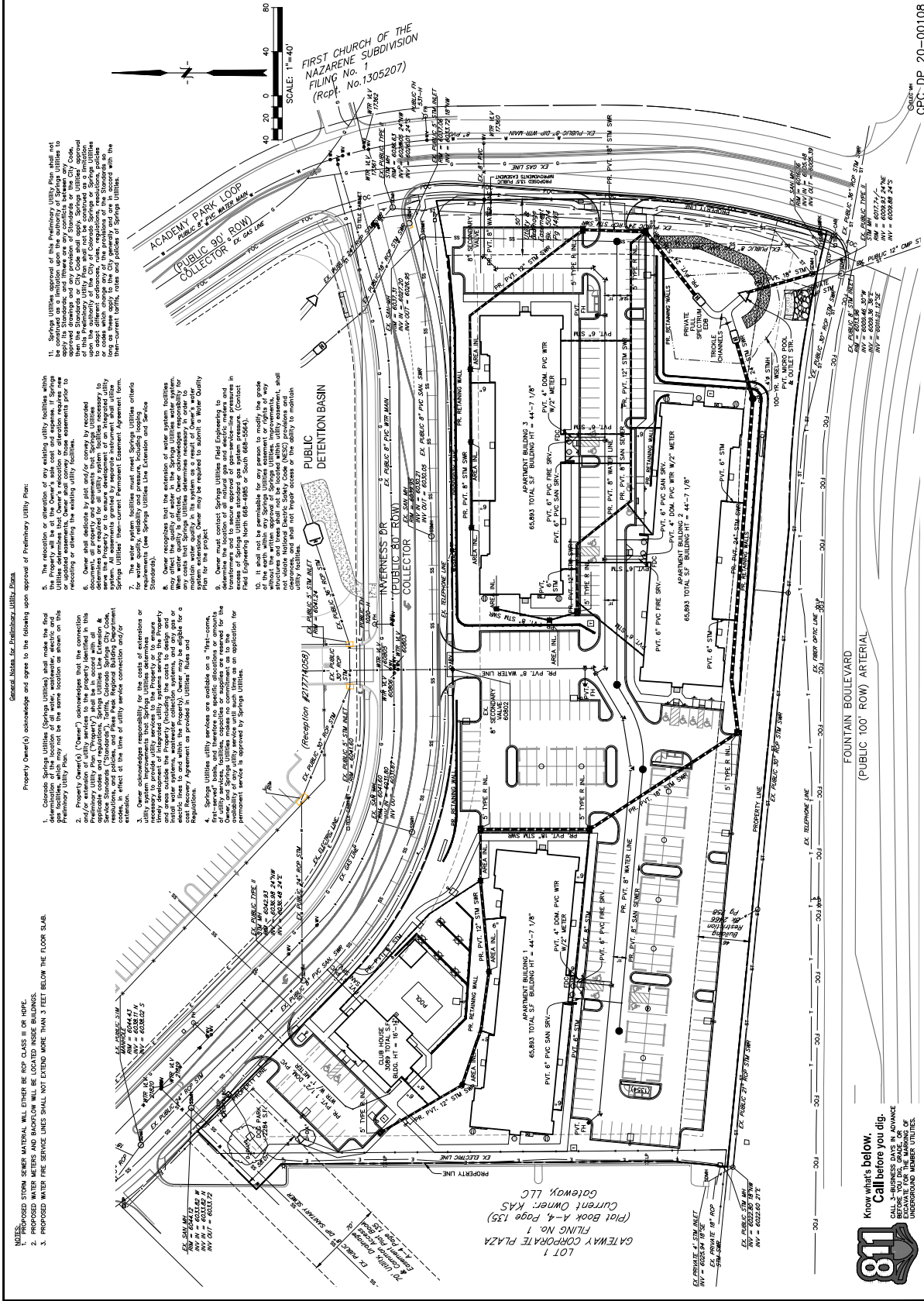
DRAWING SCALE:
 HORIZONTAL: 1" = 40'
 VERTICAL: N/A

PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

PROJECT NO. 24108-00000
 DRAWING NO.

UT01

SHEET: 3 OF 17



11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to approved drainage and any provision of Colorado or the City Code of this Preliminary Utility Plan shall not be construed as a limitation to adopt different ordinances, rules, regulations, requirements, policies or procedures in the future. The City Code shall apply to the City and any other laws as here apply to the City generally and or in accord with the then-current tariffs, rates and policies of Springs Utilities.

12. The water system facilities must meet Permanent Easement Agreement forms requirements (see Springs Utilities Line Extension and Service Standards).

13. The developer shall be responsible for obtaining all necessary permits and approvals from the City and Springs Utilities for the project.

14. The developer shall be responsible for obtaining all necessary permits and approvals from the City and Springs Utilities for the project.

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Know what's below.
 Call before you dig.




CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, STRIKE OR OF UNDERGROUND MEMBER UTILITIES.

LOT 1
 GATEWAY CORPORATE PLAZA
 FILING No. 1
 (Plot Book A-4, Page 135)
 Current Owner: KAS
 Gateway, LLC

DEVELOPMENT PLAN

CPC-DP 20-00108

PREPARED BY:

DREYFUS, BARBELL & CO.
 ENGINEERS-ARCHITECTS
 2148 S. W. 10TH AVE., SUITE 100
 MIAMI, FL 33135
 CONTACT: TIM D. MCCONNELL, P.E.
 (305) 351-1000
ENGINEER-COLORADO LICENSE #18521

CLIENT:
DBG PROPERTIES, LLC.
 2184 SW 94th PLACE
 MIAMI, FL 33156
 CONTACT: (305) 396-4335

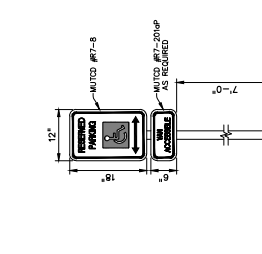
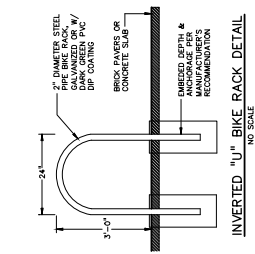
DEVELOPMENT PLAN FOR
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	7-17-20
REVISED ISSUE	8-26-20
DESIGNED BY:	TDM
DRAWN BY:	GES
FILE NAME:	21408-200100

DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

SITE
 DETAIL SHEET
 PROJECT NO. 21408-200100
 DRAWING NO.

DT1
 SHEET: 5 OF 17

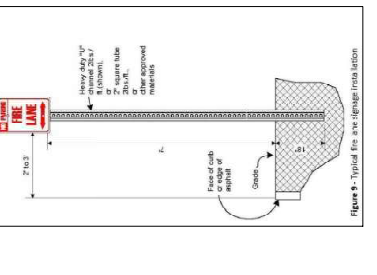
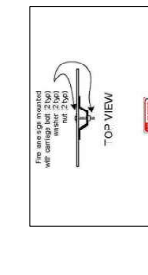
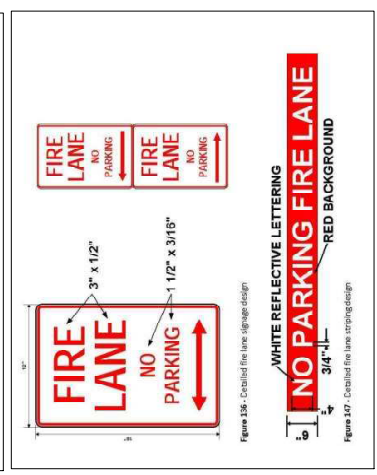


NOTE:
 STORAGE NOT APPROVED WITH THIS PLAN.

When striping is used to identify fire apparatus access roads, it must meet the following criteria:

