

# CREEKWALK RESIDENTIAL PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## GENERAL NOTES

- THIS PROJECT IS LOCATED WITHIN THE BOUNDARIES OF THE IVYWILD NEIGHBORHOOD MASTER PLAN, THE SOUTH NEVADA AVENUE URBAN RENEWAL AREA, AND IS SUBJECT TO THE SNA DEVELOPMENT LLC URBAN RENEWAL DEVELOPMENT AGREEMENT.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- THE IRRIGATION AND LANDSCAPING ON-SITE WITHIN THE PROJECT BOUNDARIES WILL BE MAINTAINED BY THE CREEKWALK METROPOLITAN DISTRICT, WHICH IS CURRENTLY UNDER FORMATION. THIS INCLUDES PARKING LOT ISLANDS, BUILDING LANDSCAPES, THE SECTIONS OF STREETScape ALONG EAST RAMONA AVENUE AND ALONG THE NORTH SIDE OF EAST ST. ELMO AVENUE, ANY PROPOSED CREEK IMPROVEMENTS ALONG CHEYENNE CREEK, AND THE PUBLIC TRAIL.
- ALL EXISTING CURB AND GUTTER POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG EAST RAMONA AVENUE, EAST ST. ELMO AVENUE, AND SOUTH NEVADA AVENUE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.)
- DRAINAGE, GRADING, AND WATER QUALITY RELATED FEATURES WILL BE PROVIDED THROUGH THE DRAINAGE PLANS.
- PARKING REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON THE NUMBER OF PROJECTED UNITS AND BEDROOMS PER SECTION 7.4.203 OF THE CITY CODE. IF THE MIX OF MULTI-FAMILY UNITS AT TIME OF BUILDING PERMIT HAS PARKING REQUIREMENTS GREATER THAN SHOWN ON THIS PLAN, IT IS UNDERSTOOD THAT A MODIFICATION OR AMENDMENT TO THIS PLAN SHALL BE REQUIRED.
- ALL PEDESTRIAN AND STREET CROSSINGS WILL BE PER CITY STANDARDS.
- A SEPARATE SIGN PERMIT IS REQUIRED. ALL SIGNAGE WILL COMPLY WITH SNURD DESIGN STANDARDS. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
- EXISTING UTILITY EASEMENTS WILL REMAIN WITH VACATION ORDINANCE #21-89 RECORDED UNDER RECEPTION NUMBER 22714865. THEY WILL BE ADMINISTRATIVELY REMOVED ONCE THE INFRASTRUCTURE IS ABANDONED AND OR REMOVED.
- FINAL ARCHITECTURAL PLANS AT TIME OF BUILDING PERMIT MUST SUBSTANTIALLY COMPLY WITH THE PROPOSED FOOTPRINT AND ELEVATIONS SHOWN ON THIS DEVELOPMENT PLAN. SUBSTANTIAL CHANGES TO THE ARCHITECTURAL LAYOUT, INCLUDING CHANGES TO THE PARKING STRUCTURE AND GARAGE ACCESS POINTS, SHALL REQUIRE AN AMENDMENT TO THIS DEVELOPMENT PLAN.
- STOOPS, PATIO RAILINGS, ROOF LINES, OTHER STANDARD ARCHITECTURAL FEATURES AND PUBLIC ART ATTACHED TO THE FACADE MAY PROJECT OUTWARD FROM THE PROPOSED FOOTPRINT SHOWN ON THIS PLAN, BUT SHALL NOT ENCROACH INTO THE PUBLIC RIGHT-OF-WAY. ARCHITECTURAL FEATURES PROJECTING INTO THE STREAMSIDE OVERLAY OUTER BUFFER MAY NOT EXCEED 25% OF THE TOTAL AREA OF THE OUTER BUFFER. SEE STREAMSIDE NOTES ON SHEET 10 OF THIS DEVELOPMENT PLAN.
- THIS SITE PROPOSES WATER QUALITY TREATMENT PRIOR TO RELEASING IT INTO THE STREAMSIDE.
- THE PROPOSED PARKING GARAGE IS FOR THE PRIVATE USE OF RESIDENTS AND WILL BE ACCESSED BY FOBS.
- A TRAFFIC STUDY PERTAINING TO THE IMPACTS OF THIS DEVELOPMENT ON THE ADJACENT ROADWAY SYSTEM IS BEING REVIEWED CONCURRENTLY WITH THIS DEVELOPMENT PLAN. SEE FILE NUMBER COPN-22-0025.
- IMPROVEMENTS TO THE CHEYENNE CREEK CORRIDOR WILL BE COMPLETED WITH THIS DEVELOPMENT. THE CHEYENNE CREEK CHANNEL IMPROVEMENTS ARE UNDER CONCURRENT REVIEW WITH THE ARMY CORPS OF ENGINEERS AND FINAL DESIGN IS PENDING. FINAL DESIGN OF THE CREEK CHANNEL IMPROVEMENTS AND STREAMSIDE OVERLAY PLANTINGS WILL BE PROVIDED WITH FUTURE CONSTRUCTION DOCUMENTS.

## BASIS OF BEARING:

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983(2011). THE BEARING OF THE LINE BETWEEN NATIONAL GEODETIC SURVEY (NGS) STATIONS JOHNSON (PID-DE5606), FOUND STAINLESS STEEL ROD ENCLOSED IN A 6-INCH PVC PIPE WITH LID) AND Y 395 (PID-JK0841), FOUND STAINLESS STEEL ROD ENCLOSED IN A 6-INCH PVC PIPE WITH LID) IS NORTH 38° 37' 41" EAST A DISTANCE OF 7,478.00 FEET.

BEING A TRACT OF LAND IN THE NORTHWEST ONE-QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH/ P.M., CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

## LEGAL DESCRIPTION

BEGINNING AT THE NORTHWEST CORNER OF TRACT A AS DEPICTED ON THE PLAT TITLED "CREEKWALK FILING 1" RECORDED AT RECEPTION NUMBER 227214933 IN THE RECORDS OF THE EL PASO COUNTY CLERK & RECORDER'S OFFICE FROM WHENCE SAID NGS POINT Y 395 BEARS NORTH 71° 28' 22" EAST A DISTANCE OF 5,181.51 FEET AND NGS POINT JOHNSON BEARS SOUTH 03° 20' 19" WEST A DISTANCE OF 4,202.62 FEET, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF EAST RAMONA AVENUE AS DESCRIBED ON THE "PLAT OF IVYWILD" RECORDED ON FEBRUARY 1, 1888 IN BOOK A AT PAGE 115, ALSO IN THE RECORDS OF SAID COUNTY;

THENCE ALONG THE WEST LINE OF SAID TRACT A THE FOLLOWING FOUR (4) COURSES:

- SOUTH 01° 06' 11" EAST A DISTANCE OF 171.18 FEET;
- SOUTH 72° 38' 08" WEST A DISTANCE OF 3.00 FEET;
- SOUTH 88° 53' 48" WEST A DISTANCE OF 9.46 FEET;
- SOUTH 01° 06' 12" EAST A DISTANCE OF 296.07 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF EAST ST. ELMO AVENUE AS DESCRIBED IN SAID "PLAT OF IVYWILD";

THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID EAST ST. ELMO AVENUE SOUTH 88° 22' 27" WEST A DISTANCE OF 453.71 FEET TO THE SOUTHEAST CORNER OF TRACT B OF THE PLAT TITLED "IVYWILD TOWNHOMES" RECORDED AT RECEPTION NUMBER 220714547 IN THE RECORDS OF SAID COUNTY;

THENCE CONTINUING ALONG THE COINCIDENT LINE OF SAID RIGHT-OF-WAY AND THE SOUTH LINE OF TRACT B SOUTH 88° 22' 27" WEST A DISTANCE OF 56.99 FEET TO THE SOUTHWEST CORNER THEREOF, ALSO BEING THE SOUTHEAST CORNER OF TRACT F OF "IVYWILD TOWNHOMES";

THENCE CONTINUING ALONG THE COINCIDENT LINE OF SAID RIGHT-OF-WAY AND THE SOUTH LINE OF TRACT F SOUTH 88° 22' 27" WEST A DISTANCE OF 12.50 FEET TO THE SOUTHWEST CORNER THEREOF;

THENCE ALONG THE WEST LINE OF SAID TRACT F THE FOLLOWING SIX (6) COURSES:

- NORTH 03° 05' 39" WEST A DISTANCE OF 115.96 FEET;
- NORTH 17° 43' 59" EAST A DISTANCE OF 16.85 FEET;
- NORTH 13° 20' 05" EAST A DISTANCE OF 26.22 FEET;
- NORTH 00° 58' 42" EAST A DISTANCE OF 24.83 FEET;
- NORTH 04° 55' 49" WEST A DISTANCE OF 9.67 FEET;
- NORTH 30° 10' 35" EAST A DISTANCE OF 9.41 FEET TO THE NORTHWEST CORNER THEREOF;

THENCE ALONG THE NORTH LINE OF SAID TRACT F NORTH 88° 26' 40" EAST A DISTANCE OF 14.70 FEET THE NORTHEAST CORNER THEREOF, ALSO BEING THE NORTHWEST CORNER OF SAID TRACT B;

THENCE CONTINUING ALONG THE NORTH LINE OF SAID TRACT B NORTH 88° 26' 40" EAST A DISTANCE OF 37.40 FEET TO THE NORTHEAST CORNER THEREOF; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE WEST LINE OF "METZLER'S SUBDIVISION" RECORDED NOVEMBER 5, 1923 IN BOOK P AT PAGE 4 IN THE RECORDS OF SAID COUNTY;

- NORTH 00° 44' 47" EAST A DISTANCE OF 30.74 FEET;
- NORTH 36° 02' 10" EAST A DISTANCE OF 28.26 FEET;
- NORTH 36° 02' 10" EAST A DISTANCE OF 74.48 FEET;
- NORTH 57° 57' 36" EAST A DISTANCE OF 69.19 FEET TO THE NORTHWEST CORNER OF LOT 9, BLOCK A OF SAID "METZLER'S SUBDIVISION", ALSO BEING THE SOUTHWEST CORNER OF THE NORTH HALF OF LOT 2, BLOCK 2 OF SAID "PLAT OF IVYWILD";

THENCE THE FOLLOWING TWO (2) COURSES ALONG THE WEST OF LINE OF SAID "PLAT OF IVYWILD";

- NORTH 58° 03' 37" EAST A DISTANCE OF 84.61 FEET;
- NORTH 43° 29' 36" EAST A DISTANCE OF 117.11 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID EAST RAMONA AVENUE;

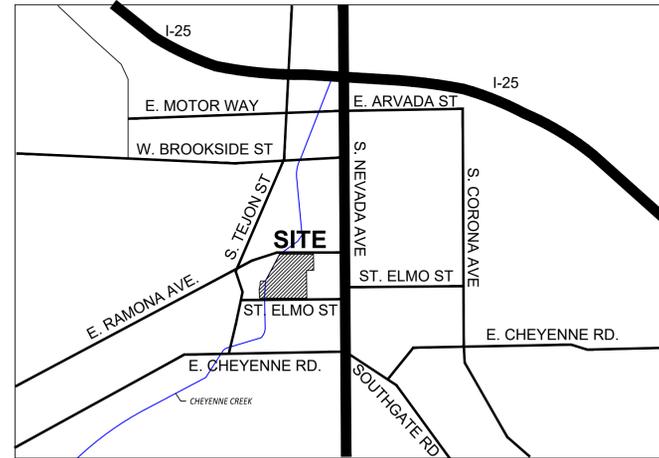
THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID EAST RAMONA AVENUE NORTH 89° 33' 14" EAST A DISTANCE OF 193.10 FEET TO THE POINT OF BEGINNING.

THE AREA DESCRIBED HEREIN CONTAINS A TOTAL OF 198,566 SQUARE FEET OR 4.5584 ACRES, MORE OR LESS.

TO BE PLATTED AS CREEKWALK RESIDENTIAL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



VICINITY MAP

## SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	COLORADO SPRINGS STANDARD DETAILS
4	PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN
5	PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN
6	PRELIMINARY GRADING PLAN
7	PRELIMINARY LANDSCAPE PLAN
8	LANDSCAPE NOTES
9	LANDSCAPE DETAILS
10	LAND SUITABILITY ANALYSIS
11	ARCHITECTURE EXHIBIT
12	PARKING GARAGE CONCEPT
13	ARCHITECTURE ELEVATIONS
14	ARCHITECTURE ELEVATIONS

## CONTACTS:

**OWNER/DEVELOPER:**  
CREEKWALK NORTH LLC  
90 S CASCADE AVE, SUITE 1500  
COLORADO SPRINGS, CO 80903  
TEL: (719) 475-7621  
CONTACT: DANNY MIENTKA

**PLANNER, ENGINEER AND LANDSCAPE ARCHITECT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NEVADA NORTH AVE., SUITE 900  
COLORADO SPRINGS, CO 80903  
TEL: (719) 453-0182  
CONTACT: JIM HOUK, PLA

**SURVEYOR:**  
COMPASS SURVEYING AND MAPPING, LLC  
3279 W. CAREFREE CIR.  
COLORADO SPRINGS, CO 80917  
TEL: (719) 354-4120  
CONTACT: ERIC WHITE

## PARKING COUNTS

USE	PARKING RATIO	UNITS	PARKING REQUIRED	PARKING REDUCTIONS	PARKING PROVIDED
MULTI-FAMILY RESIDENTIAL	1.5 PARKING STALLS REQUIRED PER 1 DWELLING UNIT*	400 UNITS	600 (540 AFTER REDUCTION)	-5% PUBLIC TRAIL -5% BUS STOP	548
ACCESSIBLE SPACES	2% OF TOTAL STALLS PROVIDED (548 STALLS PROVIDED)		11 (2 VAN)	N/A	17 (4 VAN)

\* PARKING REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON THE NUMBER OF PROJECTED UNITS AND BEDROOMS PER SECTION 7.4.203 OF THE CITY CODE. IF THE MIX OF MULTI-FAMILY UNITS AT TIME OF BUILDING PERMIT HAS PARKING REQUIREMENTS GREATER THAN SHOWN ON THIS PLAN, IT IS UNDERSTOOD THAT A MODIFICATION OR AMENDMENT TO THIS PLAN SHALL BE REQUIRED.

