

WARE MALCOMB
 Leading Design for Commercial Real Estate

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architect
 planning
 interiors
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 civil engineering
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BIO365
 875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO

REVISIONS	DATE
PLANNING SHEET	08/14/2020
LANDSCAPE	08/14/2020
PLANNING SHEET	08/14/2020
LANDSCAPE	08/14/2020
PLANNING SHEET	08/14/2020
LANDSCAPE	08/14/2020
PLANNING SHEET	08/14/2020
LANDSCAPE	08/14/2020

SHEET	001
OF	012
JOB NO.	2020-00050
DRAWN BY:	MS
CHECKED BY:	MS

LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

LAND AREA:
 347,555 SF (7.979 ACRES +/-)

BASIS OF BEARING:
 SOUTH LINE OF LOT 2, TF SUBDIVISION NO. 1, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, MONUMENTED AT THE EAST END BY A NO. 4 REBAR WITH A BROKEN/ILLEGIBLE RED PLASTIC CAP. 0.2 ACRES. THE CAP IS PLUSH WITH GRADE AND MEASURED TO BEARS 589°38'34"W, A MEASURED DISTANCE OF 647.13 FEET.

BENCHMARK:
 MAGNALL IN ASPHALT, ELEVATION: 6125.27 (NGVD29)

LEGAL DESCRIPTION:
 LOT 2, TF SUBDIVISION FILING NO. 1, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

EDM CLASSIFICATION:
 FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA BRETTE PUBLISHED FEBRUARY 14, 2020, REFERENCE FLOOR INSURANCE RATE MAP, MAP NUMBER 18M-10753G EFFECTIVE DATE DECEMBER 7th, 2018, INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD), ZONE Y (2% ANNUAL CHANCE FLOOD HAZARD, AND ZONE AE (REGULATORY FLOODWAY)

SCHEDULED EXCEPTIONS:
 - TERMS, CONDITIONS AND PROVISIONS OF AGREEMENTS RECORDED MARCH 29, 1971 IN BOOK 2368 AT PAGES 30 & 34, MAY 27, 1971 IN BOOK 2411 AT PAGES 298 AND OCTOBER 19, 1971 IN BOOK 2443 AT PAGE 962. IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
 - THE AREA WITHIN THIS SUBDIVISION IS SUBJECT TO AN AVIGATION EASEMENT RECORDED IN BOOK 2443 AT PAGE 975 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
 - EASEMENTS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF NEWPORT SUBDIVISION FILING NO. 19 RECORDED MARCH 31, 2005 UNDER RECEPTION NO. 205645883, DECEMBER 29, 1943, IN BOOK 1041 AT PAGE 44 IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.
 - RIGHT OF WAY EASEMENT AS GRANTED TO THE CITY OF COLORADO SPRINGS IN INSTRUMENT RECORDED AUGUST 3, 2005, UNDER RECEPTION NO. 205118760 IS NOT LOCATED ON SUBJECT PARCEL.
 - RIGHT OF WAY EASEMENT AS GRANTED TO THE UNITED STATES OF AMERICA IN INSTRUMENT RECORDED DECEMBER 29, 1943, IN BOOK 1041 AT PAGE 44 IS LOCATED ON SUBJECT PARCEL, APPROXIMATE LOCATION SHOWN HEREON.
 - RIGHT OF WAY EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY IN INSTRUMENT RECORDED JULY 14, 1980, IN BOOK 3226 AT PAGE 538 IS LOCATED ON SUBJECT PARCEL, APPROXIMATE LOCATION SHOWN HEREON.
 - EASEMENTS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE RECORDED PLAT OF TF SUBDIVISION FILING NO. 1 RECORDED DECEMBER 19, 2012 UNDER RECEPTION NO. 212713278 IS LOCATED ON THE SUBJECT PARCEL, BLANKET IN NATURE AND SHOWN HEREON.



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BUILDING DATA - PARCEL B LOT 2

TOTAL GROSS BUILDING AREA:	48,806 sf
WAREHOUSE:	45,306 sf
OFFICE:	45,306 sf
MAX. ALLOWED:	45'

PARKING COUNTS

OFFICE PARKING (40 SPACES REQUIRED)	40 SPACES REQUIRED
WAREHOUSE PARKING (4 SPACES REQUIRED)	4 SPACES REQUIRED
OFFICE PARKING (4 HANDICAP SPACES)	4 SPACES REQUIRED
WAREHOUSE PARKING (4 HANDICAP SPACES)	4 SPACES REQUIRED
TOTAL SPACES REQUIRED	88 SPACES
PROVIDED SPACES	84 SPACES

PLANNING DATA - PARCEL B LOT 2

ZONING CLASSIFICATION:	PLANNED INDUSTRIAL PARK AIRPORT OVERLAY PIP 2017 AO SS
LAND USE:	DISTRIBUTION / WAREHOUSE / OFFICE
JURISDICTION:	CITY OF COLORADO SPRINGS
SITE ADDRESS:	875 VAPOR TRAIL ROAD, COLORADO SPRINGS, CO
TAX SCHEDULE NO.:	642-10442
BUILDING SETBACKS:	25' FRONT SETBACK 10' SIDE SETBACK 25' REAR SETBACK
LOT COVERAGE:	PAVEMENT 96,376 sf (28%) LANDSCAPE / OPEN SPACE 236,074 sf (58%)

DATE OF PREPARATION: JUNE 09, 2020, REVISED JULY 15th, 2020
APPROX. SCHEDULE OF DEVELOPMENT: FALL 2020 THROUGH EARLY 2021

DEVELOPMENT PLAN

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

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 875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO

DATE	06/08/2020
REVISIONS	
PLANNING SUBMITTAL	

PAPER	T-SWAN
DRAWN BY	J. PERNA
JOB NO.	20190000560

SHEET
002
 OF 012

NOT FOR CONSTRUCTION

LOT 2, TF SUBDIVISION FILING NO. 1

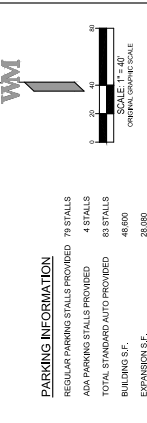
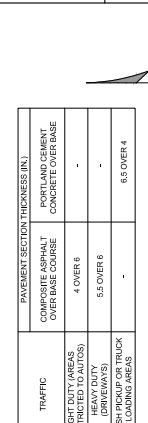
A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

- STANDARD ACCESSIBILITY NOTES:**
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND GUIDELINES AS APPLICABLE TO THE PROJECT AND HAVE ADVISED THE CITY OF COLORADO SPRINGS OF THE SAME. THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR ORDINANCES. THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR ORDINANCES. THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR ORDINANCES. THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR ORDINANCES.
 - ACCESSIBLE PARKING SPACES, ACCESSIBLE, AND SIGNAGE SHALL MEET ALL APPLICABLE CITY CODE REQUIREMENTS INCLUDING:
 - PARKING SPACES AND ACCESSIBLE SPACES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.
 - ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") ANGLES IN A CONTRASTING COLOR.
 - ACCESSIBLE SPACES SHALL BE OBTAINED AND DIMENSIONALLY STRIPPED AT FORTY FIVE DEGREE (45) ANGLES IN A CONTRASTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.