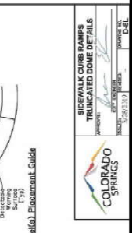
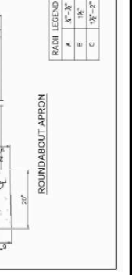
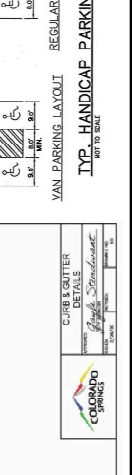
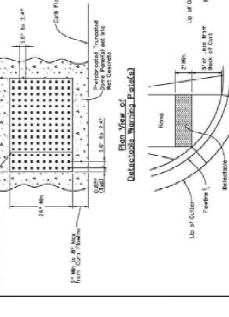
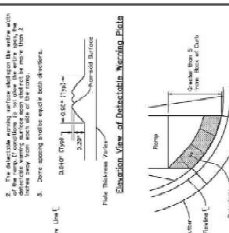
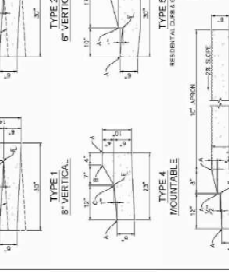
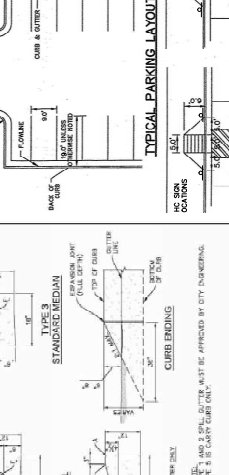
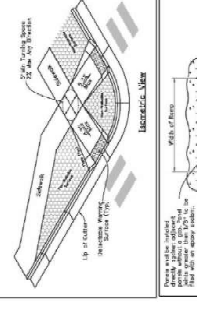
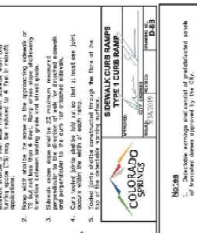
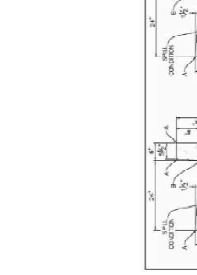
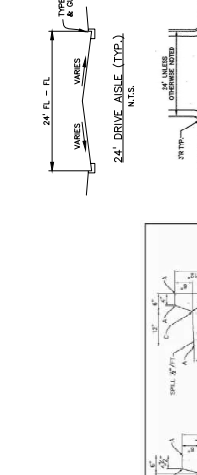
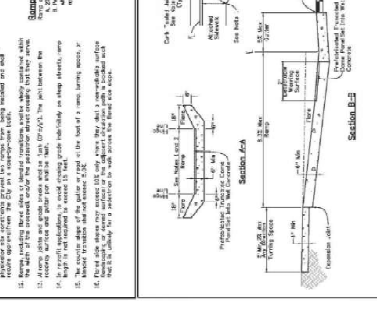
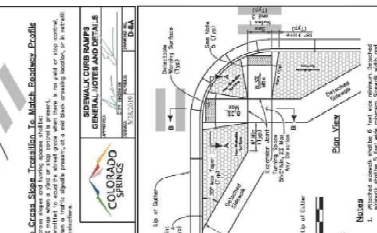
- 6-inch non-slip paint strips
- 18-inch wide stripes with 1/2-inch break spacing. No "bridge stripe" use.
- Lettering/striping operations to 15 feet.
- See attachment for additional striping design criteria.

FIGURE 138 - FIRE LANE STRIPING EXAMPLE



Sign Table

PLACEMENT	SIZE	TEXT	TEXT	TEXT	TEXT
FRONT SIGN	3' x 11'	FIRE LANE	NO	PARKING	
FRONT SIGN	3' x 11'	FIRE LANE	NO	PARKING	
FRONT SIGN	3' x 11'	FIRE LANE	NO	PARKING	
FRONT SIGN	3' x 11'	FIRE LANE	NO	PARKING	



When striping is used to identify fire apparatus access roads, it must meet the following criteria:

- 6-inch non-slip paint strips
- 18-inch wide stripes with 1/2-inch break spacing. No "bridge stripe" use.
- Lettering/striping operations to 15 feet.
- See attachment for additional striping design criteria.



PREPARED BY:



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 1500 17TH AVENUE, SUITE 100
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 (303) 733-8800
 BOLLER + COLORADO SPRINGS - 800-271-3333

CLIENT:

DBG PROPERTIES, LLC.
 2184 SW PARK PLACE
 SUITE 200
 DENVER, COLORADO 80202
 (303) 956-4355

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE DATE

INITIAL ISSUE 07-17-20
 LATEST ISSUE 9-23-20

DESIGNED BY: JK
 CHECKED BY: MY
 FILE NAME:

DRAWING SCALE:
 HORIZONTAL:
 VERTICAL:

PROJECT NO. 2020-039-00
 DRAWING NO.

E0.1

SHEET: 6 OF 17

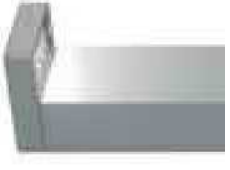
Symbol	Label	Manufacturer	Schedule Number	Description	Lamp	Number of Lamps	Lumens Per Lamp	Light Loss Factor	Height
○	SE1	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475-82-7030	ARCHITECTURAL AREA LIGHT, LED TYPE 3 OPTICS, POLE MOUNTED 25'-0" AFG	LED 3000K	2	8410	1	131
○	SE1HS	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV1515-82-7030HS	ARCHITECTURAL AREA LIGHT, LED TYPE 3 OPTICS WITH HOUSING SIDE SHIELD, POLE MOUNTED 25'-0" AFG	LED 3000K	2	7677	1	131
○	SE2	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV10V4-82-7030	ARCHITECTURAL AREA LIGHT, LED TYPE 4 OPTICS, POLE MOUNTED 25'-0" AFG	LED 3000K	2	8380	1	131
○	SE2HS	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV10V4Z-7030HS	ARCHITECTURAL AREA LIGHT, LED TYPE 4 OPTICS WITH HOUSING SIDE SHIELD, POLE MOUNTED 25'-0" AFG	LED 3000K	2	7618	1	131
○	SE3	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475-7030	ARCHITECTURAL AREA LIGHT, LED TYPE 4 OPTICS, WALL MOUNTED 15'-0" AFG	LED 3000K	2	8590	1	96
○	SE3HS	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475Z-7030HS	ARCHITECTURAL AREA LIGHT, LED TYPE 4 OPTICS, WALL MOUNTED 15'-0" AFG	LED 3000K	2	6570	1	96
○	SE4	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475Z-82-7030	ARCHITECTURAL AREA LIGHT, LED TYPE 5 OPTICS, POLE MOUNTED 15'-0" AFG	LED 3000K	2	7621	1	96
○	SE5	GM	WGE030D-TH480	WALL MOUNTED COLUMN DOWNLIGHT, LED MOUNTED 15'-0" AFG	LED 3000K	1	1016	1	16.3
○	SE6	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475Z-82-7030	WALL MOUNTED AREA LIGHT TYPE 2 OPTICS WITH WALL CONTROL, MOUNTED 15'-0" AFG	LED 3000K	16	133	1	20.09
○	SE7	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475Z-82-7030	GROUND MOUNTED ROLLAR, LED TYPE 4 OPTICS 47' AFG MOUNTING HEIGHT	LED 3000K	1	605	1	8.4
○	SE8	COOPER LIGHTING SOLUTIONS - LUMARK	PRV-C25C-UNV475Z-82-7030	17" DIAMETER ROUND LED SURFACE MOUNT CARPORT LUMINAIRE POSITION 2	LED 3000K	1	3990	1	29.77
○	SE9	COOPER LIGHTING SOLUTIONS - PORTICAD	ELABR0500003-FLRHH	WET LISTED RECESSED 4'-0" AFG	LED 3000K	1	2550	1	41.9



3
 FIXTURE TYPE SE4, SE1, SE1HS, SE2, SE2HS, SE3, SE3W, SE4
 SCALE: N.T.S.



4
 FIXTURE TYPE SE5
 SCALE: N.T.S.



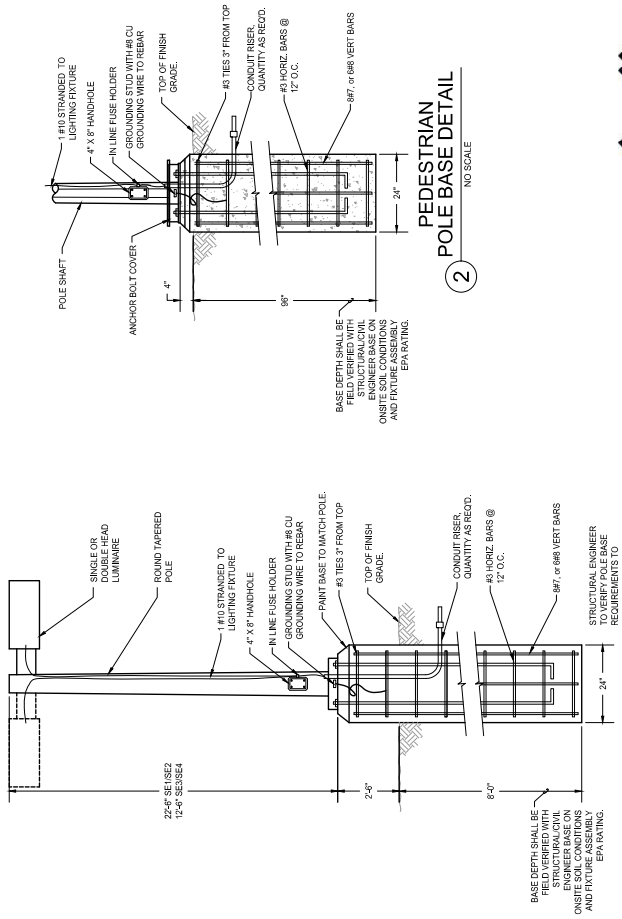
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 FIXTURE TYPE SE6
 SCALE: N.T.S.



6
 FIXTURE TYPE SE7
 SCALE: N.T.S.



7
 FIXTURE TYPE SE8
 SCALE: N.T.S.



1
 POLE BASE DETAIL
 SCALE: N.T.S.

2
 PEDESTRIAN POLE BASE DETAIL
 NO SCALE



CPC DP 20-00108

GENERAL NOTES

- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISCOMFORT GLARE.
- ALL LIGHT FIXTURES SHALL HAVE FULL CUTOFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.

Statistics	Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
	Calc. Zone #1	+	1.5	16.2	0.0	16	N/A

PREPARED BY:

DREXEL BARRELL & CO.
 Engineers • SURVEYORS
 COLORADO LICENSE NO. 100100100
 CONTACT: TIM D. MCCONNELL, P.E.
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:
DB6 PROPERTIES, LLC.
 2164 SW PARK PLACE
 SUITE 200
 BOULDER, CO 80502
 (303) 440-4355

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS APARTMENTS, COLORADO

ISSUE	DATE
INITIAL ISSUE	07-17-20
LATEST ISSUE	09-23-20

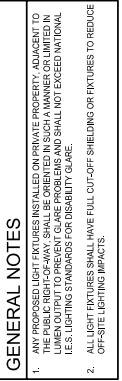
DESIGNED BY:	JJK
CHECKED BY:	MTV
FILE NAME:	

DRAWING SCALE:	
HORIZONTAL:	
VERTICAL:	


PROJECT NO. 2020-039-00
 DRAWING NO.