## PROJECT DESCRIPTION:

CREEKWALK IS A MIXED COMMERCIAL AND RESIDENTIAL PROJECT WITHIN THE SOUTH NEVADA URBAN RENEWAL DISTRICT. THE PROJECT EMBRACES CHEYENNE CREEK TO THE WEST WITH CREEK IMPROVEMENTS, TRAILS, OPEN SPACE AND PUBLIC ART. CREEKWALK FILING NO. 2 IS A MULTI-FAMILY RESIDENTIAL DEVELOPMENT THAT PROPOSES 378 DWELLING UNITS ALONG THE CHEYENNE CREEK CORRIDOR.

## SITE DATA

SITE AREA:	198,566 SQ. FT. OR 4.56 ACRES MORE OR LESS
EXISTING ZONING:	C5 SS & R5 SS
PROPOSED ZONING:	PUD SS (ORD. NO. _____)
PROPOSED DENSITY:	87.72 DU/AC
PROPOSED BUILDING HEIGHT:	85'
PROPOSED PUD LAND USE:	MULTI-FAMILY RESIDENTIAL
JURISDICTION:	CITY OF COLORADO SPRINGS
TAX SCHEDULE NO.:	6430209003, 6430209077, 6430209071, 6430209072, 6430209078, 6430209079, 6430209074, 6430209080, 6430209029, 6430210008, 6430210009, 6430210005, 6430210007, 6430209061, 6430209065
BUILDING SETBACKS:	20' FRONT SETBACK (RAMONA AVE.) 5' SIDE SETBACK 10' REAR SETBACK (ST. ELMO AVE.)
MAXIMUM LOT COVERAGE:	N/A
SITE COVERAGE:	BUILDING - 49% PAVEMENT - 16% LANDSCAPING - 35%
CONCEPT PLAN:	CREEKWALK CONCEPT PLAN (COPN-22-0025)
MASTER PLAN:	IVYWILD NEIGHBORHOOD MASTER PLAN (CPC MP 93-176-A5MN21)
URBAN RENEWAL AREA:	SOUTH NEVADA URBAN RENEWAL DISTRICT
APPLICABLE STANDARDS:	SOUTH NEVADA URBAN RENEWAL DESIGN STANDARDS
APPROX. DEVELOPMENT SCHEDULE:	2024-2026

## BUILDING DATA

TOTAL GROSS BUILDING AREA:	97,649 SF
BUILDING HEIGHT:	
PROPOSED RESIDENTIAL:	85'-0" (7 STORIES ABOVE GRADE)
PROPOSED PARKING GARAGE:	36'-0" (3 STORIES ABOVE GRADE)
MAXIMUM PER CONCEPT PLAN:	MAXIMUM PER CONCEPT PLAN: 85'-0"

\*NOTE: HVAC SYSTEMS AND OTHER ROOF MOUNTED EQUIPMENT MAY NOT EXCEED THE 85' MAXIMUM HEIGHT LIMIT.

## FLOODPLAIN

- PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 080410737G, DECEMBER 7, 2018.
- PORTIONS OF THE CHANNEL AND FLOODPLAIN WITHIN THIS SITE HAVE BEEN IMPROVED PER AN EXISTING LOWR, CASE NO. 21-08-0112P

## GEO-HAZARD STATEMENT:

- THIS PROPERTY WAS SUBJECT OF ON-SITE GEOLOGIC HAZARD EVALUATION PREPARED BY CTL THOMPSON DATED OCTOBER 9, 2017. FROM THAT EVALUATION A LETTER FOR GEOLOGIC HAZARD WAVIER WAS SUBMITTED AND ACCEPTED AS PART OF THE CONCEPT PLAN UNDER CITY FILE NUMBER CPC ZC 18-00096, CPC CP 18-00097. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 105 COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW THIS REPORT.

## TRACT/LOT TABLE

TRACT/LOT	OWNERSHIP/MAINTENANCE	PERMITTED USES	AREA (SF)
TRACT A	CREEKWALK METRO DISTRICT	LANDSCAPING, DRAINAGE, PUBLIC IMPROVEMENTS, STORMWATER DETENTION, PARKING, PUBLIC TRAIL	18,105
TRACT B	CREEKWALK METRO DISTRICT	LANDSCAPING, OPEN SPACE, PUBLIC IMPROVEMENTS, PUBLIC TRAIL	54,776
LOT 1	TO BE MAINTAINED BY PROPERTY OWNER AND/OR THEIR ASSIGNS	MULTI-FAMILY RESIDENTIAL	125,684

## CITY APPROVAL:



COVER SHEET  
SHEET 1 OF 14

# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

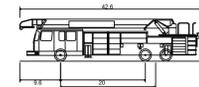
SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



**CONTECHES "CONNECTOR PEDESTRIAN BRIDGE TRUSS"**  
 \*NOTE: DETAILED LAYOUT TO BE PROVIDED WITH FUTURE CONSTRUCTION DOCUMENTS

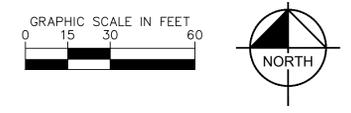
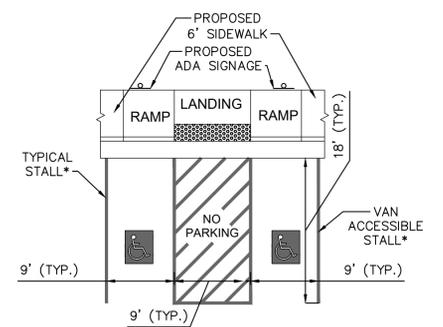
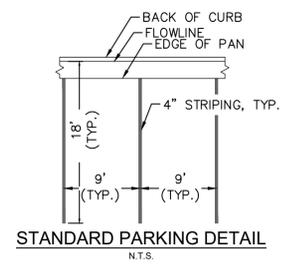
**LINE AND CURVE TABLE**

LINE	BEARING	DISTANCE
L1	S 72°38'08" W	3.00
L2	S 88°53'48" W	9.46
L3	N 04°55'49" W	9.67
L4	N 30°10'35" E	9.41

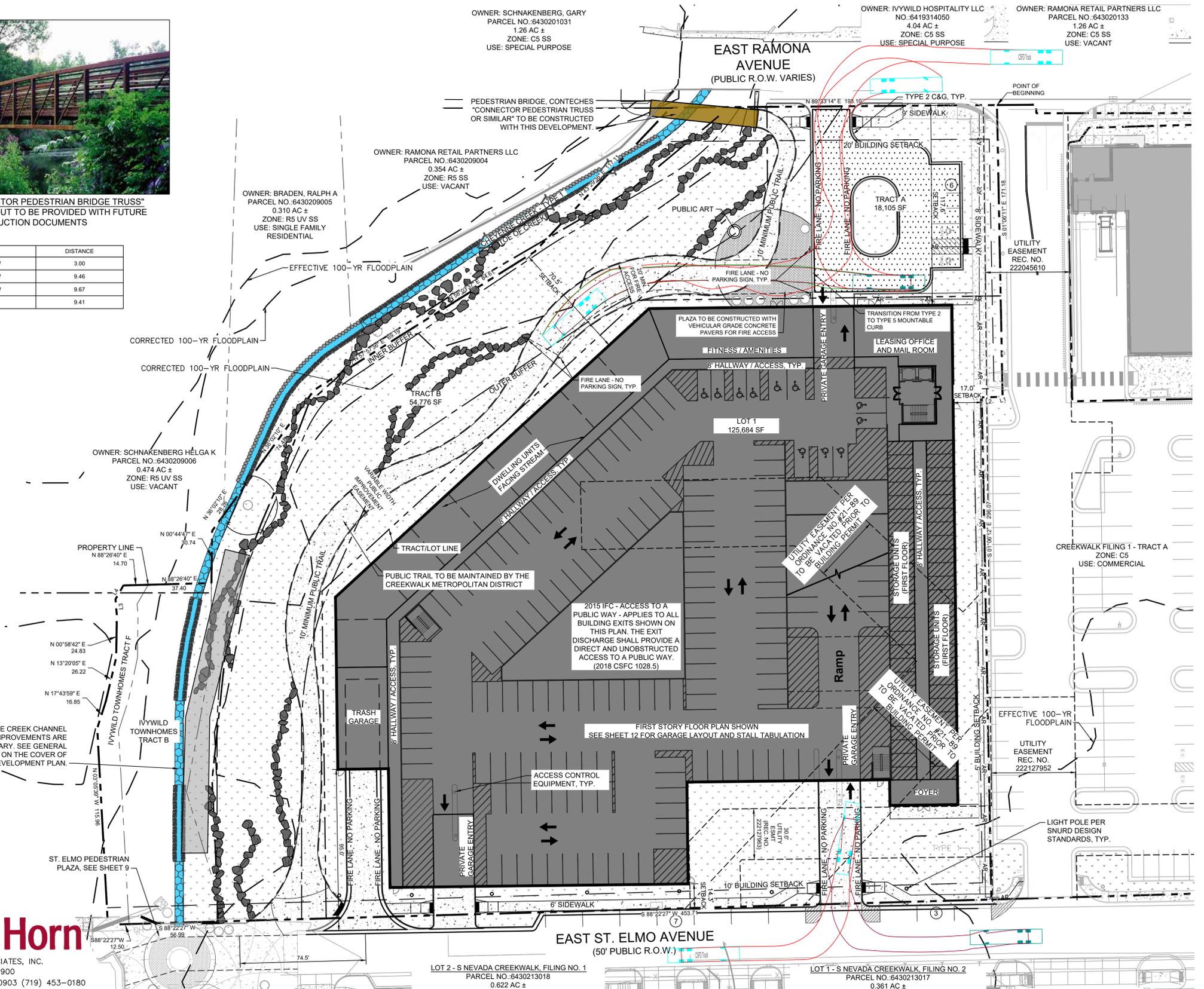


CSFD Truck  
 Overall Length: 42.600ft  
 Overall Width: 8.420ft  
 Track Width: 8.170ft  
 Lock-to-lock time: 5.00s  
 Max Steering Angle (Virtual): 44.00°  
 NOTE: FIRE TRUCK TURNING EXHIBITS DISPLAYED ON THIS SHEET ARE BASED OFF OF THE ABOVE TRUCK DATA

- LEGEND:**
- PROPOSED SIDEWALK / TRAIL
  - PROPOSED LANDSCAPE AREA
  - EXISTING SIDEWALK
  - PROPERTY LINE
  - LOT / TRACT LINE
  - STREAMSIDE OVERLAY BUFFERS
  - ACCESSIBILITY ROUTE



**CITY APPROVAL:**



© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 NORTH NEVADA AVENUE, SUITE 900  
 COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

**SITE PLAN SHEET 2 OF 14**

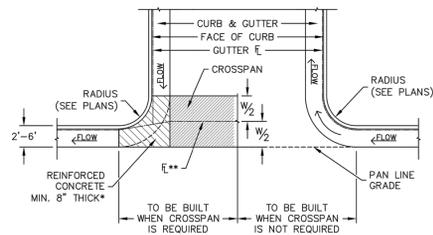
# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. FOR CITY PERMITS CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
- PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS, AND USE A CITY APPROVED CONCRETE MIX.
- 1-INCH DEEP TOOL JOINTS SHALL BE INSTALLED AT 10-FOOT SPACING.
- A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW SHALL BE APPLIED TO ALL GUTTER PANS.
- THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE A MINIMUM EVERY 100-FEET OR FRACTION THEREOF ON FRONT FACE OF CURB.
- NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
- ALL CURB TRANSITIONS (ONE TYPE TO ANOTHER) WILL BE 10-FOOT UNLESS OTHERWISE NOTED.
- CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
- WHITE CURE SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.
- GUTTER IN/OUT SLOPES AT CURB CUTS FOR CURB RAMPS SHALL BE LESS THAN 5% AND BE A.D.A. COMPLIANT (SEE CURB RAMP DETAILS).
- CURB ENDINGS SHALL BE PLACED WHERE CURB AND GUTTER DEAD-ENDS.
- CURB CUTS FOR DRIVEWAYS ARE SHOWN ON THE DRIVEWAY DETAILS.