- LEGEND:**
- PROPERTY LINE
 - EXISTING CURB & GUTTER
 - PROPOSED CATCH CURB & GUTTER
 - PROPOSED SPILL CURB & GUTTER
 - PROPOSED SANICUT
 - ADA ACCESSIBLE ROUTE
 - PROPOSED LIGHT DUTY FULL DEPTH ASPHALT (PER GEOTECH REPORT)
 - PROPOSED MEDIUM DUTY FULL DEPTH ASPHALT (PER GEOTECH REPORT)
 - PROPOSED CONCRETE (PER GEOTECH REPORT)
 - PROPOSED CONCRETE SIDEWALK
 - PARKING COUNT
 - PROPOSED HANDICAP PARKING
 - PROPOSED SIGN
 - PROPOSED FIRE HYDRANT
 - SITE LIGHT POLE
 - OUTER STREAMSIDE BUFFER OVERLAY
 - INNER STREAMSIDE BUFFER OVERLAY



TRAFFIC	PAVEMENT SECTION THICKNESS (IN.)	FORN AND CHAMPT CONCRETE OVER BASE
LIGHT DUTY AREAS (RESTRICTED TO AUTO)	4 OVER 6	
TRASH PICKUP OR TRUCK (REVENUES)	5.5 OVER 6	
LOADING AREAS	6.5 OVER 4	



PARKING INFORMATION

REGULAR PARKING STALLS PROVIDED: 79 STALLS
 ADA PARKING STALLS PROVIDED: 4 STALLS
 TOTAL STANDARD AUTO PROVIDED: 83 STALLS
 BUILDING S.F.: 48,800
 EXPANSION S.F.: 28,090
 TOTAL: 116,890
 PROVIDED PARKING RATIO: 1,27/1000 S.F.

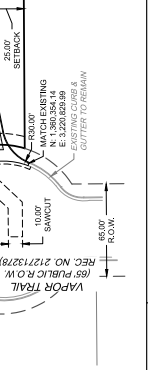
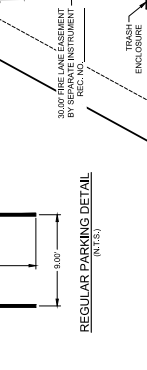
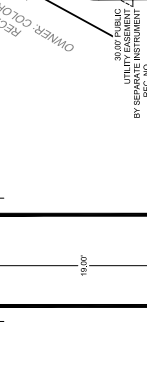
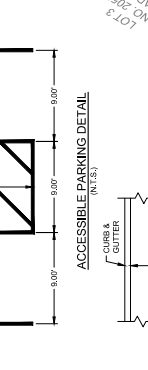
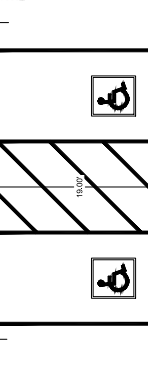
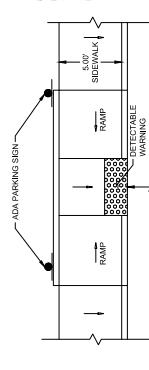
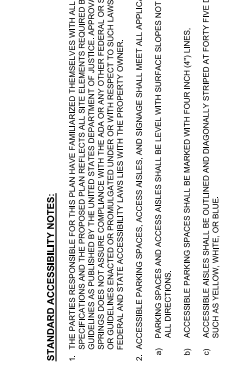
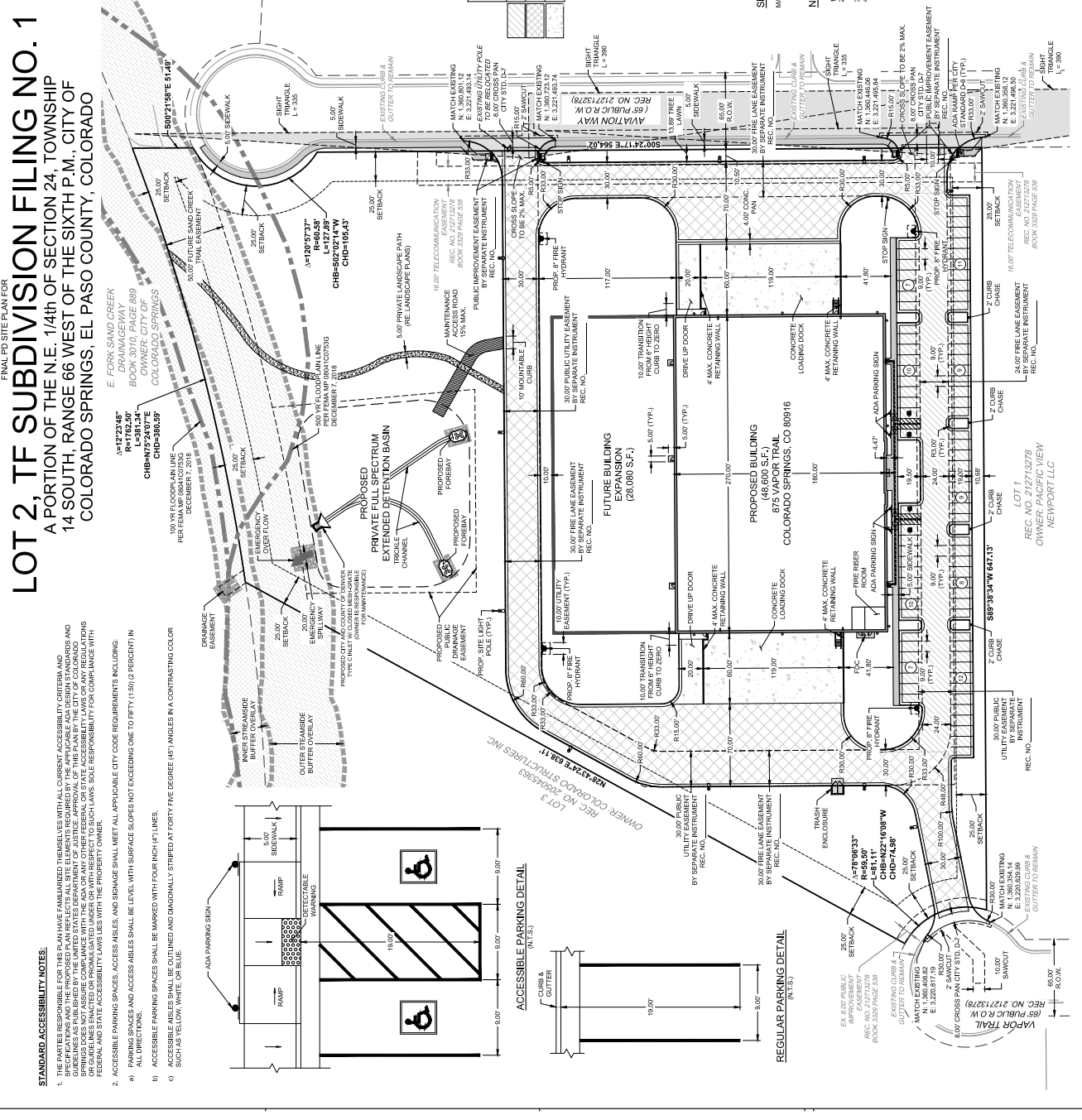
SITE BENCHMARK:
 MAG NAIL IN ASPHALT AS SHOWN (ELEVATION: 6126.27' (NGVD28)).

NOTES:

- ALL DIMENSIONS ARE TO LOW LINE AND BUILDING FACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.
- MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL ENTRANCES ARE PRIVATE UNLESS OTHERWISE NOTED.