E1.0

SHEET: 7 OF 17



1 ELECTRICAL SITE PLAN
 E1.0
 1"=40'0"

PREPARED BY:

DANIEL B. BAVELLE & CO.
 ARCHITECTS
 1000 S. W. 15TH AVENUE, SUITE 1000
 MIAMI, FL 33135
 CONTACT: TIM D. MCCONNELL, P.E.
 ROLLING COUNTRYSIDE SPRING, SHELLEY

CLIENT:
DBG PROPERTIES, LLC
 2144 SW 84TH PLACE
 PORTLAND, OR 97205
 CONTACT: JEFFREY W. HARRIS
 (503) 994-4335

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	2/1/20
LATEST ISSUE	2/2/20

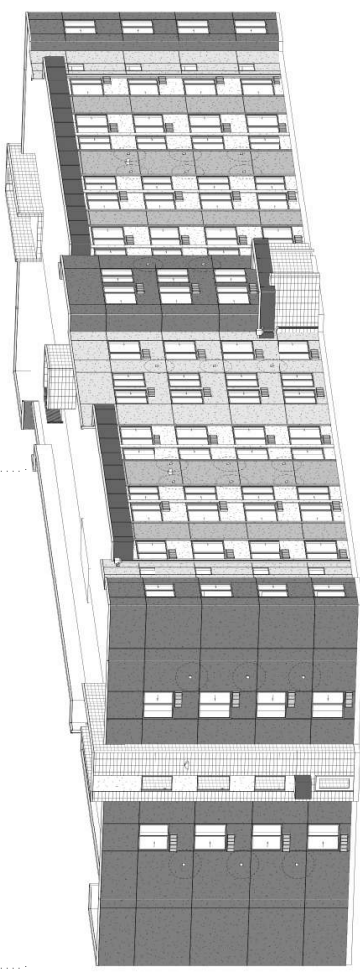
DESIGNED BY: AT&K
 DRAWN BY: AT&K
 CHECKED BY: CJS
 FILE NUMBER:

DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

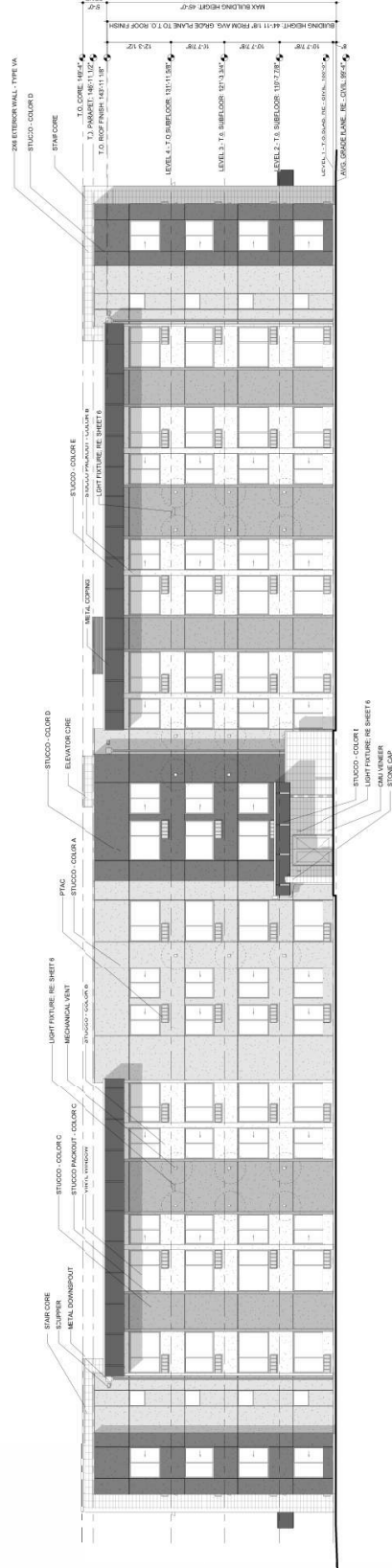
PROJECT NO.: 19-008-0001
 DRAWING NO.: 100

MATERIAL LEGEND

	STUCCO - COLOR A - BENJAMIN MOORE BOWLEND CD341
	STUCCO - COLOR B - BENJAMIN MOORE CHATELAIN LACE 0048
	STUCCO - COLOR C - BENJAMIN MOORE FIRENZE #1295
	STUCCO - COLOR D - BENJAMIN MOORE AMERISTE SHADOW 1441
	STUCCO - COLOR E - BENJAMIN MOORE KENNEL CHAMICAL 1C19
	DM BLOCK - STAINED BOND - BAVELITE 698R - GROUND FACE



1 FRONT LEFT CORNER ISO



2 FRONT ELEVATION
 3/32" = 1'-0"

CFC DP 29-5618

SHEET 5 OF 12

PREPARED BY:
DRIVEL BARRELL & CO.
 ARCHITECTS
 3000 N. UNIVERSITY BLVD. SUITE 1000
 COVINGTON, LA 70042
 CONTACT: TIM D. MCCONNELL, P.E.
 ROLLING COASTAL SPRINGS, WISLEY

CLIENT:
DBG PROPERTIES, L.L.C.
 2144 SW BANK PLACE
 PORTLAND, OR 97206
 COVINGTON, LA 70042
 (504) 896-4335

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	2/1/20
LATEST ISSUE	2/2/20
DESIGNED BY:	AT/SK
DRAWN BY:	AT/SK
CHECKED BY:	CLS
FILE NUMBER:	

DRAWING SCALE:	HORIZONTAL:	VERTICAL:
	N/A	N/A

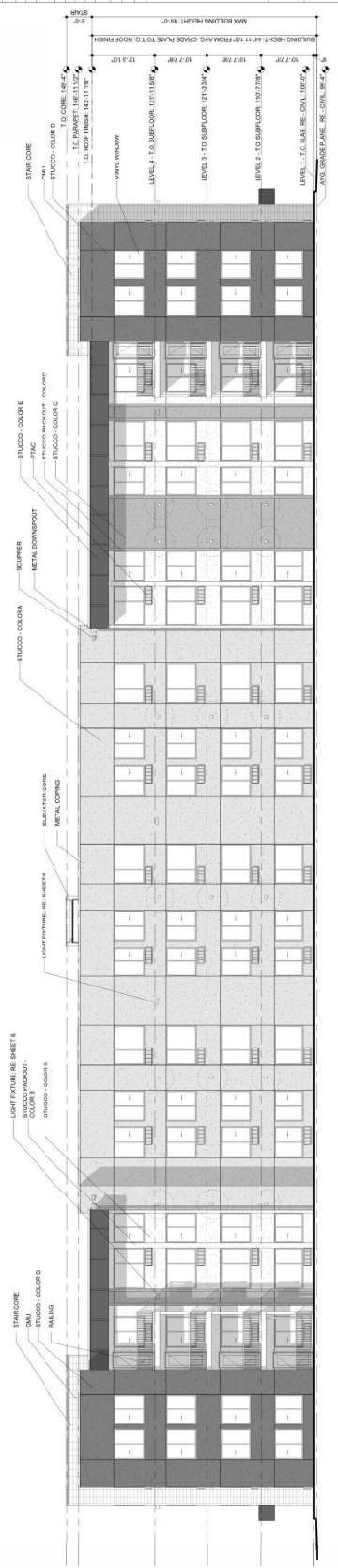
PROJECT NO.:	DATE:
2019-001	2/2/20
DRAWING NO.:	NO.:
01	01

MATERIAL LEGEND

	STUCCO - COLOR A - BENJAMIN MOORE BOULEVARD 0034H
	STUCCO - COLOR B - BENJAMIN MOORE CHATELAINE 0045R
	STUCCO - COLOR C - BENJAMIN MOORE FRENCH #225
	STUCCO - COLOR D - BENJAMIN MOORE AMETHYST SHADOW 1441
	STUCCO - COLOR E - BENJAMIN MOORE KENNEL CHOCOLATE 1C19
	CMU BLOCK - STAGGED END; BASALITE 688R - GROUND FADE



1 SD LEFT ELEVATION
 3/32" = 1'-0"



2 SD RIGHT ELEVATION
 3/32" = 1'-0"

3 SD REAR ELEVATION
 3/32" = 1'-0"

PREPARED BY:

DRENER, DANZELLE & CO.
 ARCHITECTS
 100 SOUTH 17TH STREET
 SUITE 1000
 DENVER, CO 80202
 CONTACT: TIM D. MCCONNELL, P.E.
 BOULDER, COLORADO SPRING SPRLEY

CLIENT:
DBG PROPERTIES, LLC.
 2146 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: CHRIS W. BROWN
 (503) 594-4305

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS
 APARTMENTS
 COLORADO SPRINGS, COLORADO
















ISSUE	DATE
INITIAL ISSUE	7/1/20
REVISED ISSUE	2/2/20
DESIGNED BY:	AT/ BK
DRAWN BY:	AT/ BK
CHECKED BY:	CLS
FILE NAME:	