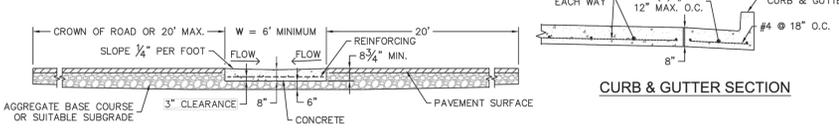
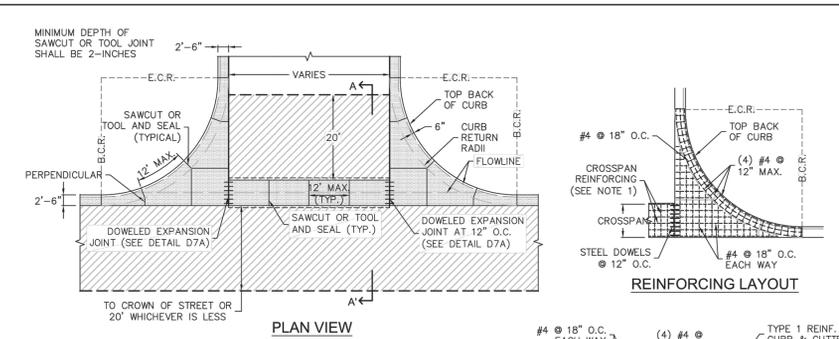


\*THIS AREA SHALL BE POURED MONOLITHICALLY WITH CURB AND GUTTER AND PAID FOR AS REINFORCED CONCRETE 8\"/>

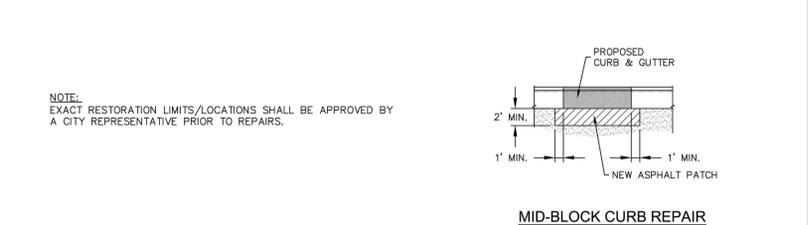
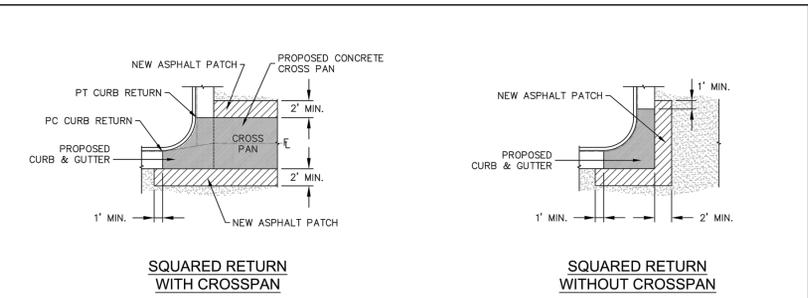
\*\*FLOW LINE IN CROSSSPAN ESTABLISHED BY W/2.

CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION

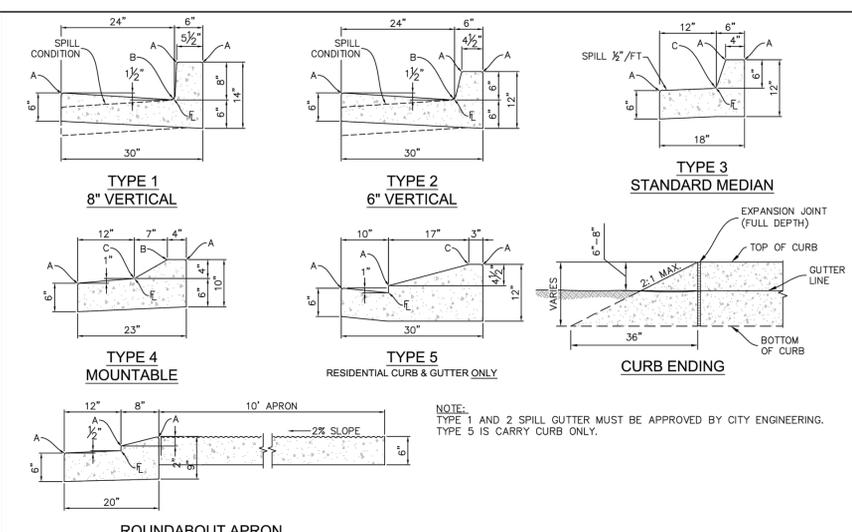
<b>CURB &amp; GUTTER GENERAL NOTES &amp; DETAILS</b>		
APPROVED: <i>Jayla Sturdivant</i>		
CITY ENGINEER		
ISSUED: 2/28/20	REVISED:	DRAWING NO. 8A



<b>CROSS PAN</b>		
APPROVED: <i>Jayla Sturdivant</i>		
CITY ENGINEER		
ISSUED: 8/4/21	REVISED:	DRAWING NO. 07B



<b>MID-BLOCK CURB REPAIR</b>		
APPROVED: <i>Jayla Sturdivant</i>		
CITY ENGINEER		
ISSUED: 2/28/20	REVISED:	DRAWING NO. 08

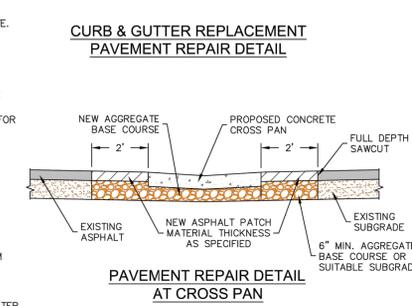
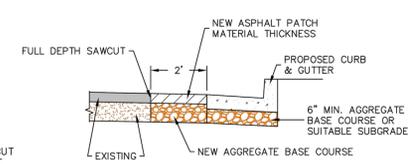


RADI LEGEND	
A	1/4" - 1/2"
B	1 1/2"
C	1 1/2" - 2"

<b>CURB &amp; GUTTER DETAILS</b>		
APPROVED: <i>Jayla Sturdivant</i>		
CITY ENGINEER		
ISSUED: 2/28/20	REVISED:	DRAWING NO. 08

**General Notes:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. FOR CITY PERMITS CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
- PRIOR TO CUTTING INTO A ROADWAY, A MEETING IS REQUIRED WITH CITY ENGINEERING.
- HOT MIX ASPHALT (ASPHALT PAVING MATERIAL) SHALL MEET THE REQUIREMENTS OF THE PIKES PEAK ASPHALT SPECIFICATION AND BE AN APPROVED CITY MIX.
- EXISTING PAVEMENT MAY BE INITIALLY ROUGH CUT. A SQUARE, VERTICAL CUT SHALL BE MADE IN THE EXISTING ASPHALT PAVEMENT PRIOR TO PAVEMENT PLACEMENT.
- NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE REACHED A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
- A TACK COAT SHALL BE APPLIED TO ALL VERTICAL EDGES INCLUDING CONCRETE EDGES. THE TACK COAT SHALL HAVE 100% COVERAGE AND BE APPLIED BETWEEN LIFTS.
- NEW ASPHALT PATCH SHALL BE PLACED ON COMPACTED AGGREGATE BASE COURSE PER CITY STANDARDS OR CTS.
- THE NEW PAVEMENT SECTION SHALL MATCH EXISTING PAVEMENT REPORT FOR ROADWAYS WHERE THE SUBGRADE IS CHEMICALLY TREATED (CTS), CTS OR FLOW-FILL SHALL BE EQUIVALENT TO THE REQUIREMENT IN THE PAVEMENT DESIGN REPORT. A MINIMUM PAVEMENT SECTION OF:
  - A) RESIDENTIAL/COLLECTOR-.6-INCHES OF CLASS 6 AGGREGATE BASE COURSE WITH 6-INCHES OF ASPHALT PAVING MATERIAL;
  - B) ARTERIAL-.12-INCHES OF CLASS 6 AGGREGATE BASE COURSE WITH 8-INCHES OF ASPHALT PAVING MATERIAL.
- ALTERNATE REPAIR SECTIONS MAY BE APPROVED PROVIDED THEY ARE COMPLETED BY THE PAVEMENT DESIGN GEOTECHNICAL ENGINEER AND APPROVED BY CITY ENGINEERING.
- IF A PLATE TAMPER IS USED FOR COMPACTION OF ASPHALT, THE MAXIMUM LOOSE LIFT THICKNESS SHALL BE 2-INCHES.
- ANY DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED TO CITY STANDARDS.
- THESE DETAILS ARE FOR PAVEMENT CUTS LESS THAN 200-SF. CUTS GREATER THAN 200-SF SHALL BE IN CONFORMANCE WITH AN ENGINEERED DESIGN.
- CLSM (FLOW-FILL) IS REQUIRED AS BACKFILL FOR TRENCHES LESS THAN 1-FOOT IN WIDTH AND ALL CORES. CLSM SHALL NOT EXTEND INTO PAVEMENT SECTION.
- WHERE CONCRETE PAVEMENT EXISTS BELOW THE ASPHALT, NEW CONCRETE SHALL BE PLACED TO MATCH THE EXISTING CONCRETE THICKNESS.
- NEW HOT-MIX ASPHALT (ASPHALT PAVING MATERIAL) SHALL BE FLUSH TO EXISTING ASPHALT AND CONCRETE EDGES AND SHALL NOT HAVE HUMPS OR VALLEYS.



<b>ASPHALT PAVEMENT REPAIR ADJACENT TO NEW CONCRETE GENERAL NOTES &amp; DETAILS</b>		
APPROVED: <i>Jayla Sturdivant</i>		
CITY ENGINEER		
ISSUED: 2/28/20	REVISED:	DRAWING NO. 3A

- NOTES:**
- CONTRACTOR SHALL REPLACE ALL CURB AND GUTTER AND PAVEMENT THAT IS CRACKED OR DAMAGED.

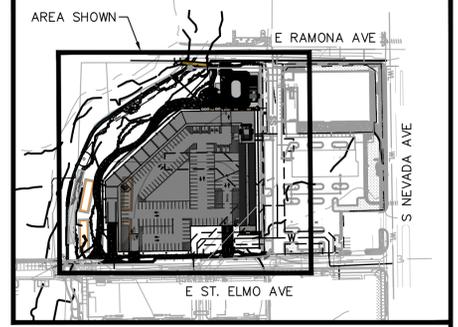
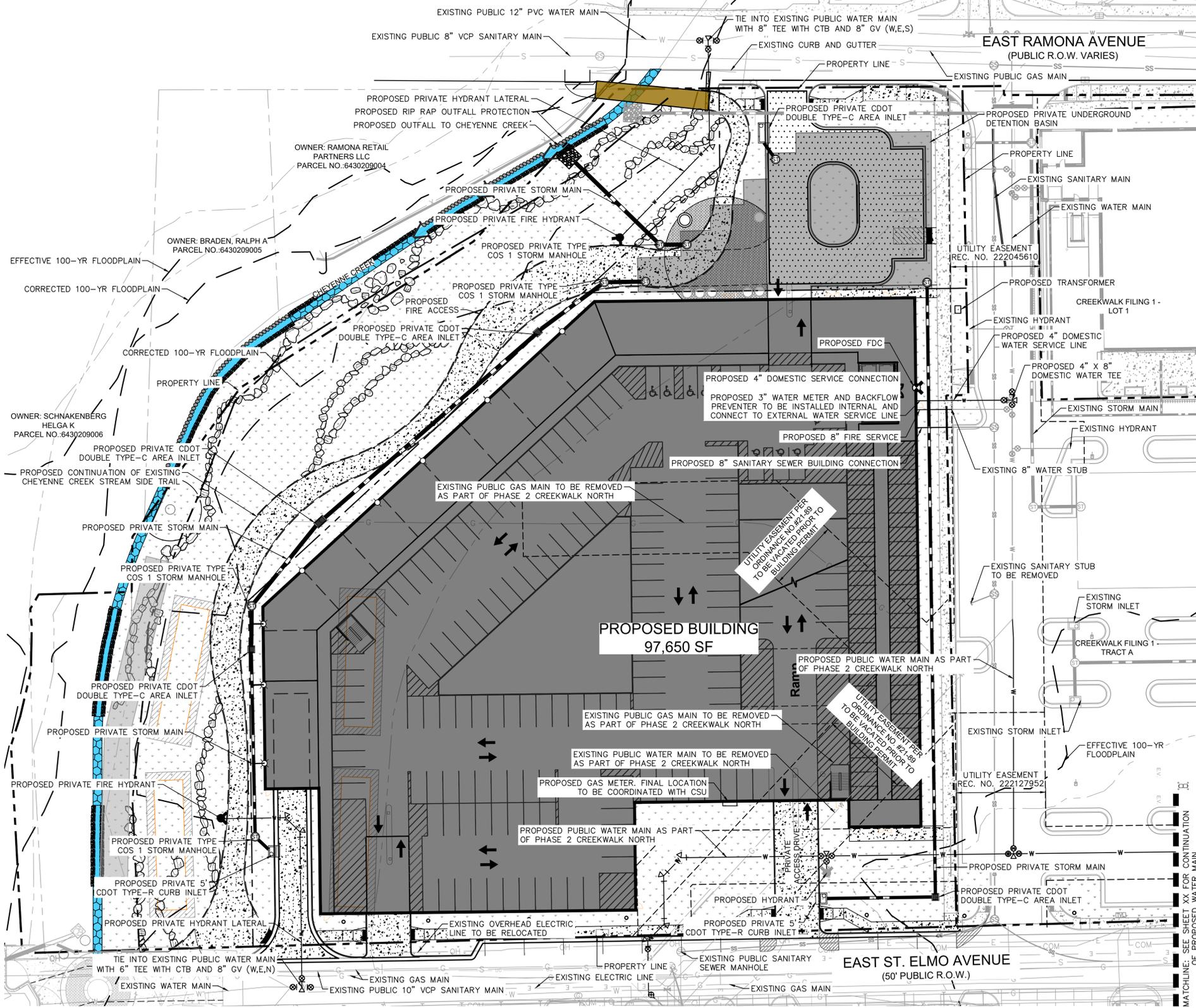
**PRELIMINARY UTILITY NOTES**

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ('OWNER') ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ('PROPERTY') SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ('STANDARDS'), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A 'FIRST-COME, FIRST-SERVED' BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

# CREEK WALK RESIDENTIAL PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



**LEGEND**

	PROPERTY LINE
	LOT LINE
	PROPOSED EASEMENT
	PROPOSED HEAVY-DUTY ASPHALT
	PROPOSED CONCRETE
	PROPOSED LANDSCAPING
	EXISTING SIDEWALK
	PROPOSED UNDERGROUND DETENTION
	PROPOSED WATER LINE AND VALVE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED POWER LINE
	PROPOSED STORM SEWER
	EX. UNDERGROUND GAS LINE
	EX. SANITARY SEWER LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. WATER LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. STORM SEWER

- GENERAL NOTES**
- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
  - UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
  - FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
  - ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
  - ALL EXISTING UTILITIES ARE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.