CITY FILE NUMBER: CPC CU 20-00101

CITY APPROVAL



DEVELOPMENT PLAN

CAUTION: IF THIS SHEET IS NOT 24"X36" IT IS A REDUCED PRINT

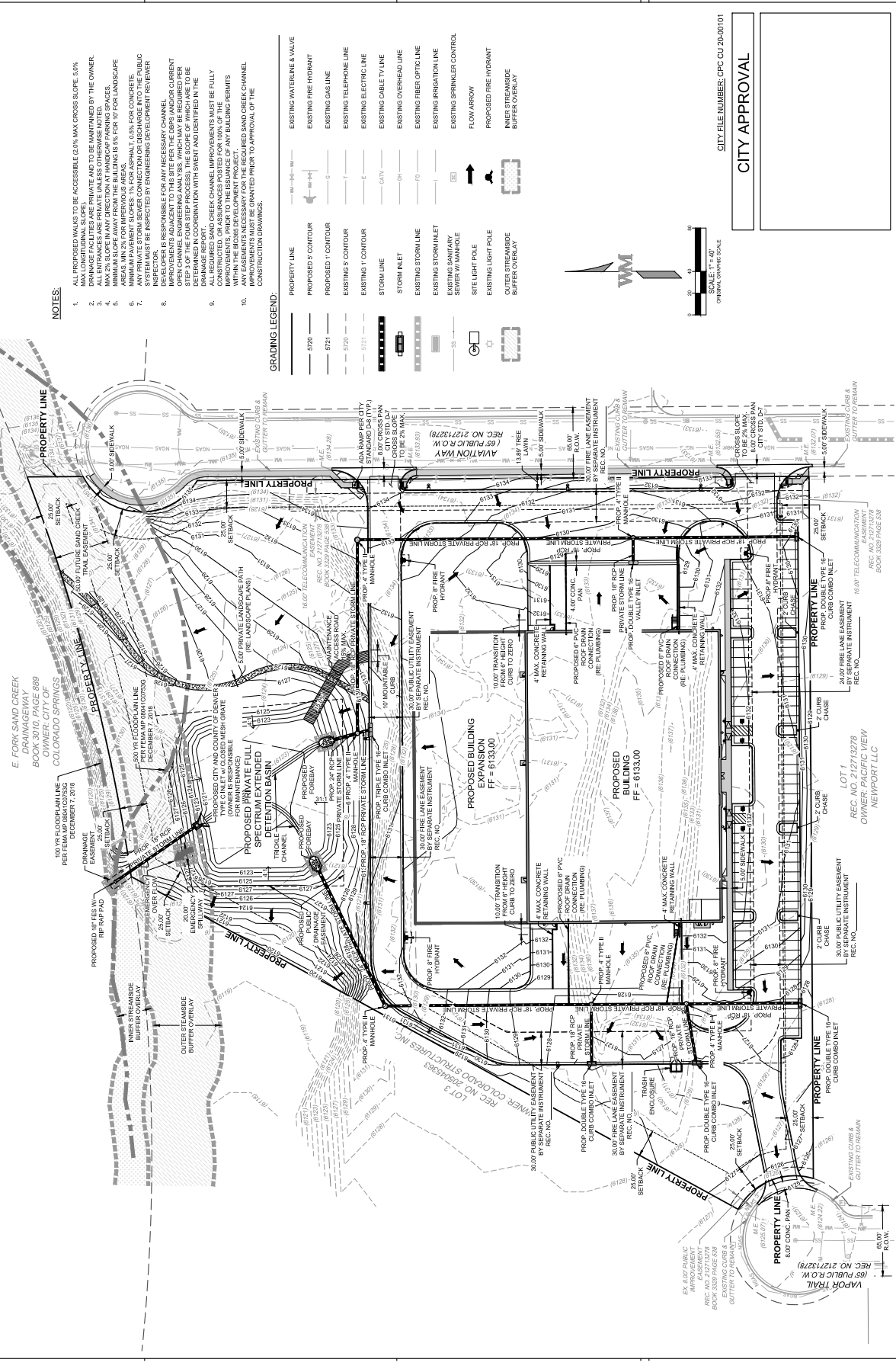
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BIO365
 875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO

PRELIMINARY GRADING PLAN
 DATE: 06/28/2020
 DRAWN BY: J. PERA
 JOB NO.: 20190900560
 SHEET
003
 OF 012

CITY FILE NUMBER: CPC CU 20-00101
CITY APPROVAL

LOT 2, TF SUBDIVISION FILING NO. 1
 A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP
 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

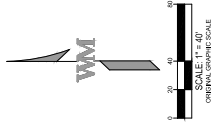


NOTES:

1. ALL PROPOSED WALKS TO BE ACCESSIBLE (2.0% MAX CROSS SLOPE, 5.0% MAX CROSS SLOPE) AND TO BE MAINTAINED BY THE OWNER.
2. ALL ENTRANCES ARE PRIVATE UNLESS OTHERWISE NOTED.
3. ALL DRIVEWAYS TO BE MAINTAINED BY THE OWNER.
4. MINIMUM SLOPE AWAY FROM THE BUILDINGS 2% FOR 10' FOR LANDSCAPE AREAS, MIN 2% FOR IMPERVIOUS AREAS.
5. ALL PRIVATE STORM SEWER CONNECTION OR DISCHARGE INTO THE PUBLIC SYSTEM MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEWER.
6. DEVELOPER IS RESPONSIBLE FOR ANY NECESSARY CHANNEL IMPROVEMENTS ADJACENT TO THIS SITE PER THE DRPS (AND/OR CURRENT REGULATIONS) AND ASSURANCES POSTED FOR 100% OF THE PROJECT.
7. ALL REQUIRED SAND CREEK CHANNEL IMPROVEMENTS MUST BE FULLY CONSTRUCTED, OR ASSURANCES POSTED FOR 100% OF THE PROJECT, WITHIN THE BIO365 DEVELOPMENT PROJECT.
8. ANY EASEMENTS NECESSARY FOR THE REQUIRED SAND CREEK CHANNEL IMPROVEMENTS MUST BE OBTAINED PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS.

GRADING LEGEND:

EXISTING WATERLINE & VALVE	EXISTING FIRE HYDRANT
PROPOSED 5' CONTOUR	EXISTING GAS LINE
PROPOSED 1' CONTOUR	EXISTING TELEPHONE LINE
EXISTING 5' CONTOUR	EXISTING ELECTRIC LINE
EXISTING 1' CONTOUR	EXISTING CABLE TV LINE
STORM LINE	EXISTING OVERHEAD LINE
STORM INLET	EXISTING FIBER OPTIC LINE
EXISTING STORM LINE	EXISTING SPRINKLER CONTROL
EXISTING STORM INLET	PROPOSED FIRE HYDRANT
EXISTING MANHOLE	OUTER STREAMSIDE BUFFER OVERLAY
SITE LIGHT POLE	INNER STREAMSIDE BUFFER OVERLAY
EXISTING LIGHT POLE	
OUTER STREAMSIDE BUFFER OVERLAY	
INNER STREAMSIDE BUFFER OVERLAY	



FINAL PD SITE PLAN FOR

E FORK SAND CREEK
 DRAINAGEWAY
 BOOK 3010, PAGE 889
 CITY OF COLORADO SPRINGS
 100 YR 6.0000 ANNUAL
 PER FEMA MP 0904-027265
 DECEMBER 7, 2018
 RIP PAF PAC

PROPOSED PRIVATE FULL
 SPECTRUM EXTENDED
 DETENTION BASIN
 500 YR FLOODPLAIN LINE
 500 YR FLOODPLAIN LINE
 DECEMBER 7, 2018

PROPOSED BUILDING
 EXPANSION
 FF = 6133.00

PROPOSED BUILDING
 EXPANSION
 FF = 6133.00

LOT 1
 OWNER: PACIFIC VIEW
 NEWPORT, LLC
 REC. NO. 212713278
 REC. NO. 212713278
 REC. NO. 212713278

DEVELOPMENT PLAN

EXTERIOR ELEVATIONS	
DATE	
REVISIONS	
NO. / DATE	DESCRIPTION
01 / 14 / 2020	PLANNING SUBMITTAL
02 / 03 / 2020	PLANNING SUBMITTAL