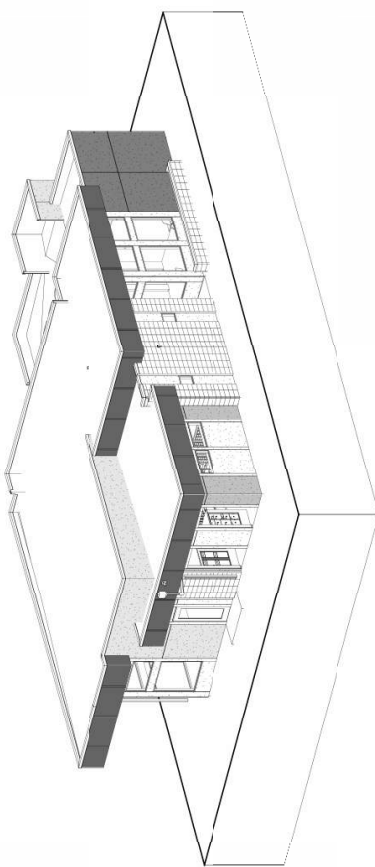
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 VERTICAL: N/A

PROJECT NO: 20-0018
 SHEET NO: 10

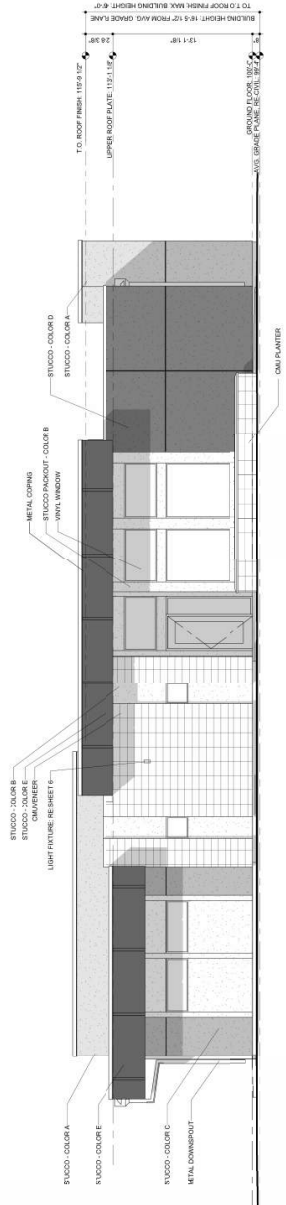
CPC DP 20-0018 SHEET 10 OF 17

MATERIAL LEGEND

	STUCCO-COLOR A-BENJAMIN MOORE/DEVELOPER CODE
	STUCCO-COLOR B-BENJAMIN MOORE/DEVELOPER CODE
	STUCCO-COLOR C-BENJAMIN MOORE/DEVELOPER CODE
	STUCCO-COLOR D-BENJAMIN MOORE/DEVELOPER CODE
	STUCCO-COLOR E-BENJAMIN MOORE/DEVELOPER CODE
	METAL DOWNSPOUT
	LIGHT FIXTURE SWATCH
	VINYL WINDOW
	STUCCO PACKOUT
	METAL COPING
	CONCRETE
	GRASS
	ASPHALT
	PAVED AREA
	GROUND FACE



1 SDP ISO



2 NORTH CLUBHOUSE ELEVATION
 3/16" = 1'-0"

PREPARED BY:
DRIVEL BARRELL & CO.
 ARCHITECTS
 3501 17TH AVENUE, SUITE 100
 BOULDER, COLORADO 80504
 CONTACT: TIM D. MCCONNELL, P.E.
 (303) 440-8900
 WWW.DRIVELBARRELL.COM

CLIENT:
DBG PROPERTIES, LLC
 2144 BIVANCK PLACE
 PORTLAND, OR 97205
 (503) 994-4335

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	7/1/2020
LATEST ISSUE	7/2/2020

DESIGNED BY: AT/ERK
 DRAWN BY: AT/ERK
 CHECKED BY: CLS
 FILE NAME:

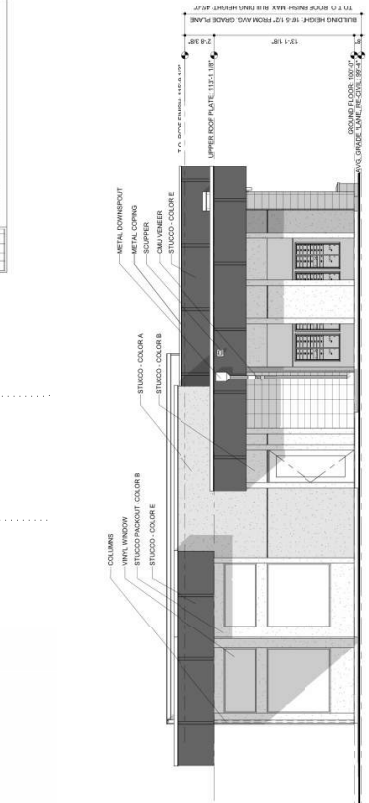
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 VERTICAL: N/A

PROJECT NO.: 21-008-2020-03
 DRAWING NO.: 21-008-2020-03

SHEET: 11 OF 12

MATERIAL LEGEND

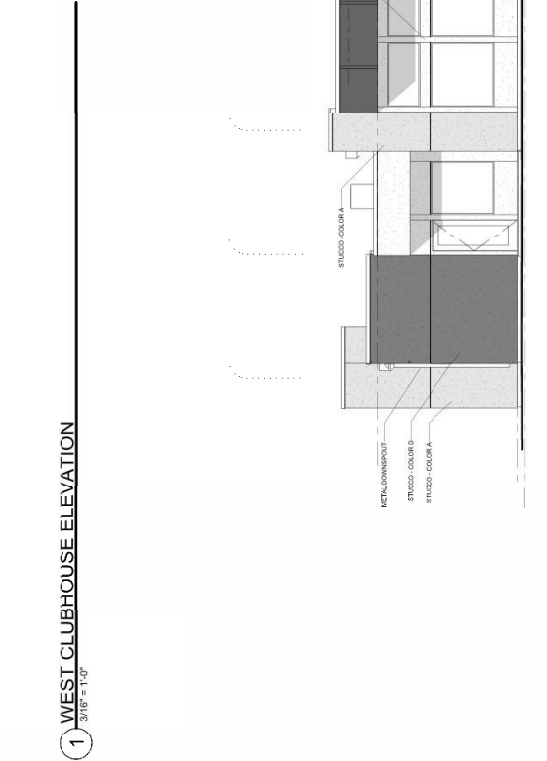
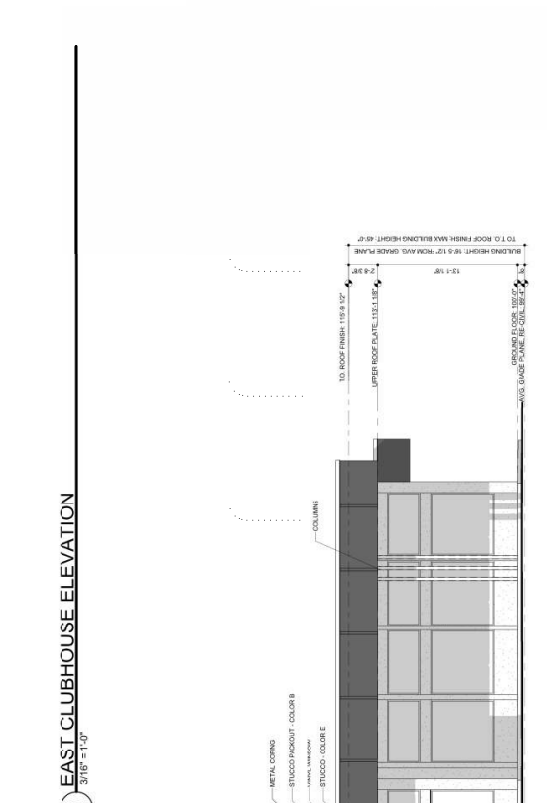
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	STUCCO - COLOR B - BENJAMIN MOORE CHANTRELLE LACE OC089
	STUCCO - COLOR C - BENJAMIN MOORE PRINCE AP-225
	STUCCO - COLOR D - BENJAMIN MOORE AMETHYST SHADOW M41
	STUCCO - COLOR E - BENJAMIN MOORE BERNAL CHRONICAL HC096
	OMNIBLOCK - STACKED BOND - BASELITE 695F - GROUND FAZE




1 WEST CLUBHOUSE ELEVATION
 3/16" = 1'-0"

2 EAST CLUBHOUSE ELEVATION
 3/16" = 1'-0"

3 SOUTH CLUBHOUSE ELEVATION
 3/16" = 1'-0"



PREPARED BY:

DREVEL BARRELL & CO.
 ARCHITECTS
 3114 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: TIM D. MCCONNELL, P.E.
 (503) 596-4335

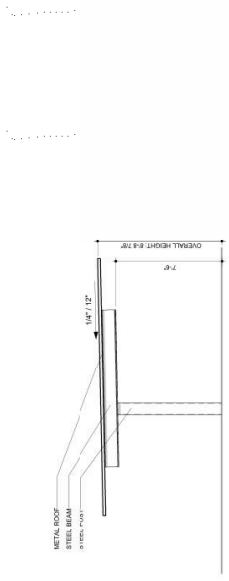
CLIENT:
DBG PROPERTIES, LLC
 2144 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: TIM D. MCCONNELL, P.E.
 (503) 596-4335