**CITY APPROVAL:**

**Kimley Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

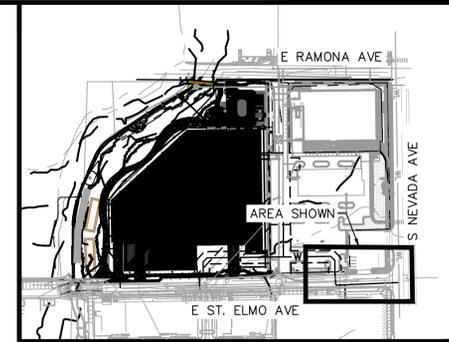
**PRELIMINARY UTILITY NOTES**

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ('OWNER') ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ('PROPERTY') SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ('STANDARDS'), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A 'FIRST-COME, FIRST-SERVED' BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT. SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES, OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

# CREEKWALK RESIDENTIAL PUD DEVELOPMENT PLAN

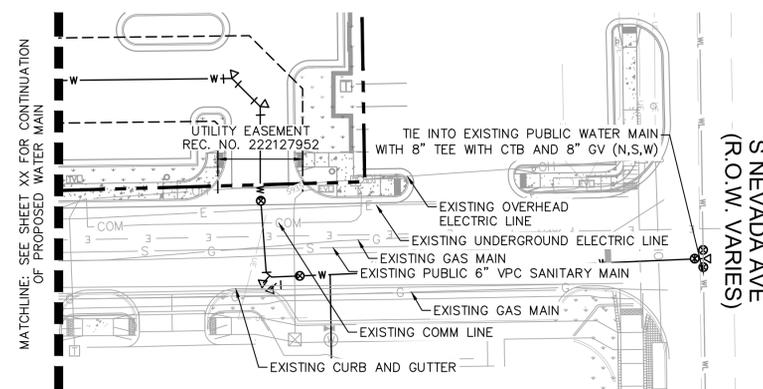
SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



**KEY MAP**  
NOT TO SCALE

**LEGEND**

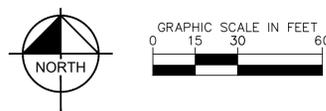
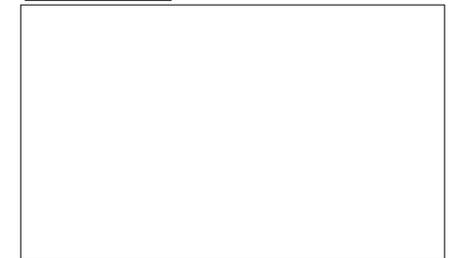
	PROPERTY LINE
	LOT LINE
	PROPOSED EASEMENT
	PROPOSED HEAVY-DUTY ASPHALT
	PROPOSED CONCRETE
	PROPOSED LANDSCAPING
	EXISTING SIDEWALK
	PROPOSED UNDERGROUND DETENTION
	PROPOSED WATER LINE AND VALVE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED POWER LINE
	PROPOSED STORM SEWER
	EX. UNDERGROUND GAS LINE
	EX. SANITARY SEWER LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. WATER LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. STORM SEWER



**GENERAL NOTES**

- NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY. COLORADO SPRINGS UTILITIES SHALL DESIGN ALL DRY UTILITY CONNECTIONS TO THE PROPOSED METER LOCATIONS.
- UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS AND CONNECTIONS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".
- FIRE LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE, AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET INSIDE THE BUILDING.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- ALL EXISTING UTILITIES ARE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.

CITY APPROVAL:



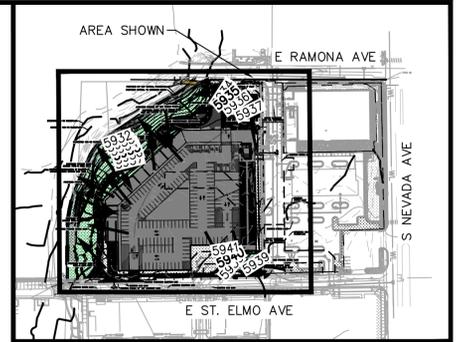
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

K:\CCS\_LA\086949003 - creekwalk - creekwalk\_west (residential)\CADD\PlanSheets\PUDD\PUDD\_UT.dwg, May 03, 2023, 11:08am

# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



KEY MAP  
NOT TO SCALE

### LEGEND

	PROPERTY LINE
	LOT LINE
	PROPOSED EASEMENT
	PROPOSED HEAVY-DUTY ASPHALT
	PROPOSED CONCRETE
	PROPOSED LANDSCAPING
	EXISTING SIDEWALK
	PROPOSED BUILDING
	(PIA) PLANNED INFILTRATION AREAS
	PROPOSED WATER LINE AND VALVE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND GAS LINE
	PROPOSED POWER LINE
	PROPOSED STORM SEWER
	EX. UNDERGROUND GAS LINE
	EX. SANITARY SEWER LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. STORM SEWER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM INLET/MANHOLE

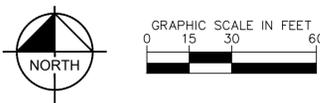
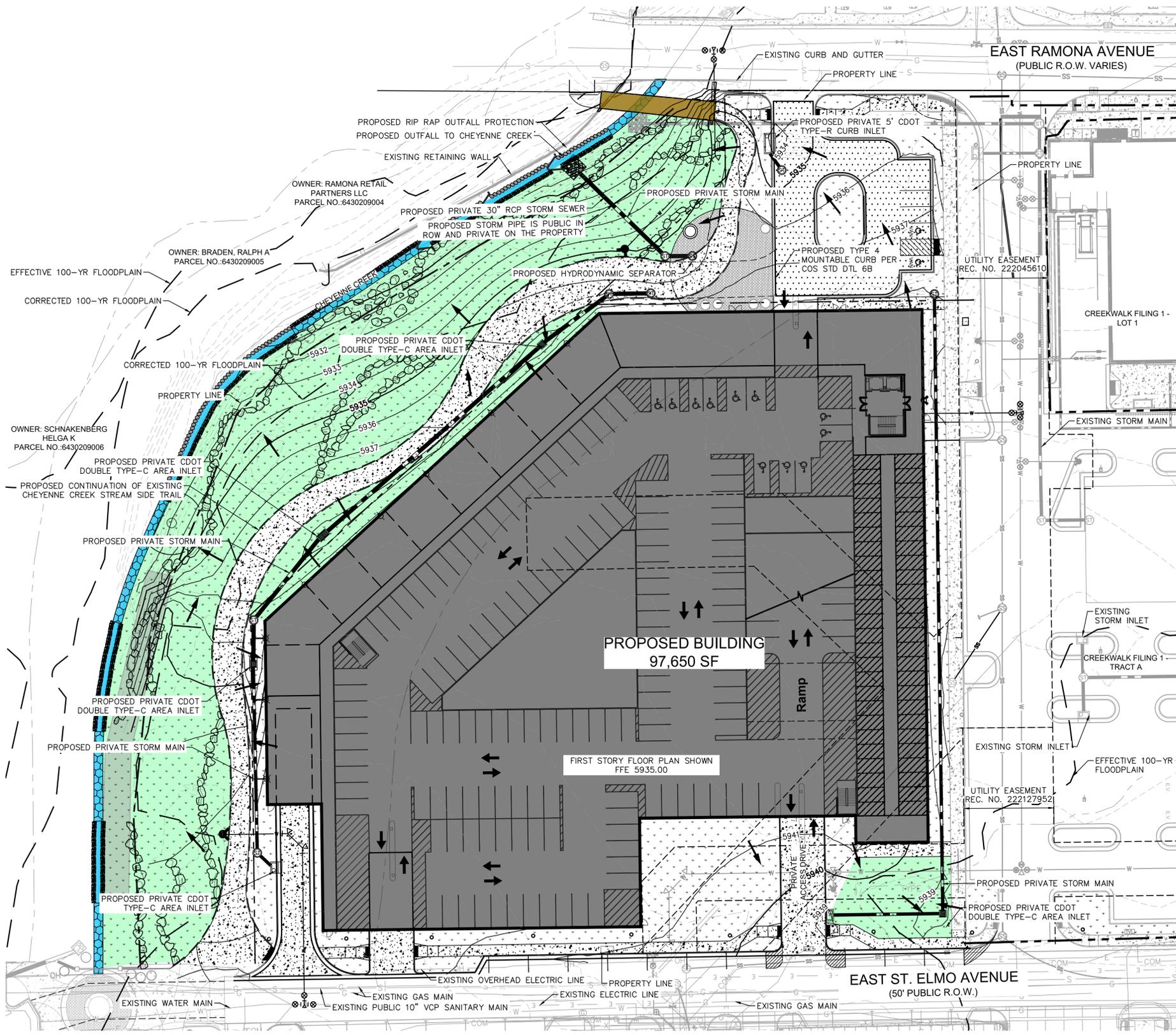
### GENERAL NOTES

1. DETAILED GRADING SHALL BE PER THE APPROVED CIVIL CONSTRUCTION DOCUMENTS.
2. ALL GRADING SHALL BE PER CITY OF COLORADO SPRINGS STANDARD DETAILS AND SPECIFICATIONS.
3. ALL PROPOSED CURB AND GUTTER TO BE COS STD DTL 6B VERTICAL PER COS STD DTL 6B UNLESS OTHERWISE NOTED.

CITY APPROVAL:



PRELIMINARY GRADING PLAN  
SHEET 6 OF 14



**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# CREEKWALK RESIDENTIAL PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

STREAMSIDE OVERLAY		
STREAM NAME - TYPE:	CHEYENNE CREEK - TYPE 1	
BUFFER NAME:	INNER BUFFER	OUTER BUFFER
BUFFER WIDTH:	20'	50'
LINEAR FOOTAGE:	622'	625'
TREE PER FEET REQ.:	1 TREE PER 20'	1 TREE PER 30'
TREES REQ. / PROV.:	32 / 32	21 / 21
SHRUB SUBSTITUTES REQ. / PROV.:	0 / 0	0 / 0
AREA WITHIN BUFFER:	12,446 SF	31,523 SF
IMPERVIOUS SURFACE ALLOWED (25% IN OB):	0 SF	7,881 SF
IMPERVIOUS SURFACE PROPOSED:	N/A	370 SF (4.7%)
PLANT ABBREVIATION DENOTED ON PLAN:	IB	OB

## PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	AC	4	AMELANCHIER CANADENSIS / SHADBLOW SERVICEBERRY	B & B	1.5" CAL MIN, 3 STEM MIN	15'-20'	15'-25'
	AGR	10	ACER GRANDIDENTATUM ROCKY MOUNTAIN GLOW / ROCKY MOUNTAIN GLOW MAPLE	B & B	2.5" CAL MIN	15'-25'	25'-35'
	ANS	3	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER	B & B	2.5" CAL MIN	20'-25'	25'-30'
	BO	16	BETULA OCCIDENTALIS / WATER BIRCH	B & B	1.5" CAL MIN, 3 STEM MIN	15'-25'	15'-30'
	CC	5	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	B & B	2.5" CAL MIN	15'-25'	15'-25'
	CF	6	CARPINUS BETULUS 'FASTIGIATA' / PYRAMIDAL EUROPEAN HORNBEAN	B & B	1.5" CAL MIN	15'-20'	25'-35'
	COC	10	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND HACKBERRY	B & B	2.5" CAL MIN	40'-50'	50'-60'
	GT	7	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEYLOCUST	B & B	2.5" CAL MIN	30'-40'	30'-40'
	PT	7	POPULUS ANGUSTIFOLIA / NARROWLEAF COTTONWOOD	B & B	2.5" CAL MIN	20'-30'	30'-50'
	PTE	16	POPULUS TREMULA 'RECTA' / SWEDISH COLUMNAR ASPEN	B & B	2.5" CAL MIN	10'-15'	35'-45'
	PVC	5	PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY	B & B	1.5" CAL MIN, 3 STEM MIN	15'-25'	20'-30'
	QE	5	QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE™ OAK	B & B	2.5" CAL MIN	15'-20'	40'-60'
	SA	7	SALIX AMYGDALOIDES / PEACH LEAF WILLOW	B & B	1.5" CAL MIN, 3 STEM MIN	25'-30'	30'-40'
	TC	4	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	B & B	2.5" CAL MIN	25'-35'	30'-40'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	JS	2	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	B & B	6" HGT.	8'-12'	20'-30'
	PA2	24	PINUS NIGRA 'ARNOLD SENTINEL' / ARNOLD SENTINEL AUSTRIAN PINE	B & B	6" HGT.	5'-7'	20'-25'
	PF	5	PICEA PUNGENS 'FASTIGIATA' / COLUMNAR COLORADO SPRUCE	B & B	6" HGT.	10'-15'	25'-40'
	PP	3	PICEA PUNGENS 'BAKERI' / BAKER BLUE SPRUCE	B & B	6" HGT.	15'-20'	30'-40'
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK	17,811 SF	ROCK MULCH AND PLANTINGS PRELIMINARY SHRUB AND PERENNIAL BED LOCATIONS, PLANT LOCATIONS, ROCK MULCH COLOR AND ROCK MULCH SIZE TO BE SPECIFIED ON THE FUTURE FINAL LANDSCAPE PLAN.	ROCK MULCH			
	SEED	26,848 SF	TURF-FORMING NATIVE SEED MIX NATIVE SEED MIX COMPOSITION WILL BE SPECIFIED ON THE FUTURE FINAL LANDSCAPE PLAN.	SEED			
	UP-RIP	9,502 SF	UPLAND RIPARIAN SHRUB BEDS PLANT SPECIES, COUNTS AND LOCATIONS WILL BE SPECIFIED ON THE FUTURE FINAL LANDSCAPE PLAN.	SHRUB AREAS			
	WET-RIP	8,588 SF	WETLAND RIPARIAN SHRUB BEDS PLANT SPECIES, COUNTS AND LOCATIONS WILL BE SPECIFIED ON THE FUTURE FINAL LANDSCAPE PLAN.	SHRUB AREAS			