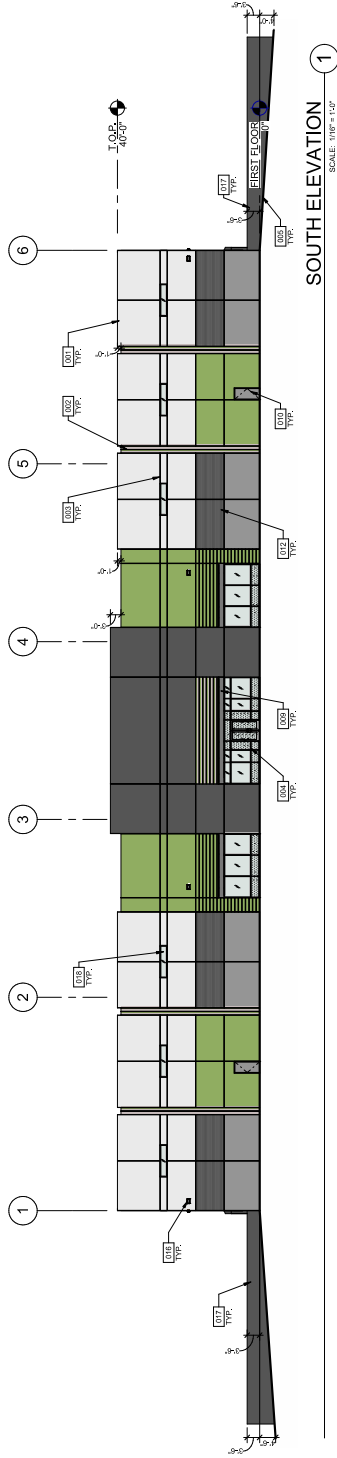
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DRAWN BY:	AKS
JOB NO.:	2020030000

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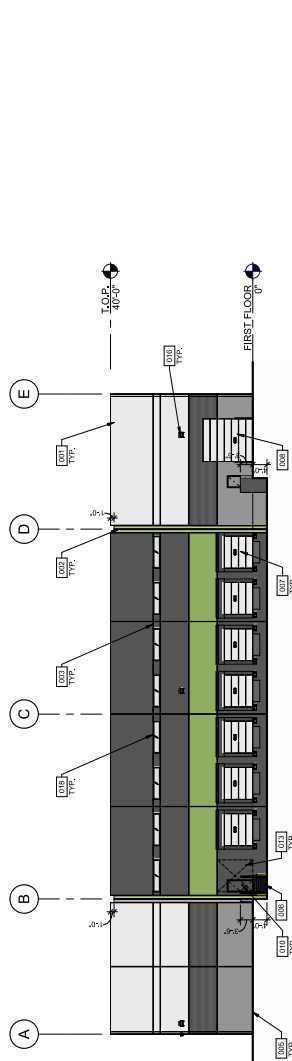
FINAL PD SITE PLAN FOR

LOT 2, TF SUBDIVISION FILING NO. 1

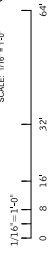
A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



CITY APPROVAL

COLOR LEGEND

- 001 TILT-UP CONCRETE PANEL PAINTED
- 002 TILT-UP CONCRETE PANEL JOINT
- 003 3M VARIOSEAL
- 004 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 005 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 006 EXTERIOR STEEL STAIRS
- 007 EXTERIOR STEEL STAIRS
- 008 STEEL CANOPY, PAINTED
- 009 STEEL CANOPY, PAINTED
- 010 2X7 FLOOR METAL LAM DOOR
- 011 2X7 FLOOR METAL LAM DOOR
- 012 KNOCKOUT PANEL FOR FUTURE DOOR OR WINDOW
- 013 KNOCKOUT PANEL FOR FUTURE DOOR OR WINDOW
- 014 TILT-UP CONCRETE BEARING WALL SAWN
- 015 TILT-UP CONCRETE BEARING WALL SAWN
- 016 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING
- 017 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING
- 018 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING

NOTES:

- 001 TILT-UP CONCRETE PANEL PAINTED
- 002 TILT-UP CONCRETE PANEL JOINT
- 003 3M VARIOSEAL
- 004 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 005 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 006 EXTERIOR STEEL STAIRS
- 007 EXTERIOR STEEL STAIRS
- 008 STEEL CANOPY, PAINTED
- 009 STEEL CANOPY, PAINTED
- 010 2X7 FLOOR METAL LAM DOOR
- 011 2X7 FLOOR METAL LAM DOOR
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- 014 TILT-UP CONCRETE BEARING WALL SAWN
- 015 TILT-UP CONCRETE BEARING WALL SAWN
- 016 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING
- 017 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING
- 018 ALUMINUM STOREFRONT SYSTEM CLERESTORY WINDOW WITH INSULATED GLAZING

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E: 6000 Champa Street Suite 350
Denver, CO 80202

BIO365
875 VAPOR TRAIL ROAD
COLORADO SPRINGS, CO

EXTERIOR ELEVATIONS

DATE: _____
DESIGNER: _____
PLANNING: _____
DRAWING: _____
JOB NO.: _____

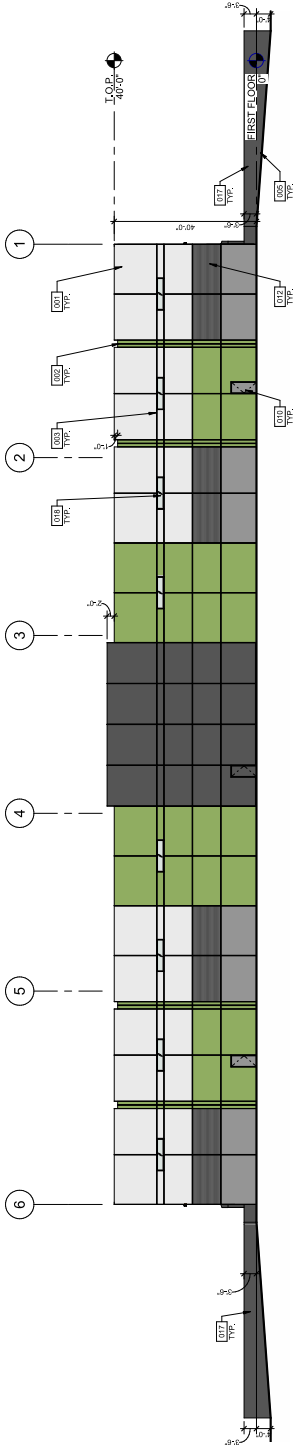
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DRAWN BY: JMS
JOB NO.: 1900030000

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OF 012

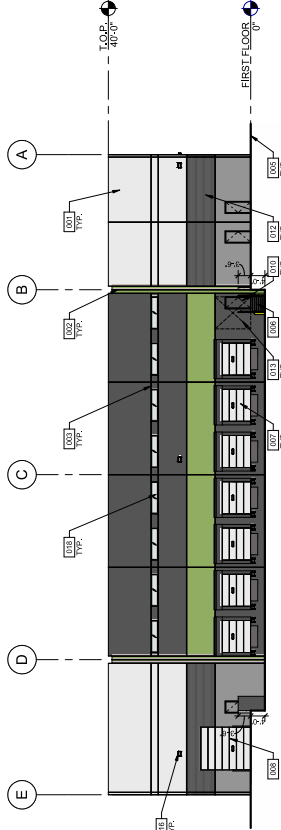
FINAL PD SITE PLAN FOR

LOT 2, TF SUBDIVISION FILING NO. 1

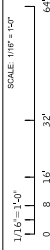
A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



CITY FILE NUMBER: CPC CU 20-00101

CITY APPROVAL

COLOR LEGEND

- SHERWIN WILLIAMS HIGH REFLECTIVE WHITE - SW 7707
- SHERWIN WILLIAMS POLISHED CONCRETE - SW 9107
- SHERWIN WILLIAMS POLISHED CONCRETE - SW 9107
- SHERWIN WILLIAMS POLISHED CONCRETE - SW 9107
- SHERWIN WILLIAMS FORESTONE - SW 6505
- SHERWIN WILLIAMS OVERT GREEN - SW 6718