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

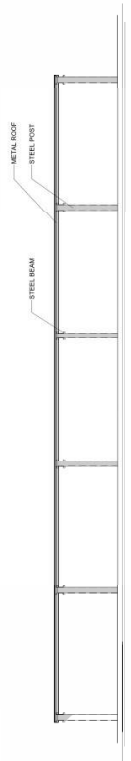
ISSUE	DATE
INITIAL ISSUE	7/1/20
LATEST ISSUE	7/2/20
DESIGNED BY:	AT/ER
DRAWN BY:	AT/ER
CHECKED BY:	CLS
FILE NAME:	

DRAWING SCALE:	
HORIZONTAL:	N/A
VERTICAL:	N/A

PROJECT NO.: 20-000-0000
 DRAWING NO.: 20-000-0000



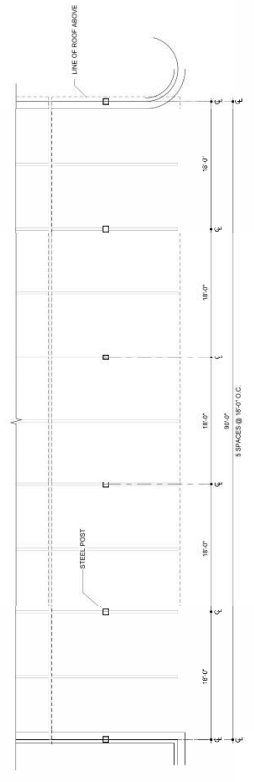
4 LEFT ELEVATION - CARPORT 10 BAY
 1/8" = 1'-0"



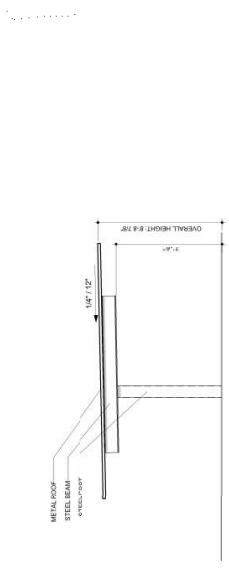
3 FRONT ELEVATION - CARPORT 10 BAY
 1/8" = 1'-0"



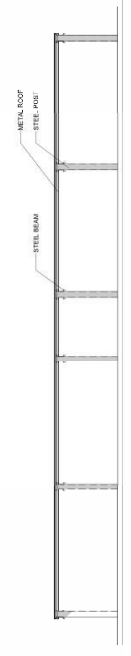
2 CARPORT ROOF PLAN 10 BAY
 1/8" = 1'-0"



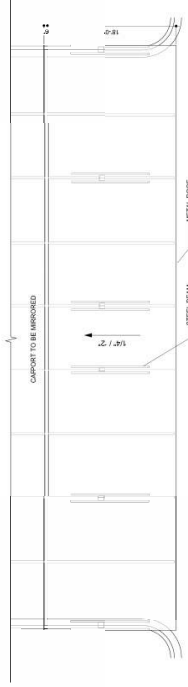
1 CARPORT PLAN 10 BAY
 1/8" = 1'-0"



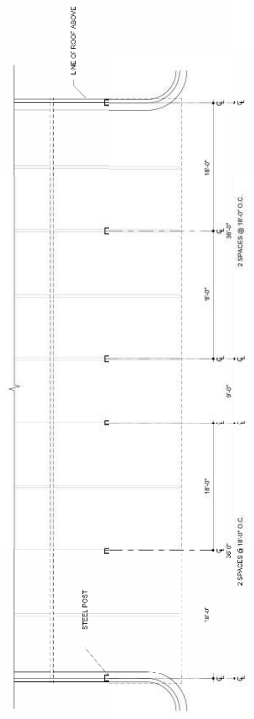
8 LEFT ELEVATION - CARPORT 9 BAY
 1/8" = 1'-0"



7 FRONT ELEVATION - CARPORT 9 BAY
 1/8" = 1'-0"



6 CARPORT ROOF PLAN 9 BAY
 1/8" = 1'-0"



5 CARPORT PLAN 9 BAY
 1/8" = 1'-0"

PREPARED BY:

DREXEL, BARRELL & CO.
 ARCHITECTS & ENGINEERS-ARCHITECTS
 300 SOUTH DENTON STREET
 BOULDER, COLORADO 80501
 CONTACT: TIM DA MCCONNELL, P.E.
 BOULDER, COLORADO 80501

CLIENT:
DBG PROPERTIES, LLC.
 2144 SW PARK PLACE
 PORTLAND, OR 97205
 CONTACT: CHRIS WILSON
 (503) 596-4305

ACADEMY HEIGHTS
 DEVELOPMENT PLAN FOR
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	7/1/2020
REVISED ISSUE	2/2/2021
DESIGNED BY:	AT/SK
DRAWN BY:	AT/SK
CHECKED BY:	CLS
FILE NAME:	

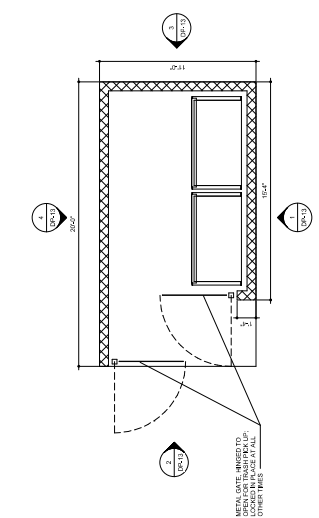
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 VERTICAL: N/A

PROJECT NO: 20-0018
 SHEET NO: 100

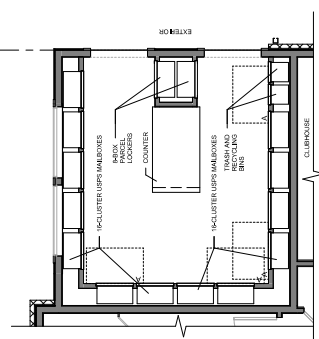
SHEET 13 OF 17
 CPC DP 20-0018

MATERIAL LEGEND

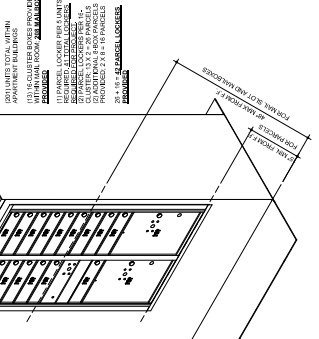
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	STUCCO - COLOR - BENJAMIN MOORE CHANTILLY LACE 0048
	STUCCO - COLOR - BENJAMIN MOORE FINE SIZE AZIS
	STUCCO - COLOR - BENJAMIN MOORE AMETHYST SHADOW 1441
	STUCCO - COLOR - BENJAMIN MOORE GENERAL CONCRETE 16789
	CM BLOCK - STACKED BOND - BARELITE BRN - GRADING FACE



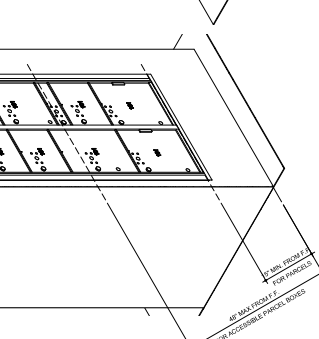
① TRASH ENCLOSURE - FRONT
 14'0" = 1:50'



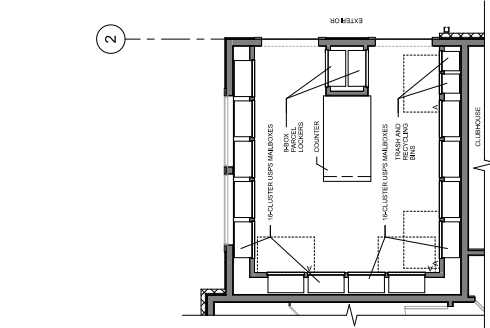
④ TRASH ENCLOSURE - REAR
 14'0" = 1:50'



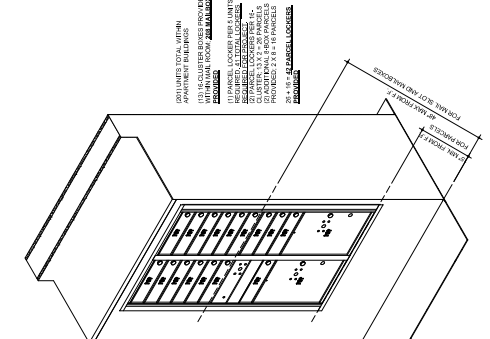
③ TRASH ENCLOSURE - RIGHT
 14'0" = 1:50'



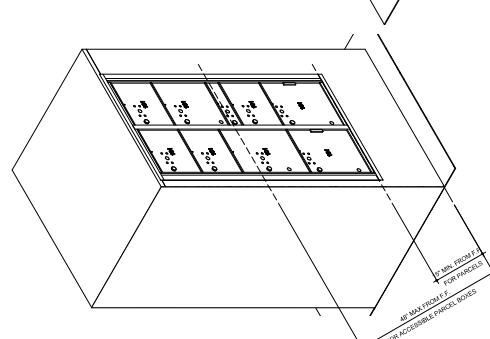
② TRASH ENCLOSURE - LEFT
 14'0" = 1:50'