PERCENT SIGNATURE TREES SIGNATURE TREES: 128  
TOTAL NO. OF TREES: 139 = 92.09% SIGNATURE TREES

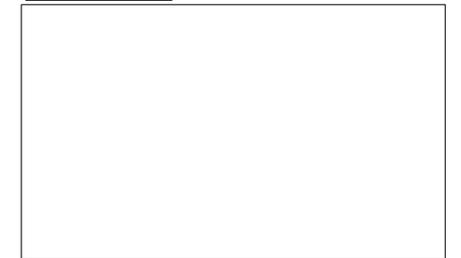
### NOTE:

- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- TURF AND NATIVE GRASS AREAS ARE TO BE IRRIGATED VIA ROTARY HEADS. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. AN IN-GROUND IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED WITH AN AUTOMATIC CONTROLLER AND RAIN SENSOR.

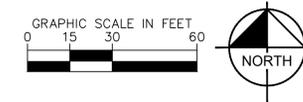
### LEGEND:

- UNCONNECTED IMPERVIOUS AREA (DCIA)
- RECEIVING PERVIOUS AREA (RPA)

CITY APPROVAL:



PRELIMINARY LANDSCAPE PLAN  
SHEET 7 OF 14



K:\COCS\_LA\096949003 - creekwalk west (residential)\CADD\PlanSheets\PUD DDP\LA.dwg May 03, 2023 11:10pm

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
  - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MIS-SHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL. FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL. FOR TREES OVER FOUR (4) INCHES IN CALIPER.
  - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL
 

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
  - PLANT MATERIALS
    - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
    - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
    - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
    - PROVIDE PLANTING OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
    - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING THE PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
    - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ½ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
    - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
    - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
    - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
  - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
  - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSTRATE, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
  - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
  - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE; AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- \* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
  - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
  - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
  - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
  - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
  - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
  - SODDING
    - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
    - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNERS REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
    - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
  - LAWN MAINTENANCE
    - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 2'X12') UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
    - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- EDGING**
- CONTRACTOR SHALL INSTALL 4"x½" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- CLEANUP**
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- PLANT MATERIAL MAINTENANCE**
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- FINAL INSPECTION AND ACCEPTANCE OF WORK**
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- WARRANTY**
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE ARCHITECT SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
  - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

PARKING LOT LANDSCAPING	
NUMBER OF VEHICLE SPACES PROVIDED:	6
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS
SHADE TREES REQ. / PROV.:	N/A
PARKING LOT FRONTAGES:	EAST
LENGTH OF FRONTAGE:	63'
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	42' / 42"
LENGTH OF BERM OR FENCE REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	PL

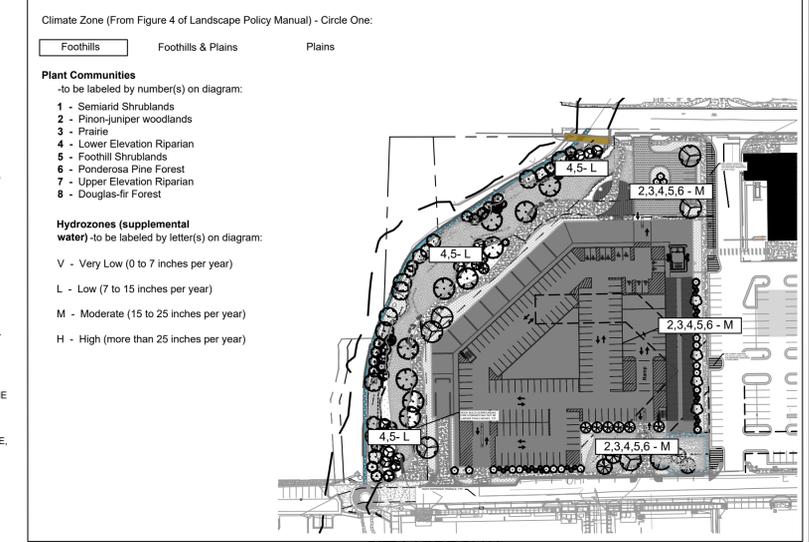
\*FRONTAGE SCREENING REQUIREMENT TO BE MET WITH SHRUBS ON FUTURE FINAL LANDSCAPE PLAN

INTERNAL LANDSCAPING	
NET SITE AREA:	198,566 SF (4.56 AC)
PERCENT MINIMUM INTERNAL AREA:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.:	29,785 SF / XX SF
TREE PER FEET REQ.:	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.:	57 / 38
SHRUB SUBSTITUTES REQ. / PROV.:	180 / 180'
ORN. GRASS SUBSTITUTES REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.:	75% / 75%

\*SHRUB SUBSTITUTES TO BE INCLUDED ON FUTURE FINAL LANDSCAPE PLAN

LANDSCAPE SETBACKS AND BUFFERS			
STREET NAME OR BOUNDARY:	E. RAMONA AVE	E. ST. ELMO AVE.	EAST BNDY
ZONE DISTRICT BOUNDARY:	YES	YES	YES
STREET CLASSIFICATION:	NON-ARTERIAL	NON-ARTERIAL	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	10' / 10'	10' / 10'	15' / 15'
LINEAR FOOTAGE:	193'	454'	481'
TREE PER FEET REQ.:	1 TREE PER 30 LF	1 TREE PER 30 LF	1 TREE PER 20 LF
NUMBER OF TREES REQ. / PROV.:	7 / 4	16 / 16	25 / 25
EVERGREEN TREES REQ. / PROV.:	N/A	N/A	13 / 16
SHRUB SUBSTITUTES REQ. / PROV.:	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.:	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.:	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	RA	SE	EB

### Schematic Landscape Diagram



CITY APPROVAL:

GROUND PLANE TREATMENT	CLASS 1 COMPOST AMENDMENT (ORGANIC MATTER)	NITROGEN =7.0 ppm	PHOSPHORUS =13.1 ppm	POTASSIUM =282.3 ppm	OTHER K,Zn,Fa,Mn,B or Cu	SOIL TYPE = SANDY LOAM ORGANIC MATERIAL = 7.8 %	
						FERTILIZER	E.C.SALT OR PH TREATMENT
SODDED TURF/GRASS	NA	NA	NA	NA	NA	NA	NA
SEEDDED AREAS-NATIVE	3 cu. yds. OM per 1000 sf	1 lbs N per 1000 sf	1.0 lbs P2O5 per 1000sf	0.2 lbs K2O per 1000sf	NA	NA	8"
TREES	3 cu. yds. OM per 1000 sf	3.0 lbs N per 1000 sf	1.0 lbs P2O5 per 1000sf	No additional K2O needed	NA	NA	8"
SHRUBS	3 cu. yds. OM per 1000 sf	3.0 lbs N per 1000 sf	1.0 lbs P2O5 per 1000sf	No additional K2O needed	NA	NA	8"

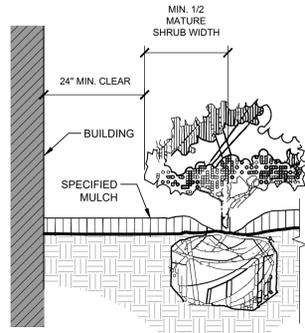
\* USE CLASS 1 COMPOST AMENDMENTS AND ORGANIC AMENDMENTS AS SPECIFIED BELOW

ACCEPTABLE FERTILIZERS:  
 \*USE CLASS 1 COMPOST.  
 \* APPLY ADDITIONAL FERTILIZER FOR LOAM SOIL.  
 IF THE RECOMMENDATIONS NOTED ABOVE ARE NOT FOLLOWED BY THE RESPECTIVE PARTIES, THE CERTIFICATE OF OCCUPANCY MAY BE POSTPONED OR DENIED.  
 PROVIDE A COPY OF RECEIPT FOR ORGANIC AMENDMENT INSTALLED PRIOR TO FINAL INSPECTION.

# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

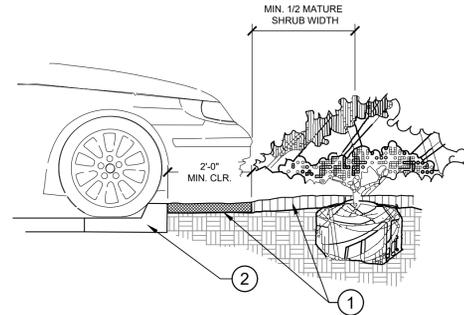
SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



- NOTES:
- CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
  - INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

### 1 PLANTINGS ADJACENT TO BUILDINGS

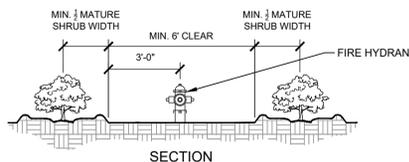
SECTION NTS



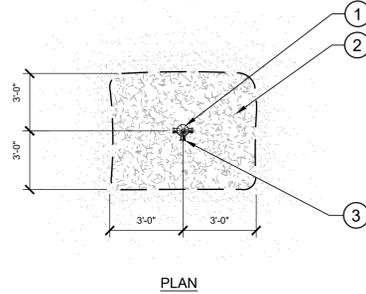
- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB / PARKING LOT EDGE.

### 2 PARKING SPACE/CURB PLANTING

SECTION NTS



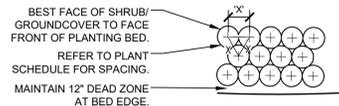
- FIRE HYDRANT.
- 2015 IFC - CLEAR SPACE AROUND HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED. (2018 CSFC §507.5.5)
- FRONT OF HYDRANT (TOWARD CURB)



PLAN

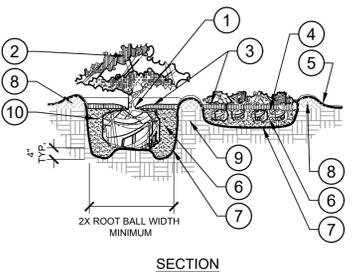
### 3 SHRUB PLANTING AT FIRE HYDRANT

SECTION / PLAN NTS



PLAN

- TOP OF ROOTBALLS TO BE PLANTED AT GRADE OR SLIGHTLY ABOVE SURROUNDING SOIL. 2" DIA. CLEAR OF MULCH AT TRUNK FLARE.
- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.
- 3" MULCH LAYER AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- FOR CONDITIONS WITH FINISHED GRADE OF 4:1 MAX SLOPE ON ALL SIDES (SEE GRADING PLAN).
- PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL.
- MIN. SPECIFIED OPENING SIDES AND BOTTOM.
- 4" HIGH BERM FIRMLY COMPACTED.
- UNDISTURBED NATIVE SOIL.
- FERTILIZER TABLETS (MAX 3" DEEP)

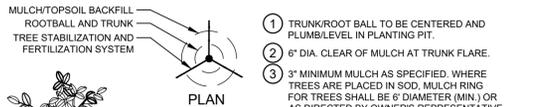


SECTION

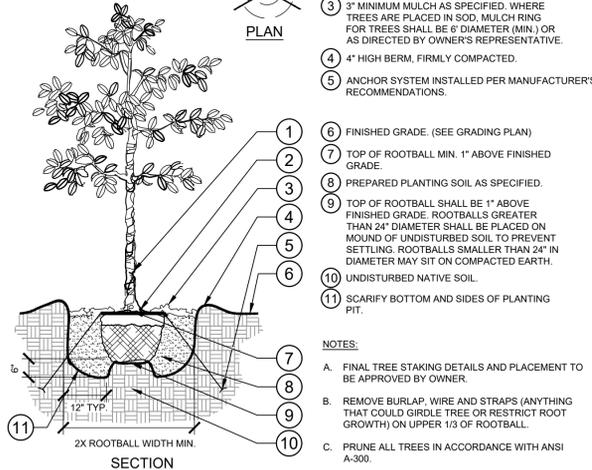
- NOTES:
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING AREAS PRIOR TO INSTALLATION.
  - WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
  - ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY PROJECT LANDSCAPE ARCHITECT.