- NOTES:**
- 001 TILT-UP CONCRETE PANEL, PAINTED
 - 002 CONCRETE PANEL JOINT
 - 003 2"X1" VERTICAL
 - 004 2"X1" VERTICAL
 - 005 FINISH GRADE, VARIOUS SEE CIVIL
 - 006 12"X4" DRIVE IN DOOR AT GARAGE
 - 007 2"X17" DOOR
 - 008 12"X4" DRIVE IN DOOR AT GARAGE
 - 009 CONCRETE FORKSLIFTER
 - 010 CONCRETE FORKSLIFTER
 - 011 WALL PACK (SEE FRONT AND SIDE ELEVATIONS)
 - 012 TILT-UP CONCRETE RETAINING WALL, PAINTED
 - 013 WALL PACK (SEE FRONT AND SIDE ELEVATIONS)
 - 014 TILT-UP CONCRETE RETAINING WALL, PAINTED
 - 015 GLAZING
 - 016 GLAZING
 - 017 TILT-UP CONCRETE RETAINING WALL, PAINTED
 - 018 GLAZING

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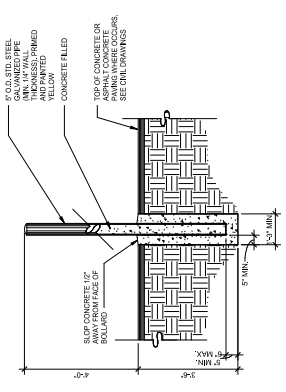
SITE DETAILS

DATE	09/14/2020
PLANNING SHEET NO.	002000000
REMARKS	

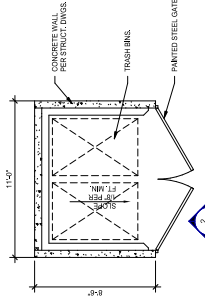
DATE	09/14/2020
PLANNING SHEET NO.	002000000
REMARKS	

SHEET
007
 OF 012

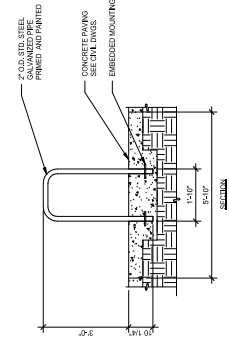
FINAL PD SITE PLAN FOR
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 A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP
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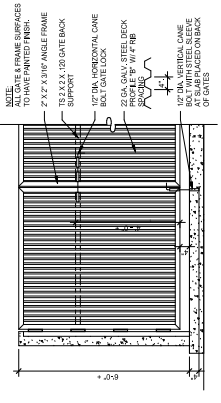
BOLLARD
 SCALE: 1/2" = 1'-0"



TRASH ENCLOSURE PLAN
 SCALE: 1/8" = 1'-0"



BIKE RACK
 SCALE: 1/2" = 1'-0"



TRASH ENCLOSURE GATE
 SCALE: 1/2" = 1'-0"

CITY FILE NUMBER: CPC CU 20-00101

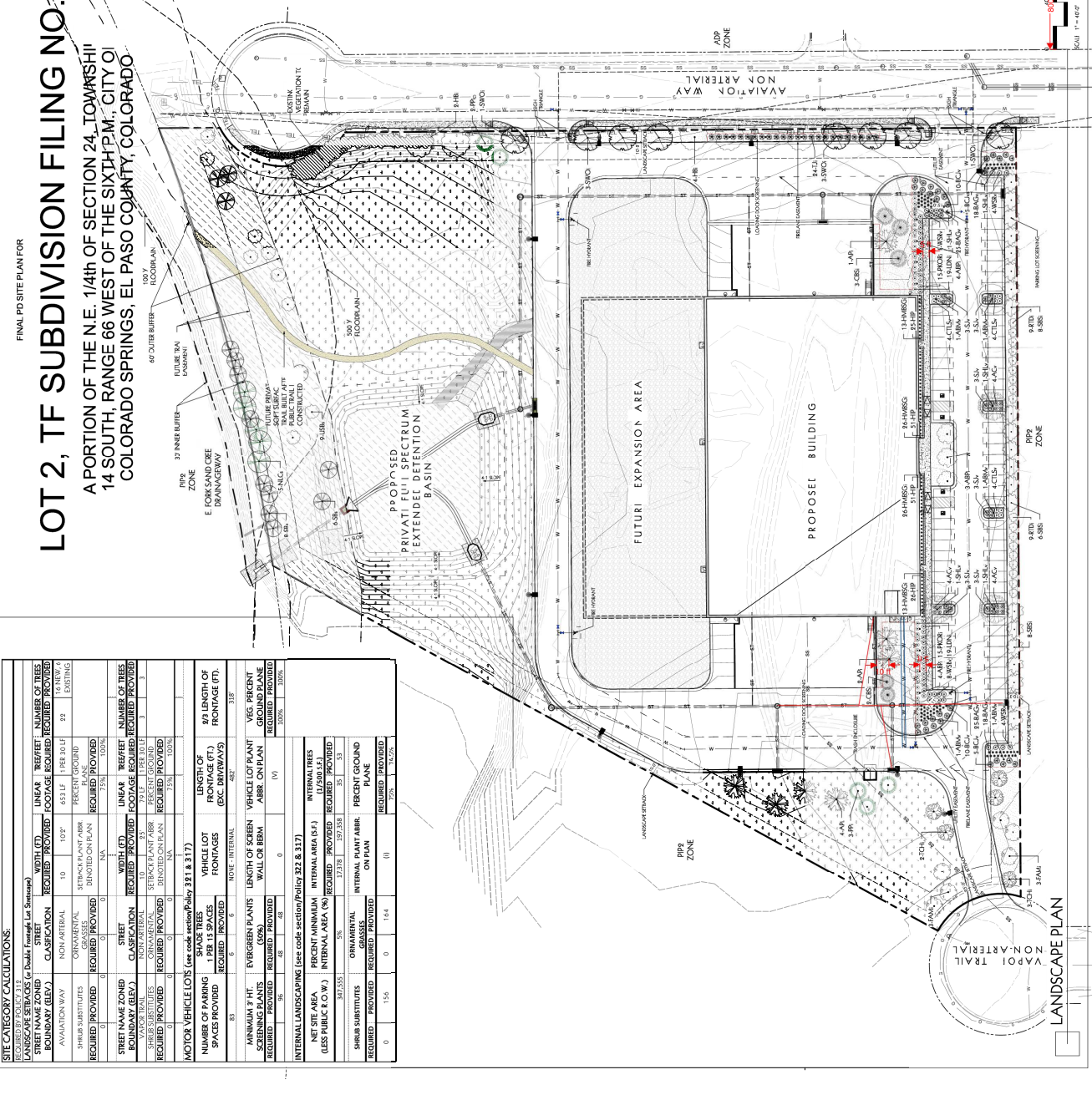
CITY APPROVAL

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- LEGEND:**
- PROPOSED SHADE TREES
 - PROPOSED ORNAMENTAL TREES
 - PROPOSED EVERGREEN TREES
 - PROPOSED SHRUBS
 - IRRIGATED SOIL: 12,491 sf
 - IRRIGATED SEED MIX: 85,275 sf
 - IRRIGATED SEED MIX (1:1 mix established seed): 99,311 sf
 - ROCK MULCH (24" Mountain Creek Mix): 11,813 sf
 - COULDER FINE SAND: 1,418 SF
 - STEEL EDGES (Green, 14 gauge, 4" x 1/2")

- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED WITHIN 90 DAYS OF THE DATE OF SUBMITTAL AND APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- IRRIGATION: AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/OR THEIR ASSIGNS.
- SOIL ANALYSIS: AT THE COMPLETION OF LANDSCAPE WORK, A SIGNED AFFIDAVIT OF ATTESTATION MUST BE SUBMITTED TO THE CITY ENGINEER AND THE CITY PLANNING DEPARTMENT, WHICH WILL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- EROSION CONTROL:
 - ALL SEEDED SLOPES EXCEEDING 4:1 SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS INSTALLED AND STAPLED ACCORDING TO MANUFACTURER RECOMMENDATIONS.
 - EROSION CONTROL BLANKETS SHALL BE BIODEGRADABLE WOOD EXCELLO ENCLOSED IN A PHOTO DEGRADABLE PLASTIC MESH - INCLUDE MANUFACTURER RECOMMENDED STEEL WIRE STAPLES, (150 MM) LONG MINIMUM.