⑥ MAILROOM - ATTACHED TO CLUBHOUSE
 14'0" = 1:50'

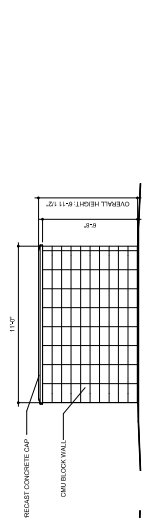


⑨ TYPICAL PARCEL BOX
 ACCESSIBLE TO IMPERFORATED BRIMS

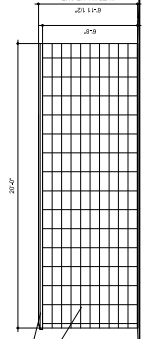


⑧ TYPICAL MAILBOX
 ACCESSIBLE TO IMPERFORATED BRIMS

⑤ TRASH ENCLOSURE - PLAN
 14'0" = 1:50'



① TRASH ENCLOSURE - FRONT
 14'0" = 1:50'



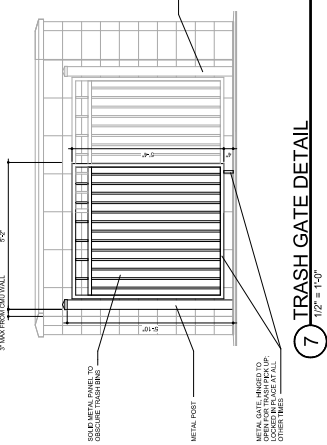
④ TRASH ENCLOSURE - REAR
 14'0" = 1:50'



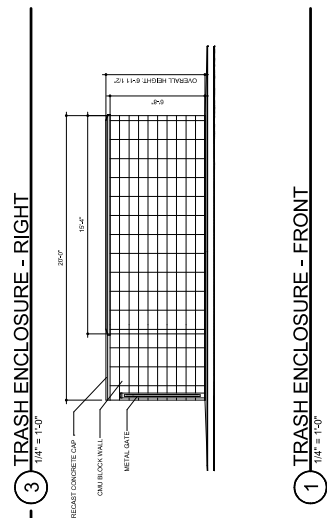
③ TRASH ENCLOSURE - RIGHT
 14'0" = 1:50'



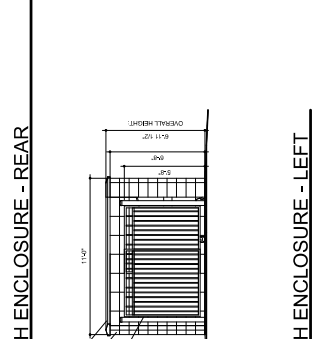
② TRASH ENCLOSURE - LEFT
 14'0" = 1:50'



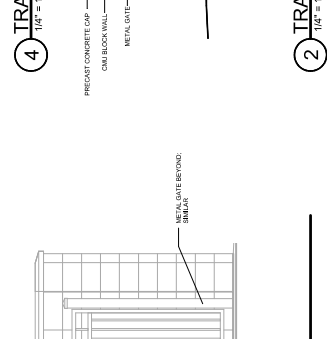
⑦ TRASH GATE DETAIL
 12'0" = 1:50'



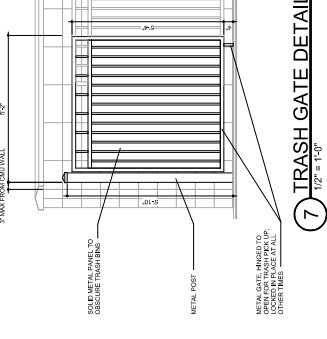
① TRASH ENCLOSURE - FRONT
 14'0" = 1:50'




④ TRASH ENCLOSURE - REAR
 14'0" = 1:50'



③ TRASH ENCLOSURE - RIGHT
 14'0" = 1:50'



② TRASH ENCLOSURE - LEFT
 14'0" = 1:50'

PREPARED BY:

DREXEL BIDDLE & CO.
 ARCHITECTS
 300 N. 17TH STREET, SUITE 1000
 COLORADO SPRINGS, CO 80902
 CONTACT: TIM D. MCCONNELL, P.E.
 (719) 594-3333
 BUILDING COLORADO SPRINGS, ARIZONA

CLIENT:
DBG PROPERTIES, LLC
 2144 BRYAN PARK PLACE
 PORTLAND, OR 97206
 COMPANY: 503.255.4200
 (503) 594-4335

DEVELOPMENT PLAN FOR:
ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	7/1/2020
LATEST ISSUE	7/20/20

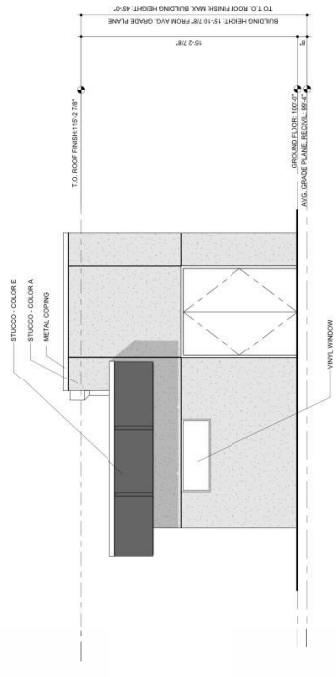
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 DRAWN BY: AT/BR
 CHECKED BY: CLS
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DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

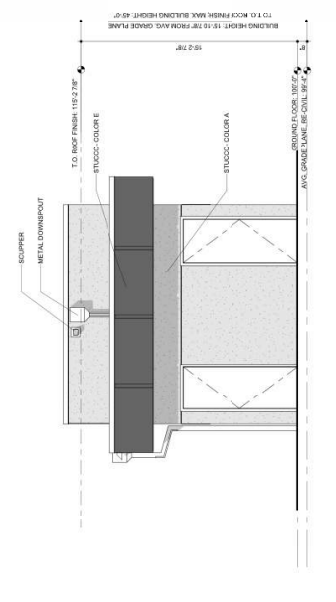
PROJECT NO.: 20-008-2020-03
 DRAWING NO.: 20-008-2020-03

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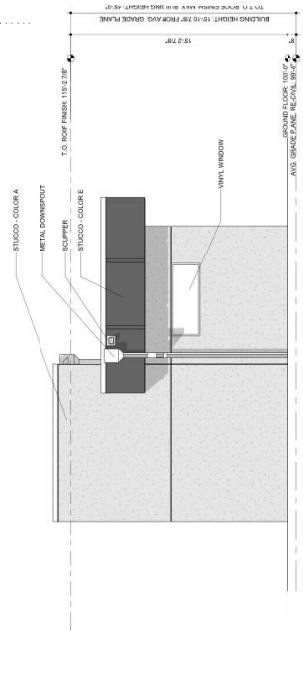
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	STUCCO - COLOR B - BENJAMIN MOORE CHANTRELLE LACE OC369
	STUCCO - COLOR C - BENJAMIN MOORE FRINZE #F-226
	STUCCO - COLOR D - BENJAMIN MOORE AMETHYST SHADOW M41
	STUCCO - COLOR E - BENJAMIN MOORE BERNALI CHRONICAL HC36
	OMNIBLOCK - STACKED BOND - BASELITE 689F - GROUND FAZE



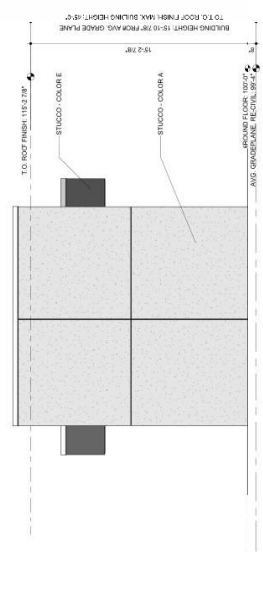
3 SDP - POOL EQUIP - WEST
 1/4" = 1'-0"



4 SDP - POOL EQUIP - NORTH
 1/4" = 1'-0"

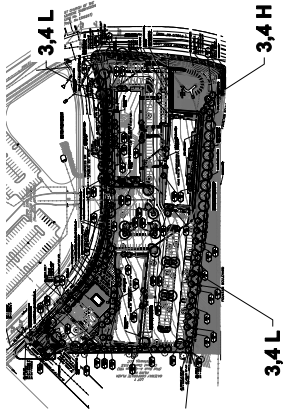


1 SDP - POOL EQUIP - EAST
 1/4" = 1'-0"



2 SDP - POOL EQUIP - SOUTH
 1/4" = 1'-0"

CLIMATE ZONE: FOOTHILLS AND PLAINS PLAINS



- PLANT COMMUNITIES**
- 1 - SEMI-DWARF SHRUBLANDS
 - 2 - PALM WOODLANDS
 - 3 - TROPICAL/SEMI-TROPICAL WOODLAND
 - 4 - TROPICAL/SEMI-TROPICAL WOODLAND
 - 5 - TROPICAL/SEMI-TROPICAL WOODLAND
 - 6 - TROPICAL/SEMI-TROPICAL WOODLAND
 - 7 - TROPICAL/SEMI-TROPICAL WOODLAND
 - 8 - TROPICAL/SEMI-TROPICAL WOODLAND
- HYDROZONES (SUPPLEMENTAL WATER)**
- V - VERY LOW (6 TO 7 IN /YR)
 - L - LOW (8 TO 12 IN /YR)
 - M - MODERATE (13 TO 20 IN /YR)
 - H - HIGH (MORE THAN 20 INCHES /YR)