### 5 SHRUB/GROUNDCOVER PLANTING

SECTION / PLAN NTS



PLAN



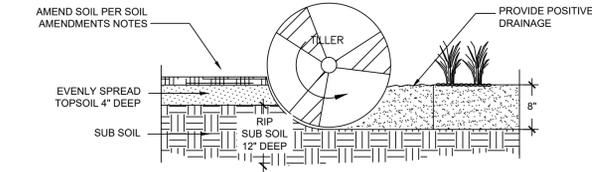
### 4 TREE PLANTING

SECTION / PLAN NTS

- TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT.
- 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.
- 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RINGS FOR TREES SHALL BE 6" DIAMETER (MIN.) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 4" HIGH BERM, FIRMLY COMPACTED.
- ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

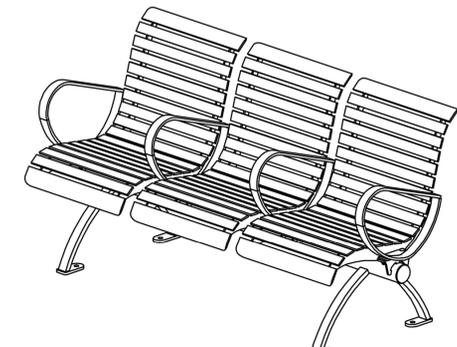
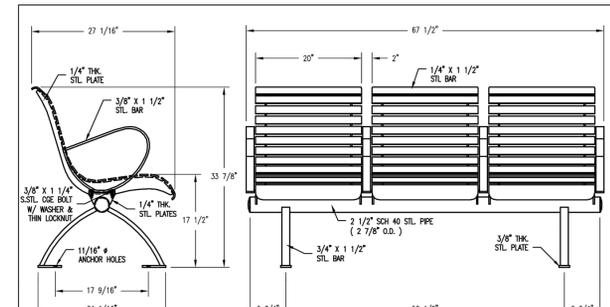
- FINISHED GRADE. (SEE GRADING PLAN)
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- PREPARED PLANTING SOIL AS SPECIFIED.
- TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.
- UNDISTURBED NATIVE SOIL.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT.

- NOTES:
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
  - REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLING TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
  - PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.



### 6 SOIL PREP - ALL LANDSCAPE AREAS

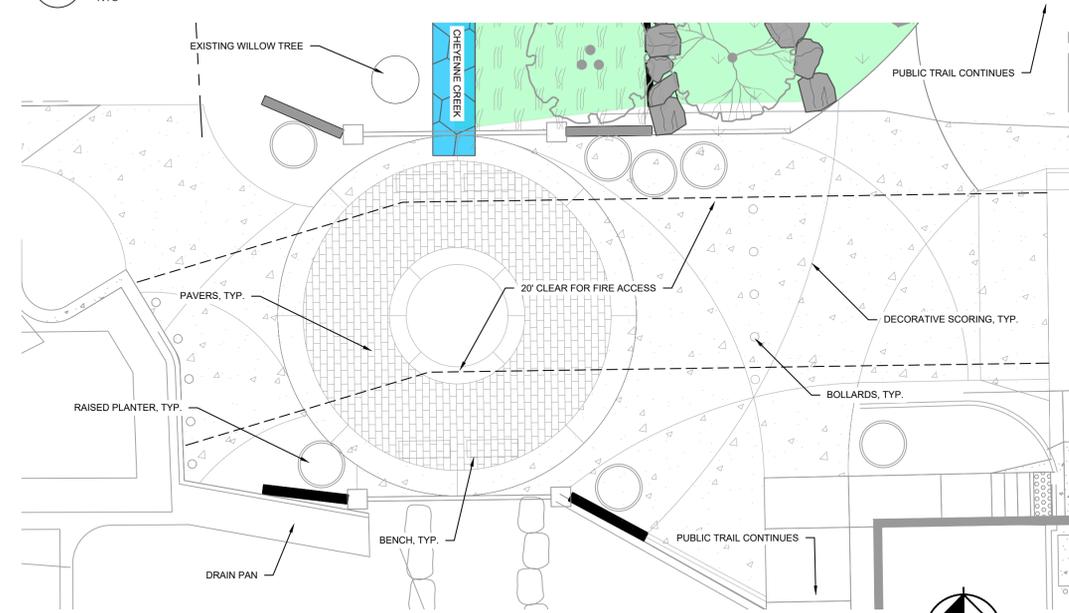
NTS



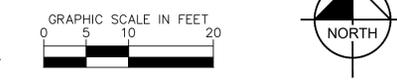
- NOTES:
- ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
  - 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
  - BENCH IS SHIPPED UNASSEMBLED.
- |             |       |                      |        |                |            |       |        |
|-------------|-------|----------------------|--------|----------------|------------|-------|--------|
| DuMor, Inc. | BENCH | DATE DRAWN: 05/16/11 | REV. A | DRAWING NUMBER | 426-34/S-5 | SHEET | 1 OF 2 |
|             |       | DRAWN BY: JSB        |        |                |            |       |        |
|             |       | DATE REV.:           |        |                |            |       |        |
|             |       | REV. BY:             |        |                |            |       |        |

### 8 DUMOR BENCH

NTS



### 7 ST. ELMO PEDESTRIAN PLAZA



CITY APPROVAL:

LANDSCAPE DETAILS  
SHEET 9 OF 14

K:\COCS\_LA\096949003 - creekwalk west (residential)\CADD\PlanSheets\PUD DDP\_LA.dwg May 03, 2023 11:10pm

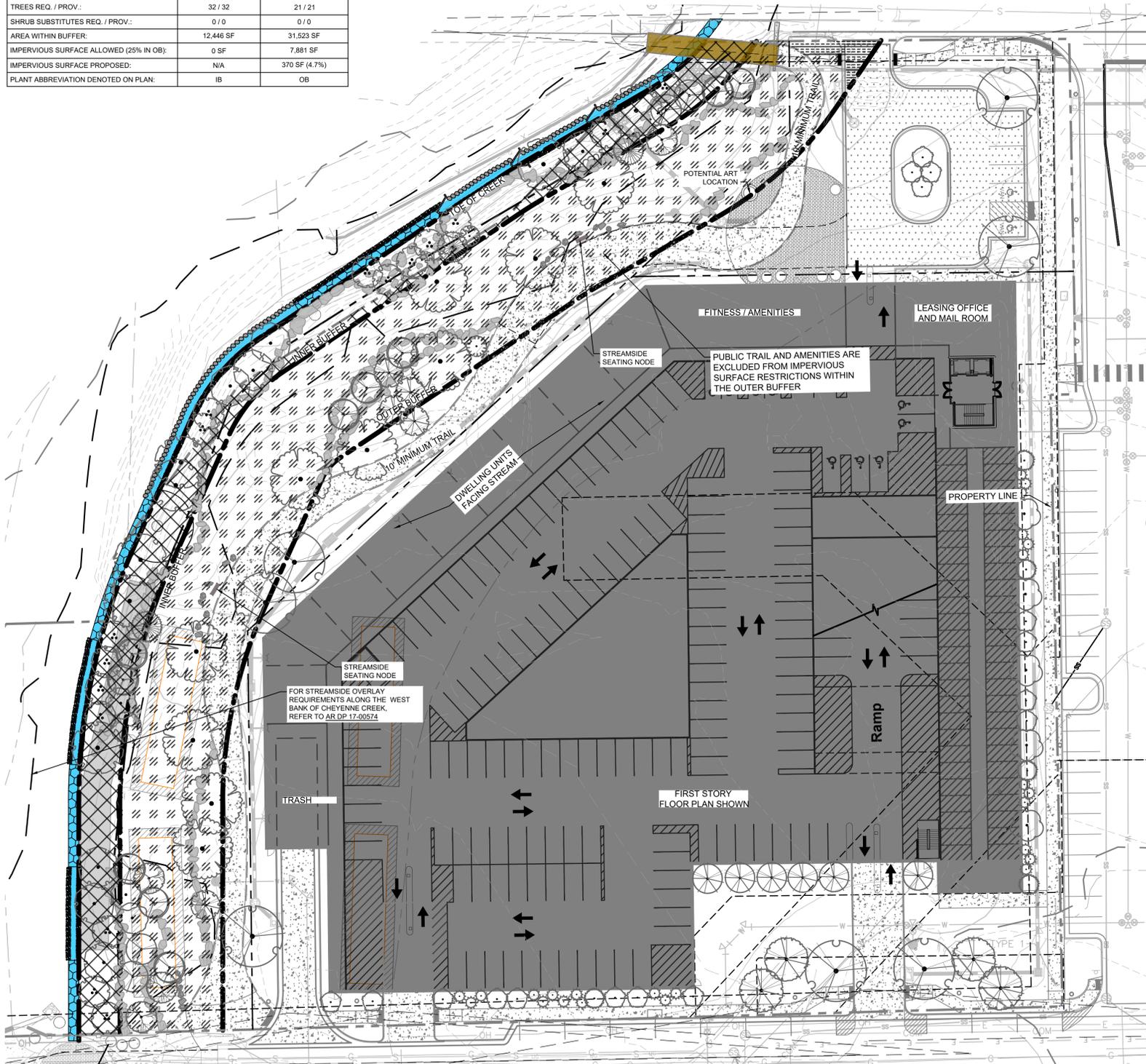
**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

STREAMSIDE OVERLAY		
STREAM NAME - TYPE:	CHEYENNE CREEK - TYPE 1	
BUFFER NAME:	INNER BUFFER	OUTER BUFFER
BUFFER WIDTH:	20'	50'
LINEAR FOOTAGE:	622'	625'
TREE PER FEET REQ.:	1 TREE PER 20'	1 TREE PER 30'
TREES REQ. / PROV.:	32 / 32	21 / 21
SHRUB SUBSTITUTES REQ. / PROV.:	0 / 0	0 / 0
AREA WITHIN BUFFER:	12,446 SF	31,523 SF
IMPERVIOUS SURFACE ALLOWED (25% IN OB):	0 SF	7,881 SF
IMPERVIOUS SURFACE PROPOSED:	N/A	370 SF (4.7%)
PLANT ABBREVIATION DENOTED ON PLAN:	IB	OB



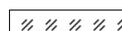
### STREAMSIDE OVERLAY CRITERIA:

- GRADING AND LANDFORM**  
HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THE STREAMSIDE ORDINANCE AS WELL AS OTHER CITY GRADING REGULATIONS?  
-STRATEGIC GRADING WILL OCCUR IN THE 20' INNER BUFFER ALONG THE STREAM. THE EXISTING CHANNEL STABILIZATION STRUCTURE (CONCRETED RIP-RAP) ALONG THE EAST SIDE OF THE CREEK WILL BE REMOVED AND THE BANK LAID BACK TO RESTORE A MORE NATURAL AND APPROACHABLE CHARACTER TO THE CREEK EDGE.  
-THERE WILL BE GRADING WITHIN THE OUTER BUFFER DUE TO THE DEMOLITION OF EXISTING STRUCTURES. THIS GRADING WOULD BE CONSIDERED RESTORATIVE IN NATURE AND WILL ALSO BE ASSOCIATED WITH THE INSTALLATION OF A RECREATIONAL TRAIL. THE GRADING WILL CREATE A BENCHING SECTION THAT ALLOWS THE ENTIRE INNER BUFFER TO BE REVEGETATED ON A SLOPE THAT WILL NOT EXCEED 3:1. LOCALLY SOURCED BOULDERS WILL BE INCORPORATED INTO THE NEW STREAM SECTION AS A PART OF THE BENCHING FORMATION AND AS A WAY TO INTRODUCE STRUCTURE INTO THE STREAM THAT WILL AID IN SLOWING THE VELOCITY OF THE WATER BY CREATING RIFFLES AND POOLS WITHIN THE CREEK.
- SITE DESIGN**  
DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING? HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESS WAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS, OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?  
-THE PROJECT IS WORKING TO CREATE A MORE NATURALIZED CREEKSIDE SETTING WITH IMPROVED AESTHETICS AND AMENITIES INCORPORATED DIRECTLY ADJACENT TO THE CREEK. THESE SITE DESIGNS WILL HAVE A RECREATIONAL AND CULTURAL COMPONENT THROUGH THE PRESENCE OF A PUBLIC TRAIL AND PUBLIC ART. GATHERING AND AMENITY SPACES THAT SUPPORT THE RESIDENTIAL USE WILL ALSO BE PLANNED WITHIN THE OUTER BUFFER AREA. THE IMPROVEMENT WILL BE PREDOMINATELY FOCUSED ON THE EAST SIDE OF THE CREEK. BECAUSE OF OWNERSHIP CONSTRAINTS, THE WEST SIDE OF THE CREEK WILL CONSIST OF MINOR GRADING AND LANDSCAPE ENHANCEMENTS.
- WILDLIFE HABITAT PRESERVATION**  
HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?  
-THIS SECTION OF THE CREEK HAS BEEN HEAVILY IMPACTED BY POOR DEVELOPMENT AND CHANNELIZATION, RESULTING IN LITTLE HABITAT. THIS PROJECT WILL WORK TO RESTORE & CREATE WILDLIFE HABITAT ADJACENT TO THE CREEK WHERE POSSIBLE BY REMOVING CONCRETE LINED STRUCTURES AND REMOVING EXISTING BUILDINGS CURRENTLY ON THE SITE. IN ORDER TO EXPAND A RIPARIAN ECOSYSTEM, THE PLAN WILL REVEGETATE THE STREAM EDGE WHERE POSSIBLE, INCLUDING THE ENTIRE INNER BUFFER ZONE. THE PROJECT WILL PARTNER WITH THE AUDUBON SOCIETY AND THE COLORADO NATIVE PLANT SOCIETY WHEN DETERMINING THE STREAMSIDE PLANT PALETTE.
- TRAILS AND RECREATION**  
HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS OR OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?  
-THERE IS A 10' WIDE PUBLIC TRAIL THAT MOVES ACROSS THE SITE ALONG THE EASTERN EDGE OF THE CREEK. FROM EAST ST. ELMO AVE UP TO EAST RAMONA AVE., AT WHICH POINT IT WILL CROSS THE CREEK AND CONTINUE TO MOVE NORTH. A PEDESTRIAN BRIDGE FOR THE PUBLIC TRAIL IS PLANNED AS PART OF A SEPARATE PROJECT.
- FLOODPLAIN**  
HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?  
-THE BUILDING FINISHED FLOOR ELEVATION WILL BE ABOVE THE 100 YEAR FLOODPLAIN WHICH WILL PROTECT THE STRUCTURE FROM FLOOD HAZARDS. CONVEYANCE THROUGH THE CORRIDOR WILL BE IMPROVED WITH THE CLEARING OF STRUCTURES, CHANNEL WALLS, AND BANK STABILIZATION EFFORTS.
- SIGNIFICANT NATURAL FEATURES**  
HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?  
-THERE ARE NO SIGNIFICANT NATURAL FEATURES WITHIN THE STREAMSIDE OVERLAY AREA ON THIS URBAN SITE.
- COMPLEMENTARY PLANS**  
DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUB-AREA PLANS (SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN, OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY AND OF ANY APPROVED CITY ENGINEERING PROJECTS AND HABITAT CONSERVATION PLANS)?  
-THE PARK SYSTEM MASTER PLAN, SEPTEMBER 23, 2014, HAS A PROPOSED URBAN TRAIL SOUTH OF I-25 AND TO THE WEST OF HIGHWAY 115 IN THIS AREA. IT APPEARS AS IF THIS IS A SMALL BRANCH THAT WILL CONNECT INTO THE PEAK GREENWAY TRAIL. THERE ARE NO DRAINAGE IMPROVEMENTS PLANNED OR IDENTIFIED FOR THIS SECTION OF THE CREEK WITHIN THE DRAINAGE BASIN, AND THE IMPROVEMENTS ARE BELIEVED TO BE CONSISTENT WITH THE CITY'S STREAMSIDE OVERLAY OBJECTIVES.
- RIPARIAN BUFFERS AND IMPERVIOUS SURFACES**  
8.1. IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NON-POINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?  
-THERE WILL BE A 20' INNER RIPARIAN BUFFER THAT WILL BE LANDSCAPED WITH NATURAL VEGETATION AND NATURAL FEATURES AS PART OF A SEPARATE AND CONCURRENT PROJECT.  
8.2. EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUS RESTRICTIONS ACROSS THE ENTIRE OVERLAY? THE INNER BUFFER WILL CONTAIN NO IMPERVIOUS SURFACES. IMPERVIOUS SURFACES WITHIN THE OUTER BUFFER AREA WILL NOT EXCEED 25% PER THE STREAMSIDE DESIGN GUIDELINES.  
8.3. INCORPORATE ALL STORMWATER BEST MANAGEMENT PRACTICES REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON-SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY? A PRIVATE FULL SPECTRUM WATER QUALITY FACILITY IS LOCATED ON-SITE AND WITHIN THE OUTER BUFFER TO CAPTURE AND TREAT STORMWATER RUNOFF FROM THE PROPOSED SITE IMPROVEMENTS.  
8.4. INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDES OF THE STREAM? THE CREEK WALK PROJECT HAS TAKEN STEPS TO OPEN UP VIEWS TO THE CREEK AND HAVE EMBRACED THE CREEK ENVIRONMENT WITH THE BUILDING AND CREEK TRAIL LAYOUT. VEGETATION WILL BE STRATEGICALLY PROPOSED ALONG THE CREEK TO ENHANCE DESIRABLE VIEWS AND BUFFER UNDESIRABLE VIEWS.
- LANDSCAPE**  
9.1. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES SET FORTH IN APPENDIX A OF THE LANDSCAPING POLICY MANUAL? THE INNER AND OUTER BUFFER STANDARDS HAVE BEEN MET, AND SLOPE STABILIZATION PLANTS FROM THE STREAMSIDE DESIGN GUIDELINES ARE UTILIZED. IMPROVEMENTS TO THE CHEYENNE CREEK CHANNEL WITHIN THE INNER STREAMSIDE BUFFER ARE BEING COMPLETED AS PART OF A SEPARATE AND CURRENT PROJECT. A FINAL LANDSCAPE PLAN FOR THIS DEVELOPMENT WILL INCLUDE A FINAL PLANTING DESIGN FOR THE INNER BUFFER THAT RESPECTS THE CHANNEL IMPROVEMENTS AND MEETS THE STREAMSIDE BUFFER LANDSCAPING REQUIREMENTS.  
9.2. DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY LANDSCAPE CODE? ALL LANDSCAPE SITE CATEGORY REQUIREMENTS ARE MET IN THE PROPOSED PLAN.
- STREAM BANK STABILIZATION**  
HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE EXCEEDING FIFTEEN PERCENT (15%) SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED? THE STREAM BANK AND SLOPES ALONG THE BANK ARE IDENTIFIED ON THE PLANS. DISTURBANCE WITHIN THE STREAMSIDE OVERLAY WILL OCCUR ON THE UPHILL SIDE OF THE EXISTING EMBANKMENTS. IMPROVEMENTS TO THE CREEK CHANNEL WILL SOFTEN THE SLOPE OF THE STREAMBANK COMPARED TO CURRENT CONDITIONS.
- STREAM RECLAMATION**  
HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGEWAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL?  
-THE EASTERN SIDE OF THIS SECTION OF THE STREAM WILL BE RECLAIMED AND RETURNED TO A MORE NATURAL STATE BOTH VISUALLY AND FUNCTIONALLY. EFFORTS ARE BEING MADE TO STABILIZE THE CREEK HABITAT AND ECOSYSTEM FUNCTIONS. THE INTRODUCTION OF BOULDER EDGES, RIFFLES, AND POOLS WITHIN THE CREEK WILL SLOW DOWN FLOW RATES AND REDUCE EROSION.

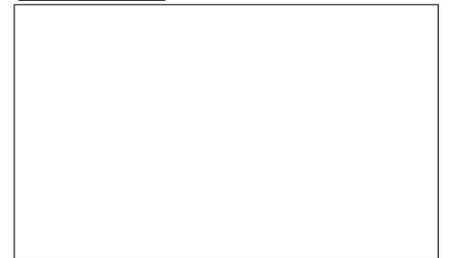
### STREAMSIDE NOTES:

- THIS STREAMSIDE OVERLAY PLAN IS BEING COMPLETED FOR THE PORTION OF CHEYENNE, A TYPE 1 SIZED CREEK, WHICH IS LOCATED ON THE WEST SIDE OF THE SITE.
- IMPROVEMENTS TO THE CHEYENNE CREEK CHANNEL WITHIN THE INNER STREAMSIDE BUFFER ARE BEING COMPLETED AS PART OF A SEPARATE AND CONCURRENT PROJECT. TREE LOCATIONS SHOWN ON THIS PLAN ARE PRELIMINARY, FINAL PLANTING LAYOUT WILL BE SHOWN ON A FUTURE FINAL LANDSCAPE PLAN.
- A BUFFER OF 70' FROM THE TOE OF CHANNEL SHALL BE PROVIDED WITHIN THE PROPERTY BOUNDARIES.
- THE STREAM'S OUTER BUFFER, AS DEPICTED ON THE PLAN, SHALL BE 50' WIDE.
- THE STREAM'S INNER BUFFER, AS DEPICTED ON THE PLAN, SHALL BE 20' WIDE.
- NO IMPERVIOUS SURFACES SHALL BE PROVIDED WITHIN THE INNER BUFFER.
- A MAXIMUM OF 25% IMPERVIOUS SURFACES SHALL BE PROVIDED WITHIN THE OUTER BUFFER. SEE DATA TABLE BELOW.
- EXISTING VEGETATION IMPACTED BY NEW CONSTRUCTION WILL BE REMOVED WITH PROTECTION BEING PROVIDED FOR EXISTING TREES WITHIN THE INNER BUFFER IN AREAS NOT AFFECTED BY WALL HEIGHT REDUCTIONS AND ASSOCIATED EARTHWORK.
- A PUBLIC IMPROVEMENT EASEMENT FOR A FUTURE TRAIL CORRIDOR ALONG CHEYENNE CREEK WILL BE LOCATED WITHIN THE STREAMSIDE BUFFERS.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

### STREAMSIDE OVERLAY LEGEND:

-  20' INNER BUFFER
-  50' OUTER BUFFER
-  IMPERVIOUS SURFACE WITHIN OUTER BUFFER (25% MAX - PUBLIC TRAIL AND AMENITIES EXCLUDED)

CITY APPROVAL:



LAND SUITABILITY ANALYSIS  
SHEET 10 OF 14

**Kimley Horn**

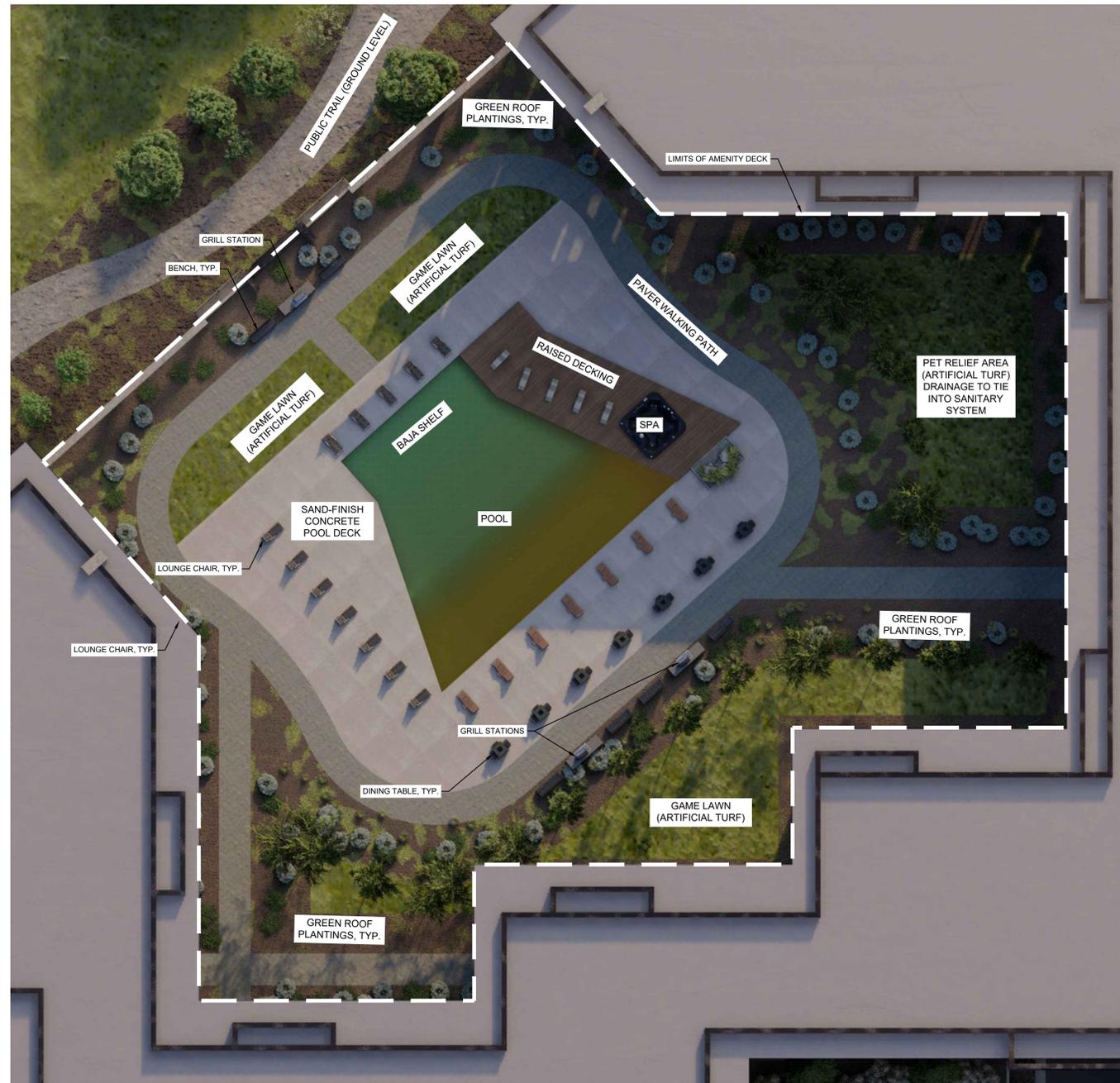
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180



# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

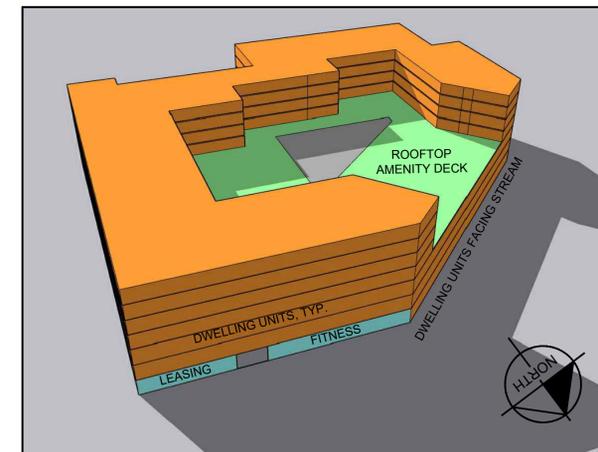
SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



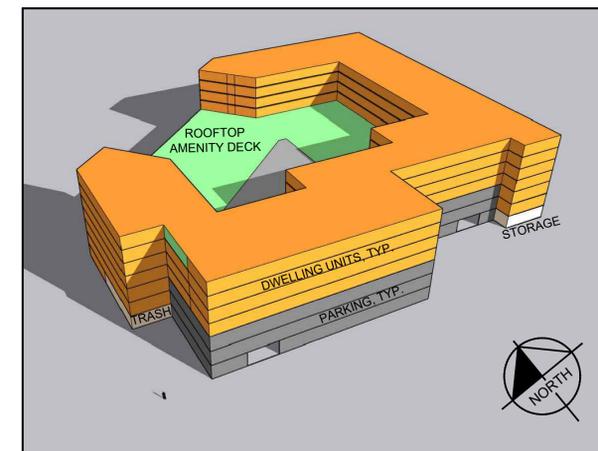
AMENITY DECK CONCEPT LAYOUT



AMENITY DECK PERSPECTIVE



BUILDING MASSING EXHIBIT  
FACING SOUTH



BUILDING MASSING EXHIBIT  
FACING NORTH

CITY APPROVAL:

ARCHITECTURE EXHIBIT  
SHEET 11 OF 14

NOTES:

1. EXHIBIT IS PRELIMINARY AND DOES NOT REFLECT FINAL DESIGN.
2. FINAL AMENITY DECK CONSTRUCTION DETAILS WILL BE PROVIDED WITH BUILDING PERMIT PLANS.
3. ROOFTOP PLANTINGS SHOWN ARE PRELIMINARY AND NOT REQUIRED TO SATISFY THE LANDSCAPE REQUIREMENTS IN SECTION 7.4.3 OF THE CITY CODE. FINAL PLANTING DESIGN WILL BE PROVIDED WITH THE FUTURE FINAL LANDSCAPE PLAN.

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

K:\CCS\_LA\069649003 - creekwalk\_west (residential)\CADD\PlanSheets\PUD D\PP\_ARCH.dwg, May 03, 2023, 1:10pm

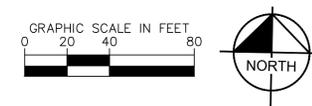
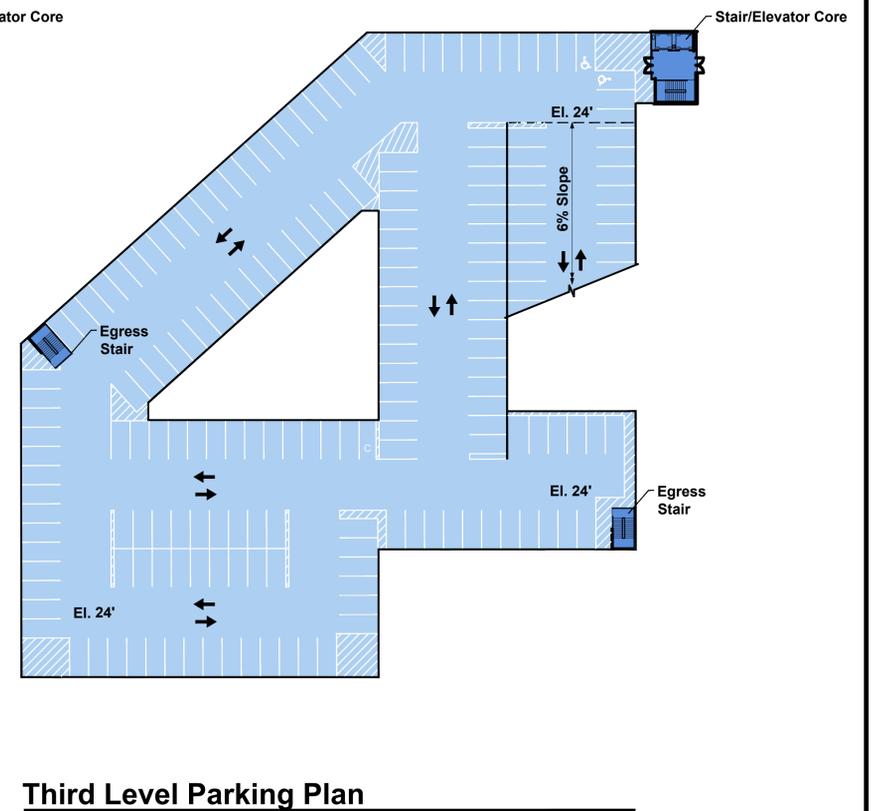
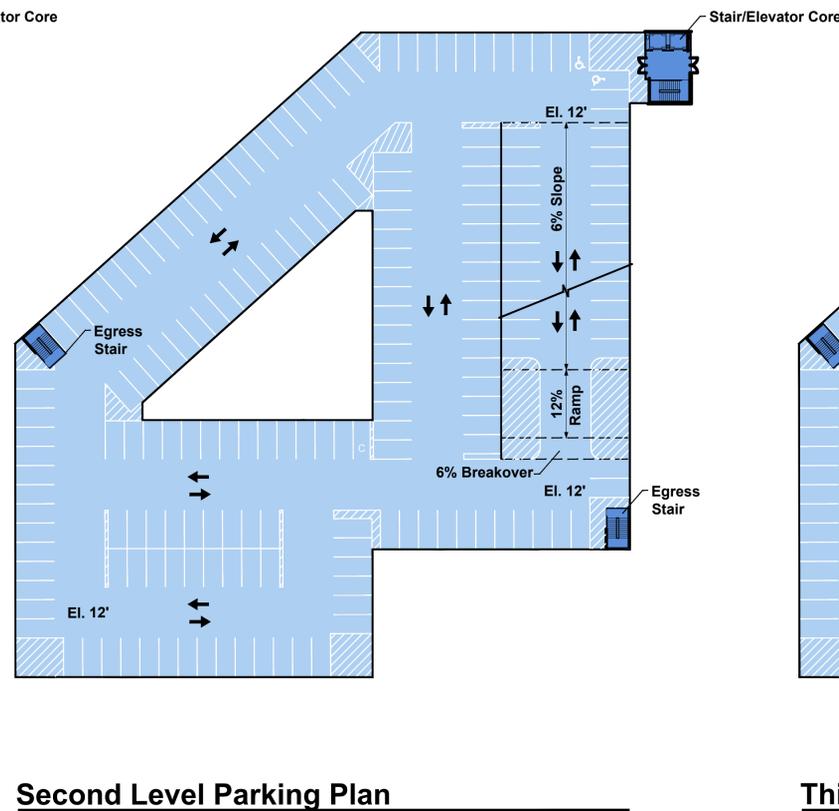
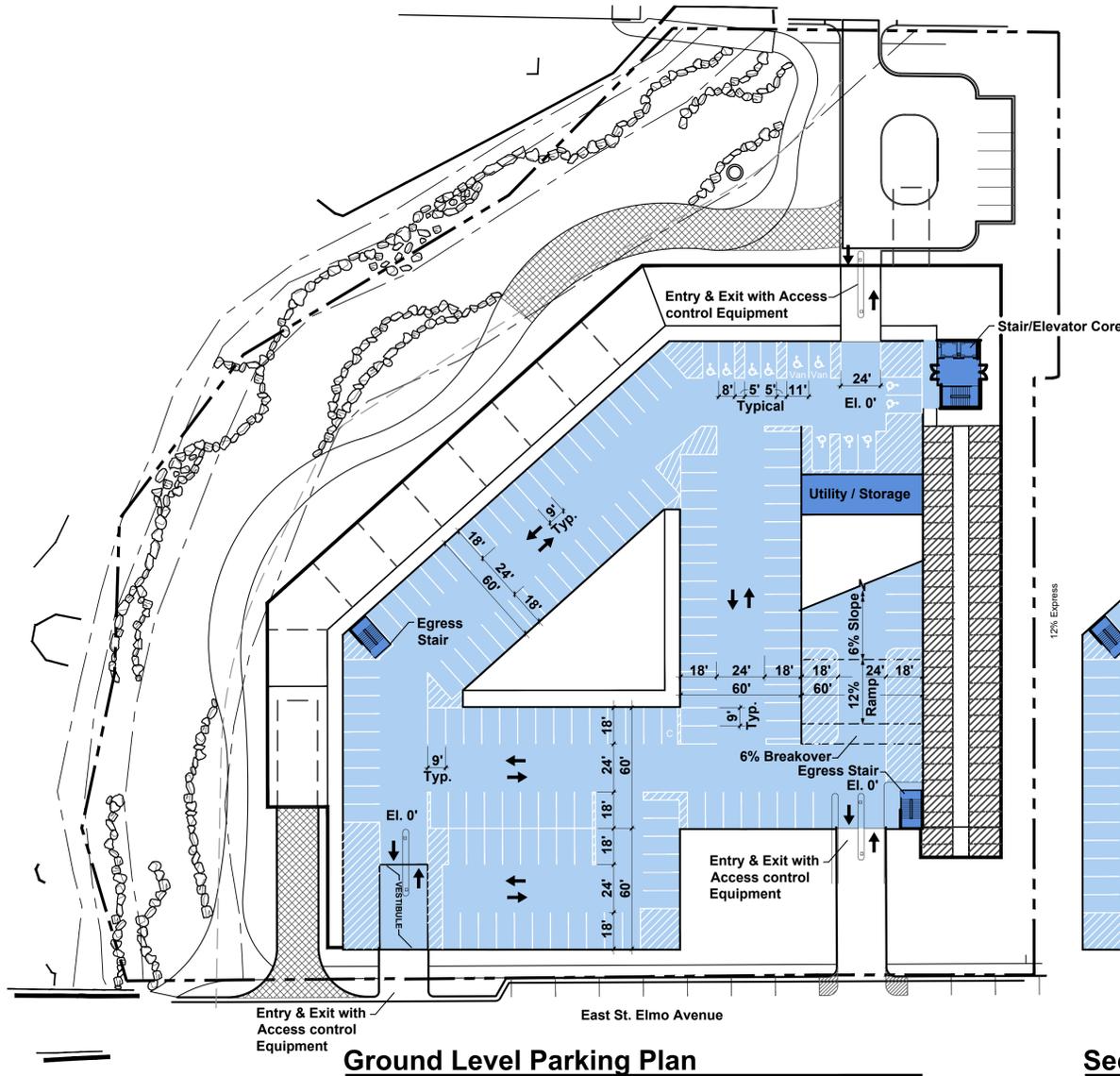
# CREEKWALK RESIDENTIAL

## PUD DEVELOPMENT PLAN

SITUATED IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

### PARKING STALL TABULATION

Level	Standard	ADA	ADA Van	Total
Third	185	2	0	187
Second	188	2	0	190
Ground	150	9	2	161
<b>Total</b>	<b>523</b>	<b>13</b>	<b>2</b>	<b>538</b>



CITY APPROVAL:

PARKING GARAGE CONCEPT  
SHEET 12 OF 14

K:\COSE\_LA\096949003 - creekwalk west (residential)\CADD\PlanSheets\PUD D\UP\_PRRK.dwg May 03, 2023 1:10pm



© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

# CREEKWALK PUD



## MATERIAL KEYNOTES

- 01. LARGE COURSE BRICK DARK
- 02. FAUX WOOD PANEL LIGHT
- 03. FAUX WOOD PANEL DARK
- 04. BRICK LIGHT
- 05. MURAL
- 06. METAL PANEL
- 07. CONCRETE OR FAUX CONCRETE

Brad Gerratt  
BK Virtual Homes

Contact Information:  
Phone: 385-479-1005  
Email: brad@bkrenderings.com



## CONSULTANTS

## CREEKWALK PUD

DATE: JANUARAY 31, 2023

MARK	DATE	DESCRIPTION

PROJECT NO:  
MODEL FILE:  
DRAWN BY: BE  
CHK'D BY: BG  
COPYRIGHT

## SHEET TITLE

Elevations

A - 200

SHEET 13 OF 14



② North  
1/16" = 1'-0"



① East  
1/16" = 1'-0"

# CREEKWALK PUD

## MATERIAL KEYNOTES

- 01. LARGE COURSE BRICK DARK
- 02. FAUX WOOD PANEL LIGHT
- 03. FAUX WOOD PANEL DARK
- 04. BRICK LIGHT
- 05. MURAL
- 06. METAL PANEL
- 07. CONCRETE OR FAUX CONCRETE

Brad Gerratt  
BK Virtual Homes

Contact Information:  
Phone: 385-479-1005  
Email: brad@bkrenderings.com



### CONSULTANTS

## CREEKWALK PUD

DATE: JANUARY 31, 2023

MARK	DATE	DESCRIPTION
//		

PROJECT NO:  
MODEL FILE:  
DRAWN BY: BE  
CHK'D BY: BG  
COPYRIGHT

### SHEET TITLE

Elevations

A - 201

SHEET 14 OF 14



① South  
1/16" = 1'-0"



② West  
1/16" = 1'-0"