REQUIRED BY POLICY 317:

STREET NAME ZONED	STREET CLASSIFICATION	WIDTH (FT)	LINEAR FOOTAGE	TREES (REQUIRED)	NUMBER OF TREES (PROVIDED)
AVIATION WAY	NON-ARTERIAL	10	651 LF	188 (30 LF)	83
SHRUB SUBSTITUTES	CONVEYANT	100%	PERCENT PROVIDED	PERCENT PROVIDED	PERCENT PROVIDED
STREET NAME ZONED	STREET CLASSIFICATION	WIDTH (FT) <td>LINEAR FOOTAGE <td>TREES (REQUIRED) <td>NUMBER OF TREES (PROVIDED)</td> </td></td>	LINEAR FOOTAGE <td>TREES (REQUIRED) <td>NUMBER OF TREES (PROVIDED)</td> </td>	TREES (REQUIRED) <td>NUMBER OF TREES (PROVIDED)</td>	NUMBER OF TREES (PROVIDED)
AVIATION WAY	NON-ARTERIAL	10	651 LF	188 (30 LF)	83
SHRUB SUBSTITUTES	CONVEYANT	100%	PERCENT PROVIDED	PERCENT PROVIDED	PERCENT PROVIDED

REQUIRED BY POLICY 317 & 317.1:

STREET NAME ZONED	STREET CLASSIFICATION	WIDTH (FT)	LINEAR FOOTAGE	TREES (REQUIRED)	NUMBER OF TREES (PROVIDED)
AVIATION WAY	NON-ARTERIAL	10	651 LF	188 (30 LF)	83
SHRUB SUBSTITUTES	CONVEYANT	100%	PERCENT PROVIDED	PERCENT PROVIDED	PERCENT PROVIDED

REQUIRED BY POLICY 317.1:

STREET NAME ZONED	STREET CLASSIFICATION	WIDTH (FT)	LINEAR FOOTAGE	TREES (REQUIRED)	NUMBER OF TREES (PROVIDED)
AVIATION WAY	NON-ARTERIAL	10	651 LF	188 (30 LF)	83
SHRUB SUBSTITUTES	CONVEYANT	100%	PERCENT PROVIDED	PERCENT PROVIDED	PERCENT PROVIDED

REQUIRED BY POLICY 317.1 & 317.2:

STREET NAME ZONED	STREET CLASSIFICATION	WIDTH (FT)	LINEAR FOOTAGE	TREES (REQUIRED)	NUMBER OF TREES (PROVIDED)
AVIATION WAY	NON-ARTERIAL	10	651 LF	188 (30 LF)	83
SHRUB SUBSTITUTES	CONVEYANT	100%	PERCENT PROVIDED	PERCENT PROVIDED	PERCENT PROVIDED

FINAL PD SITE PLAN FOR LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP
14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF
COLORADO SPRINGS, EL PASO COUNTY, COLORADO

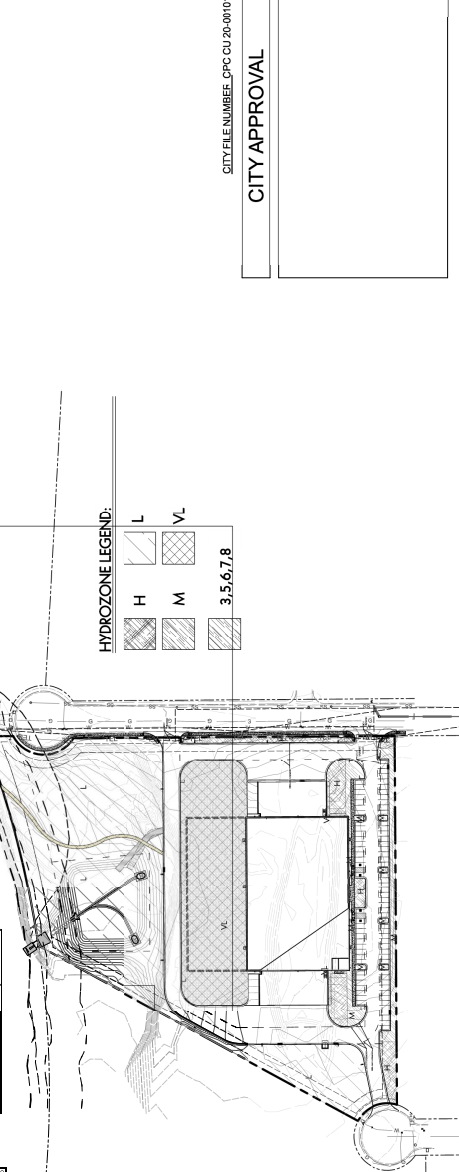
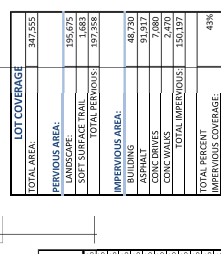
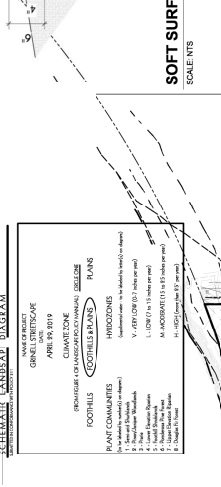
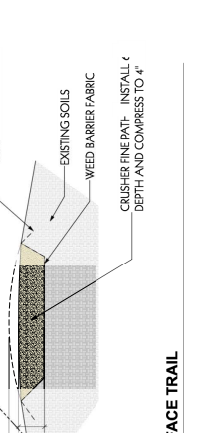
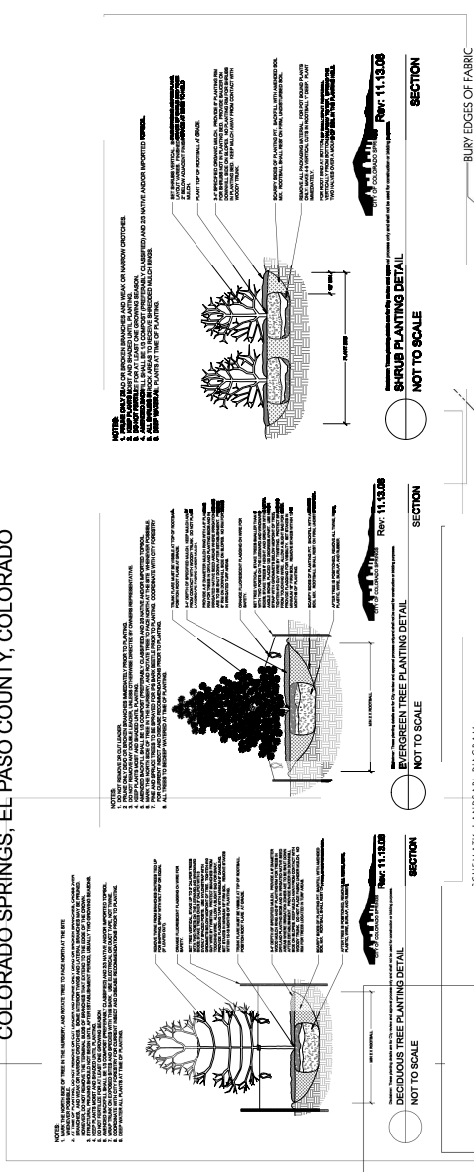
WARE MALCOMB
Leading Design for Commercial Real Estate

architect
planning
interiors
landscape
civil engineering
1300 Chippewa Street, Suite 300
Denver, CO 80202
P: 303.468.2306