SCHEMATIC LANDSCAPE DIAGRAM NOT TO SCALE

SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACKS (L)	LANDSCAPE SETBACKS (S)	LANDSCAPE SETBACKS (L)	LANDSCAPE SETBACKS (S)
STREET USE OR THRUWAY PARK LOOP 500 FT 500 FT	STREET CLAMIFICATION THRUWAY PARK LOOP 500 FT 500 FT	LANDSCAPE SETBACKS (L) THRUWAY PARK LOOP 500 FT 500 FT	LANDSCAPE SETBACKS (S) THRUWAY PARK LOOP 500 FT 500 FT
DRIVEWAY SETBACKS 500 FT 500 FT	CONCRETE DRIVE 500 FT 500 FT	CONCRETE DRIVE 500 FT 500 FT	CONCRETE DRIVE 500 FT 500 FT
LANDSCAPE BUFFERS AND SCREENS (L) 500 FT 500 FT	LANDSCAPE BUFFERS AND SCREENS (S) 500 FT 500 FT	LANDSCAPE BUFFERS AND SCREENS (L) 500 FT 500 FT	LANDSCAPE BUFFERS AND SCREENS (S) 500 FT 500 FT

FIRE SIGNAGE NOTE
ANY SIGNAGE MUST BE TO THE RIGHT OF THE CURB AND FIRE LINE STORAGE WILL BE PLANTED IN SUCH A MANNER TO PREVENT OBSTRUCTION OF SUCH SIGNAGE.

SITE AMENITY NOTE
THE SITE AMENITIES LOCATED THROUGHOUT THE SITE INCLUDE A COURSE WITH POOL, FENCED DOG WALKING TRAIL, AND A COURSE WITH POOL. THESE AMENITIES ARE NEAR BUILDINGS FOR GOOD, NEAR GARDEN FLOUT, AND LANDSCAPING TO MEET THE CITY LANDSCAPE CODE.

UTILITIES NOTE
THE DESIGN PROFESSIONAL HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE TO IDENTIFY UTILITIES. THE DESIGN PROFESSIONAL HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE TO IDENTIFY UTILITIES. THE DESIGN PROFESSIONAL HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE TO IDENTIFY UTILITIES. THE DESIGN PROFESSIONAL HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE TO IDENTIFY UTILITIES.

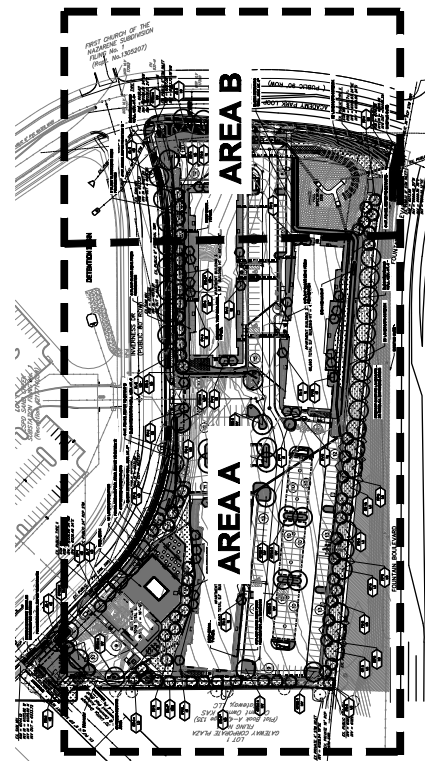
CITY AFFIDAVIT NOTE
THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON CITY APPROVED FINAL LANDSCAPE PLAN. THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON CITY APPROVED FINAL LANDSCAPE PLAN. THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE INSPECTION AFFIDAVIT BASED ON CITY APPROVED FINAL LANDSCAPE PLAN.

IRRIGATION SYSTEM DESCRIPTION NOTE
AN UNDERGROUND, AUTOMATIC, IRRIGATION SYSTEM WITH SURFACE DRIP-COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AND A ROTARY SYSTEM FOR TURF AND/OR SEEDING AREAS AS REQUIRED PER PLAN.

FINAL LANDSCAPE PLAN SUBMITTAL NOTE
A FINAL LANDSCAPE PLAN TO BE SUBMITTED WITH THE FINAL PERMIT APPLICATION. THE FINAL LANDSCAPE PLAN TO BE SUBMITTED WITH THE FINAL PERMIT APPLICATION. THE FINAL LANDSCAPE PLAN TO BE SUBMITTED WITH THE FINAL PERMIT APPLICATION.

MAINTENANCE NOTE
ON-GOING MAINTENANCE DURING CONSTRUCTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

SOIL TEST NOTE
The Design Landscape Architect is responsible for completing the soil sampling and submitting the samples to a soils laboratory for analysis. The Design Landscape Architect is responsible for completing the soil sampling and submitting the samples to a soils laboratory for analysis. The Design Landscape Architect is responsible for completing the soil sampling and submitting the samples to a soils laboratory for analysis.



OVERALL LANDSCAPE PLAN

HIGHER GROUND DESIGNS
LANDSCAPE ARCHITECTURE, PLANNING & RESTORATION DESIGN
1500 NORTH ACADREY PARK LOOP
FOUNTAIN SPRINGS, CO 80920
PHONE: 719.888.4122

HIGHER GROUND DESIGNS
LANDSCAPE ARCHITECTURE, PLANNING & RESTORATION DESIGN
1500 NORTH ACADREY PARK LOOP
FOUNTAIN SPRINGS, CO 80920
PHONE: 719.888.4122

PREPARED FOR
ACADEMY HEIGHTS APARTMENTS
FOUNTAIN BLVD AND ACADEMY PARK LOOP
FOUNTAIN SPRINGS, CO
DESIGNED BY
DREXEL, GARRETT & CO.

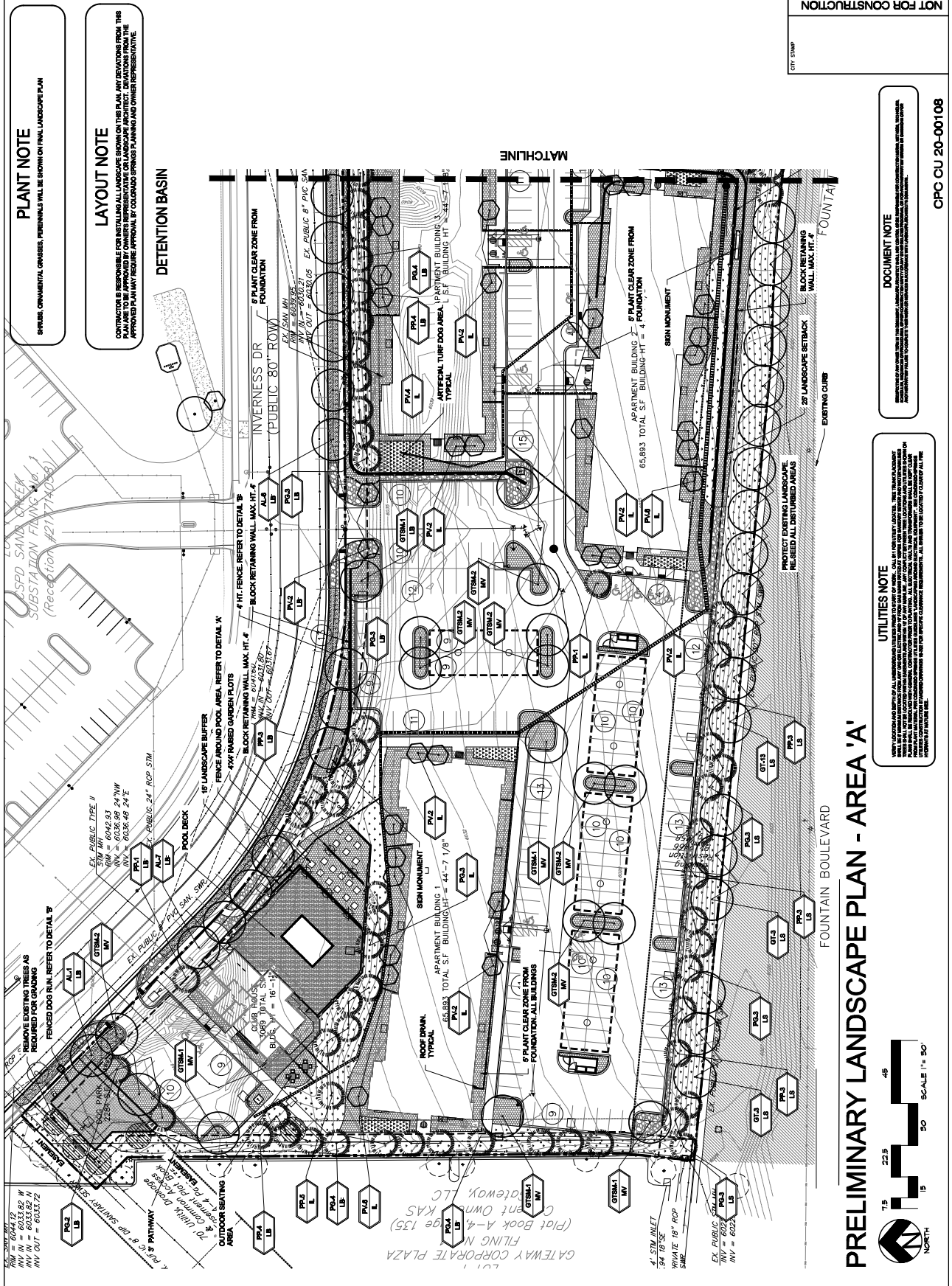
NOT FOR CONSTRUCTION
JOB NUMBER: 929-20
ISSUANCE DATE: 7-18-20
DRAWN BY: JIM
CHECKED BY: JIM
APPROVED BY: JIM
SHEET NO.: 15 OF 17

LANDSCAPE ARCHITECTURE, PLANNING & RESTORATION DESIGN
 HIGHER GROUND DESIGNS, INC.
 1000 NORTH ACADREY BLVD., STE. 200
 COLORADO SPRINGS, CO 80909
 PHONE: 719.586.1122
 FAX: 719.586.1122



PREPARED FOR
 COLORADO SPRINGS, CO
 FOUNTAIN BLVD AND ACADEMY PARK LOOP
 ACADEMY HEIGHTS APARTMENTS
 THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION BY HIGHER GROUND DESIGNS, INC.

NOT FOR CONSTRUCTION
 CITY STAMP
 JOB NUMBER: 929-20
 PREPARED BY: JIM
 CHECKED BY: JIM
 DATE: 7-18-20
 PRELIMINARY LANDSCAPE PLAN-AREA A
 SHEET NO. 16 OF 17



PLANT NOTE
 SPECIES, ORNAMENTAL GRASSES, PERENNIALS WILL BE SHOWN ON FINAL LANDSCAPE PLAN

LAYOUT NOTE
 CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MUST BE APPROVED BY COLORADO SPRINGS PLANNING AND ORDINANCE DEPARTMENT.

UTILITIES NOTE
 ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. ANY CHANGES TO UTILITIES SHALL BE APPROVED BY THE CITY OF COLORADO SPRINGS. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN PROPER CLEARANCE AND COVER. ALL UTILITIES SHALL BE LOCATED TO THE RIGHT OF THE ROADWAY.

DOCUMENT NOTE
 THIS PLAN IS A PRELIMINARY LANDSCAPE PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL LANDSCAPE PLAN SHALL BE SUBMITTED TO THE CITY OF COLORADO SPRINGS FOR REVIEW AND APPROVAL. ANY CHANGES TO THIS PLAN SHALL BE APPROVED BY THE CITY OF COLORADO SPRINGS. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN PROPER CLEARANCE AND COVER. ALL UTILITIES SHALL BE LOCATED TO THE RIGHT OF THE ROADWAY.

SCALE 1" = 50'
 NORTH
 15 225 45 50

PRELIMINARY LANDSCAPE PLAN - AREA 'A'
 FOUNTAIN BOULEVARD

DEVELOPMENT PLAN

CPC CU 20-00108

PLANT SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Qty from Midsize App. B	Planting Spacing
	1	Arctostaphylos uva-ursi	Arctostaphylos uva-ursi	1	12' x 12'
	1	Quercus agrifolia	White Oak	1	12' x 12'
	1	Arctostaphylos uva-ursi	Arctostaphylos uva-ursi	1	12' x 12'
	1	Arctostaphylos uva-ursi	Arctostaphylos uva-ursi	1	12' x 12'

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Turf Type Impregnated Seed Grass Mk 'A': Specified on FLP	15,780 SF
	Impregnated Seed Grass Mk 'B': Specified on FLP	35,800 SF
	Impregnated Seed Grass Mk 'C': Specified on FLP	9,721 SF
	Decorative Granite Rock: 3/4" Diameter (with weed barrier)	44,722 SF
	Canyon Gravel Rock: 4-6" Diameter (with weed barrier)	11,880 SF
	Synthetic Grass: Type TBD	2,076 SF
	Dip Run Rock: 3/4" Dia. Paved/Gravel	2,676 SF
	Access Road Gravel: Refer to Grading Plan by others	1,706 SF
	Decorative Boulder: Boulders - min. 18" dia. to 36" dia.	
	4.5" Dia. Aluminum Tin Cobble Edge between rock types	

GRADE NOTE

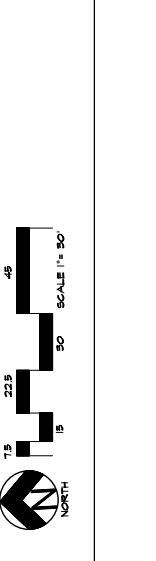
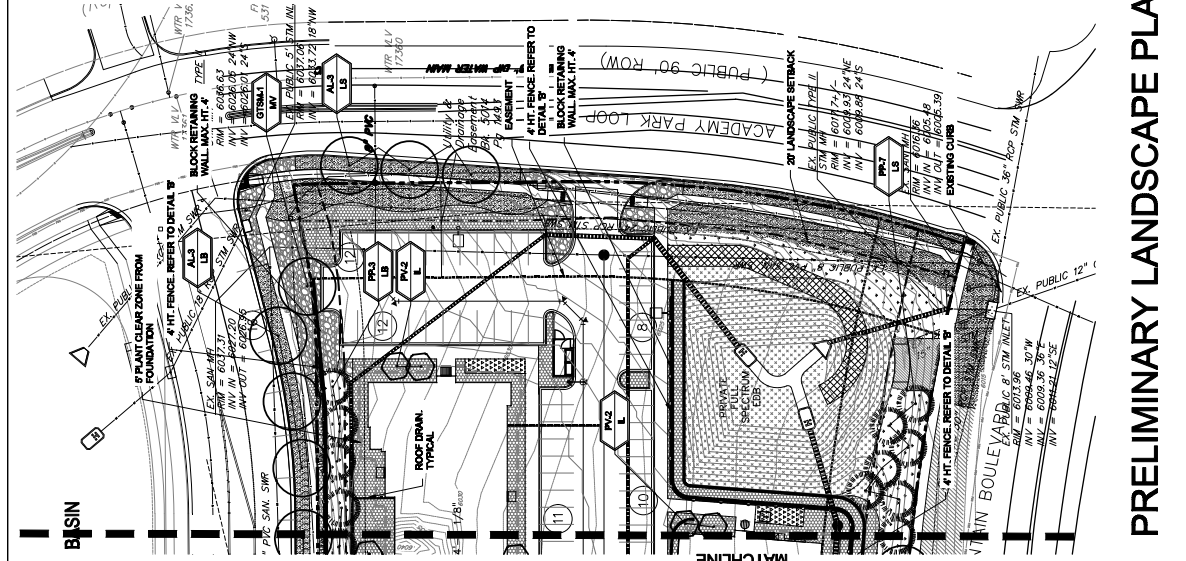
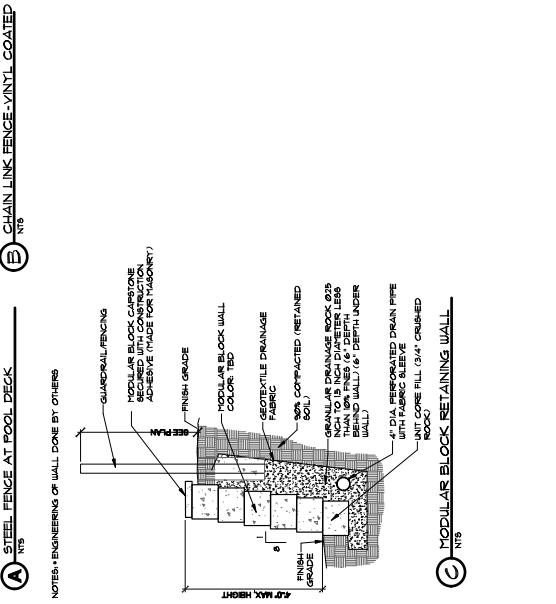
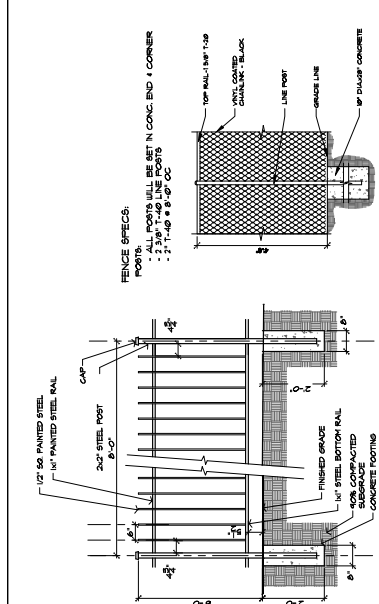
GRADE SHALL BE ESTABLISHED BASED ON GROUND PLAN BY OTHERS, AND FOR LANDSCAPE INTERVALS PER PLAN. FINAL GRADE SHALL BE DETERMINED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

UTILITIES NOTE

UTILITIES SHOWN IN THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNIDENTIFIED UTILITIES SHALL BE IDENTIFIED AND DELETED PRIOR TO CONSTRUCTION.

DOCUMENT NOTE

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES SHALL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION.



HIGHER GROUND DESIGNS, INC.
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HIGHER GROUND DESIGNS

ACADEMY HEIGHTS APARTMENTS
 COLORADO SPRINGS, CO
 PREPARED FOR
 DRISCOLL, BARNWELL & CO.

NOT FOR CONSTRUCTION
 JOB NUMBER: 929-20
 PRELIMINARY LANDSCAPE PLAN-AREA B
 ORIGINAL DATE: 7-18-20
 DRAWN BY: JMT
 SHEET NO.: 17 OF 17