BIO365
875 VAPOR TRAIL ROAD
COLORADO SPRINGS, CO

PRELIMINARY LANDSCAPE NOTES & DETAILS
DATE: 08/19/2020
DESIGNER: PLANNING SUBMITTAL
PROJECT: REMAINS
SHEET NO.: 19
JOB NO.: 19-0000-0050
SHEET
009
OF 102

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED BY ANY OTHER WORK WITHOUT WRITTEN PERMISSION BY WARE MALCOMB. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



ITEM	QUANTITY	UNIT
TOTAL AREA	347,555	SQ FT
PERVIOUS AREA:		
UNDERPAVED	195,675	SQ FT
SOFT SURFACE TRAIL	197,358	SQ FT
TOTAL PERVIOUS	393,033	SQ FT
IMPERVIOUS AREA:		
ASPHALT	68,270	SQ FT
CONCRETE	91,017	SQ FT
CONC DRIVEWAY	7,080	SQ FT
CONC WALKS	2,470	SQ FT
TOTAL IMPERVIOUS	168,837	SQ FT
TOTAL PERCENT IMPERVIOUS COVERAGE	48%	

PLANT NAME	QUANTITY	UNIT
High Plains Grass Mix	...	SQ YD
High Plains Foot Hills Grass Mix	...	SQ YD
High Plains Foot Hills Wet Meadow Mix	...	SQ YD
High Plains Foot Hills Native Seed	...	SQ YD

PLAN NOTES:

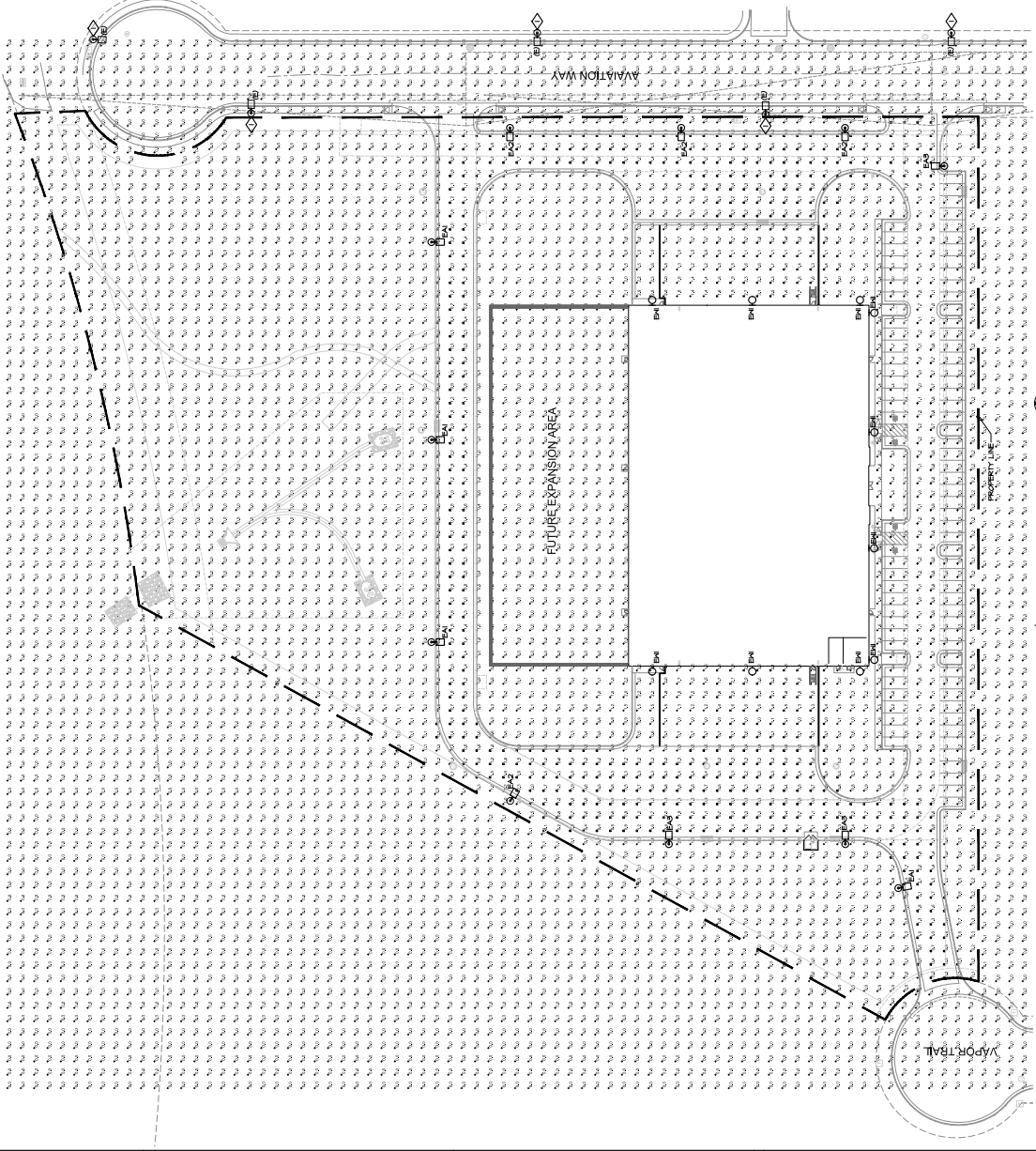
- ALL PLANT MATERIAL SHALL BE SPECIFIED IN THE AMERICAN ASSOCIATION OF UNIVERSITIES (AAU) TO NAME ON GRAIN AT THE SHAL & BULLF AN BUILDING O EQUIVALENT AL PLANT MATERIAL SHALL HAVE A 3/4" DIA TRUNK C. OTHER COMPANION MATERIALS EXCEPT BARK REMOVE FROM TRUNK AN ROD BAL C TH PLAN PROD TH PLANTINGS.
- IF THE CHAL B PLANTING MATERIAL IS NOT AVAILABLE AT THE TIME OF THE CONSTRUCTION OF THE PROJECT THE PLANTING MATERIAL SHALL BE REPLACED WITH AN EQUIVALENT PLANTING MATERIAL.
- ALL SHRUB SHALL BE PLANTED IN LESS THAN 1.5' FROM AN SURVIVAL O CURB.
- GRADE SHALL BE 2" TO ALLOW FOR PROPE DRAINAGE ANVA PROO STRUCTURES GRADE SHALL MAINTAIN SLOOT PROFILE AN B FRE O SURFAC DRAIN BUMP AN DEPRESSIONS SHALL.
- PROFINDER SHAL DRIPER TRIA TH LANDSCAPE PLANT I COORDINATE WITH TH PLAN DOWN B OTHER CONSTRUCTION AN TH TH PROPOSE GRAPING CONSTRUCTION O THE CONSTRUCTION DOF NO CONCURE NO PRECLU INSTALLATION AN MAINTENANCE O LANDSCAPE ELEMENT O THE PLAN.
- ALL SURFACES SHALL BE MULCHED WITH 3" ODC O 800' AM CLC. preshial AN B INSTALL LINE ORNAMENTA REASSE O FERRISSALS.
- PROD TH INSTALLATION O PLANT MATERIAL AREA TH MAY BEE CONTACTE O DISRUBE B CONSTRUCTION ACTIVES SHAL B THOROUGHLY DOCUMENTED ANVA SOI MAINTENANCE SHAL B INCORPORATE A TH PART O A LEAS IN O CURB YARD PRO 100 SQUARE FEET O LANDSCAP AND IF AT ALL THUR AN SHAL BE.
- IF MATCO DISTIN SO A BEA A POSSIBLE.
- ALL LANDSCAPE (P AN MATERIAL AN CHASE VIB B IRRIGATE WITH A AUTOMATIC SYSTEM THE AREA VIB ANV S SHA 7000' PLANT WITH IIR WATE REQUIREMENT AN SHOW TOGETHER IF ONE IN THY AL EITHER US O WAYS.
- CONTRACTOR SHALL USE AL MATERIAL PLANTING ANVA TH INSTALLATION ANVA AN MAINTENANCE O PLANT MATERIAL SHAL BEY FROM OPE TH QUANTITIES SPECIFIED.

CAUTION: IF THIS SHEET IS NOT 24"X36" IT IS A REDUCED PRINT



LOT 2, TF SUBDIVISION FILING NO. 1
 A PORTION OF THE N.E. 1/4TH OF SECTION 24, TOWNSHIP
 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

FINAL PD SITE PLAN FOR



1 | PHOTOMETRIC SITE PLAN
 011 SCALE: 1" = 40'-0"

WAIRE MALCOMB
 Lighting Design for Commercial and Industrial

1400 Chalmers Street Suite 500
 Denver, CO 80202
 P: 720.882.2828
 wmalcomb@wdm.com
 wmalcomb.com

LIGHTING FIXTURES

UNLESS THE TERMINUS LUMINAIRE SYMBOL IS SHOWN, ALL FIXTURES SHALL BE TYPICAL. REFERENCED WALL SWITCHES, IF SHOWN, REFERENCED WALL SWITCHES.

- DOWNLIGHT LUMINAIRE
- SURFACE LUMINAIRE
- ◻ EMERGENCY LUMINAIRE - SHOWN PROVIDE WITH INTEGRAL BATTERY BACKUP
- ◼ OUTDOOR AREA LIGHT

ABBREVIATIONS AND SYMBOLS

A	ADDRESS
AP	APPROVED FLOOR
APR	APPROVED FINISH GRADE
AU	AUTHORITY HAVING JURISDICTION
C	CORNER
E	EXISTING TO REMAIN
EC	ELECTRICAL CONNECTIONS TO BE RELOCATED
EM	EMERGENCY
GC	GENERAL CONTRACTOR
HA	HIGHWAY
LA	LANDSCAPE
L	LINE
LS	LANDSCAPE SYMBOLS - SEE GENERAL NOTES
OK	ON APPROVED SIGNAL
P	POLE
PK	PHASE
PL	PANEL
PR	PROPOSED EXISTING TO BE REMOVED
RE	RELOCATED
RS	RELOCATED SIGN
SB	UNDERGROUND
UA	UNLESS OTHERWISE NOTED
UN	UNITS ON FIRE TRANSFORMERS
V	VOLTS
W	WALLS ON FIRE TRANSFORMERS
TR	TRANSFORMER
◆	DETAIL NOTE
◇	DELTA REVISION NOTE

GENERAL NOTES

- ALL LIGHTING RELATED TO WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY AND STATE GOVERNING AUTHORITY REQUIREMENTS.
- LIGHT FIXTURES SHALL BE FULL CUTOFF.
- EXISTING LOT LIGHT POLES SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED IN THE PLAN. EXISTING CORNER HEAD POLE LIGHT FIXTURES SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED IN THE PLAN.
- LINE OF THE DEVELOPER'S PROPERTY SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED IN THE PLAN.
- RESIDENTIAL LOT LIGHT POLES SHALL NOT EXCEED 20 FT. HEIGHT.
- ALL LIGHT POLES SHALL BE ANCHORED OR TRAPPED TO THE GROUND.
- ALL LIGHT POLES SHALL BE ANCHORED OR TRAPPED TO THE GROUND.

REVISION LEGEND

DATE	DESCRIPTION
11/20/20	ISSUED FOR PERMITS
11/20/20	ISSUED FOR PERMITS
11/20/20	ISSUED FOR PERMITS
11/20/20	ISSUED FOR PERMITS
11/20/20	ISSUED FOR PERMITS

PHOTOMETRIC SITE PLAN

DATE		
REVISIONS		
NO. REVISION	DATE	DESCRIPTION
01	11/20/20	ISSUED FOR PERMITS
02	11/20/20	ISSUED FOR PERMITS

PAPER	EDITOR
DRAWING NO.	ENGR.
JOB NO.	DESIGNER/DRAWN

SHEET
011
 OF 012

BIO365
 875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO



1875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO
BIO365

DATE	
REVISIONS	
BY	
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BY	
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PHOTOMETRIC DETAILS

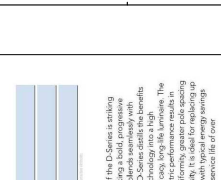
DATE: 08/14/2020
 DRAWING SUBMITTED: 08/14/2020
 DRAWING NUMBER: 1875 VAPOR TRAIL ROAD
 REVISIONS: 01

PAPER: EDR
 DRAWING BY: ENK
 JOB NO.: 1875 VAPOR TRAIL ROAD

SHEET: 012 OF 012



875 VAPOR TRAIL ROAD
 COLORADO SPRINGS, CO
BIO365



Introduction
 The modern styling of the D-Series lighting statement even as it blends seamlessly with the look of the latest in LED technology. High performance, high efficiency, long lifetime. The lighting fixture is designed to be installed in a size with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 100,000 hours.

Specifications
 DIM: 24" x 24" x 12"
 Length: 24" (23.5")
 Width: 24" (23.5")
 Height: 12" (11.5")
 Mount: 1/2" (11.5")
 Pole: 1.5" (11.5")

Ordering Information

EXAMPLE: D030 LED 74 50K T3M 1000L SVA 1142RZ 21R1M 02B00

Code	Description	Options
030	LED	030 Superstar
74	74 50K T3M	74 74 50K T3M
1000L	1000 Lumens	1000 1000 Lumens
SVA	Standard Voltage	SVA Standard Voltage
1142RZ	1142 Recessed	1142 1142 Recessed
21R1M	21 Recessed	21 21 Recessed
02B00	02 Baffle	02 02 Baffle

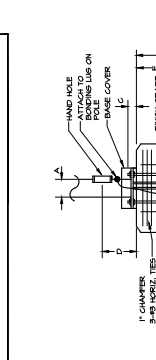


FINAL PD SITE PLAN FOR
LOT 2, TF SUBDIVISION FILING NO. 1

A PORTION OF THE N.E. 1/4th OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

LIGHTING FIXTURE SCHEDULE	MANUFACTURER	DESCRIPTION	QUANTITY	DATE	USE	REMARKS
1. LED AREA LIGHTING - 24\"/>						

NOTES:
 A. ALL SUBSTRATE AND LED LAMPS TO BE BUCK COLOR TRANSPARENT AND A MINIMUM OF 3000 HOURS NOTED OTHERWISE.
 B. ALL SUBSTRATE LAMPS MUST UTILIZE DOUBLE LAMPS AND CERTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A MINIMUM OF 3000 HOURS NOTED OTHERWISE.
 C. ALL SUBSTRATE LAMPS MUST UTILIZE DOUBLE LAMPS AND CERTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A MINIMUM OF 3000 HOURS NOTED OTHERWISE.
 D. PROVIDE LAMPS WITH EMERGENCY BATTERY BALLASTS, UNLESS OTHERWISE NOTED. EMERGENCY LAMPS SHALL BE MANUFACTURED TO THE MANUFACTURER'S SPECIFICATIONS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL EMERGENCY LAMPS SHALL HAVE A FACTORY INSTALLED 90 MINUTE BATTERY BALLAST TO THE UN-DETECTED LAMP OF THE LIGHTING CIRCUIT INSTALLED.
 E. PROVIDE FINISH WITH GROUND/NEUTRAL PROTECT TO GROUNDING.



TOP VIEW

POLE DIA. AT BASE	A	B	C	D	E	F	G	H	I
EA	20\"/>								

CITY FILE NUMBER: CPC CU 24-00101
CITY APPROVAL