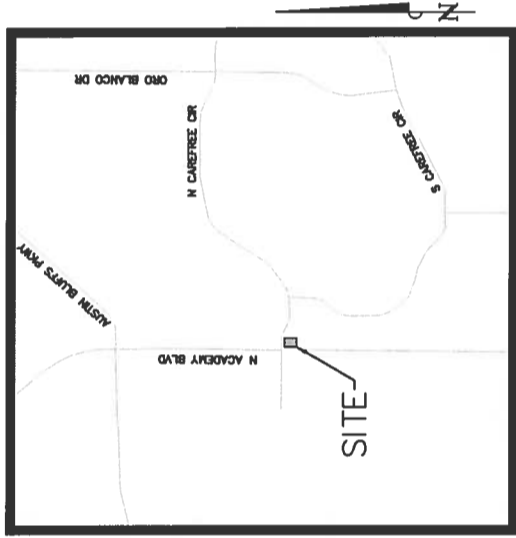


CVS PHARMACY STORE #11001 DEVELOPMENT PLAN 3485 N. ACADEMY BLVD LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE CITY COLORADO SPRINGS, STATE OF COLORADO



VICINITY MAP
N.T.S.

BENCHMARK:
VERTICAL DATUM BASED ON COLORADO SPRINGS FIMS MONUMENT, "ABA3".
ELEVATION = 6425.80' (NGVD 29)
LEGAL DESCRIPTION:
LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE, COUNTY OF EL PASO,
STATE OF COLORADO.

LAND AREA:
63,620 SQ FT OR 1.46 ACRES MORE OR LESS

BASIS OF BEARING:
BASIS OF BEARINGS IS THE EAST LINE OF THE PROPERTY, MONUMENTED ON THE NORTH END OF REBAR WITH A 1" PLASTIC CAP, PLS 13225, 0.2' BELOW GRADE. THE SOUTH END OF REBAR WITH A 1" PLASTIC CAP, PLS 13225, 0.2' BELOW GRADE, ASSUMED TO BEAR 500'00"00" E A DISTANCE OF 247.69' (M).
NOTES:
THE DESIGN PROFESSIONAL FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS. SEE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN", AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ).
FLOOD PLAIN NOTE:
THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NUMBER 08041C0519F, EFFECTIVE DATE MARCH 17, 1997.

DESIGN TEAM CONTACTS:
DEVELOPER:
TMC COLORADO, LLC
10225 SW 14th Ave, Suite 101
DENVER, CO 80237
TEL: (317) 705-8800
CONTACT: AJ BARBATO
ARCHITECT:
WARMAN ARCHITECTURE
18225 SW 14th Ave, Suite 101
DENVER, CO 80237
TEL: (317) 705-8800
CONTACT: KATHLEEN A. WARMAN, AIA, NCARB
SURVEYOR:
CLARK LAND SURVEYING, INC.
19 W. WATKINS AVE.
COLORADO SPRINGS, CO 80903
TEL: (719) 633-8533
CONTACT: STEWART L. MAPES, P.L.S.

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2300
CONTACT: JOHN HEIBERGER, P.E.
AGENCY CONTACTS:
CITY OF COLORADO SPRINGS ENGINEERING:
375 WINTERPARKWAY, SUITE 401
COLORADO SPRINGS, CO 80901
PHONE: 719.385.5918
CONTACT: PATRICK MORRIS, P.E.
ENKES PEAK REGIONAL BUILDING DEPARTMENT:
375 WINTERPARKWAY, SUITE 200
COLORADO SPRINGS, CO 80910
PHONE: 719.327.2310
CONTACT: JAY EENHUIS, PE
COLORADO SPRINGS UTILITIES:
527 HARCOCK EXPRESSWAY, MAIL CODE 1812
COLORADO SPRINGS, CO 80903
PHONE: 719.668.8766
CONTACT: AL JUVERA, P.E.

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2300
CONTACT: CHRIS HICE, P.L.A.
OWNER:
CVS 11001 CO, L.L.C.
ONE CVS DRIVE, WOODSOCKET, RI 02885
TEL: (317) 705-8803

CITY OF COLORADO SPRINGS LAND USE REVIEW:
375 WINTERPARKWAY, SUITE 105
COLORADO SPRINGS, CO 80901
PHONE: 719.385.5383
CONTACT: MICHAEL SCHULTZ, AICP
COLORADO SPRINGS FIRE DEPARTMENT:
375 WINTERPARKWAY, SUITE 200
COLORADO SPRINGS, CO 80910
PHONE: 719.385.7362
CONTACT: STEVE SMITH, CFP, CFFE

EXISTING SITE DATA
SITE AREA: 1.062± AC
ZONING CLASSIFICATION: PLANNED BUSINESS CENTER (PBC) AND GENERAL BUSINESS (C-6)
EXISTING LAND USE: BANK AND RESTAURANT
JURISDICTION: CITY OF COLORADO SPRINGS
FLOODPLAIN: ZONE X, NOT WITHIN 100 YR. FLOOD PLAIN FIRM MAP NUMBER 08041C0519F, EFFECTIVE DATE MARCH 17, 1997.
SITE ADDRESS: 3485 N. ACADEMY BLVD
TAX SCHEDULE NO.: 6335206014 (3485 N. ACADEMY BLVD)

PROPOSED SITE DATA
SITE AREA: 1.461± AC
ZONING CLASSIFICATION: PLANNED BUSINESS CENTER (PBC)
PROPOSED LAND USE: CVS PHARMACY WITH SINGLE DRIVE-THRU
JURISDICTION: CITY OF COLORADO SPRINGS
FLOODPLAIN: ZONE X, NOT WITHIN 100 YR. FLOOD PLAIN FIRM MAP NUMBER 08041C0519F, EFFECTIVE DATE MARCH 17, 1997.
SITE ADDRESS: 3485 N. ACADEMY BLVD
TAX SCHEDULE NO.: 6335206014 (3485 N. ACADEMY BLVD)

BUILDING SETBACKS:
FRONT - 25'
SIDE - 25'
REAR - 25'
CORNER - 25'
LANDSCAPE SETBACKS:
REQUIRED:
ACADEMY BLVD - 25'
CAREFREE CR - 25'
PROVIDED:
ACADEMY BLVD - 19'
CAREFREE CR - 13'

SITE COVERAGE:
BUILDING - 20.5%
PAVEMENT - 62.4%
LANDSCAPING - 17.1%
13,111 S.F.
PROPOSED BUILDING DATA
BUILDING: 13,111 S.F.
BUILDING HEIGHT:
PROPOSED: 29'
MAXIMUM BY CODE: 45'
(PBC)
PROPOSED BUILDING COVERAGE:
20.5% ±

PROPOSED PARKING DATA
STANDARD AUTO PARKING:
PROVIDED: 58 SP.
REQUIRED: 44 SP.
(1.0 PER 300 SF GFA)
ACCESSIBLE PARKING:
PROVIDED: 4 SP.
REQUIRED: 3 SP.
(PER TABLE B 7.4.204)

CITY APPROVAL:

| NO. | SHEET TITLE |
|-----|--|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| 3 | SITE PLAN |
| 4 | PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN |
| 5 | GRADING PLAN |
| 6 | FINAL LANDSCAPE PLAN |
| 7 | LANDSCAPE NOTES |
| 8 | LANDSCAPE DETAILS |
| 9 | ELEVATIONS |
| 10 | FLOOR PLAN |
| 11 | PHOTOMETRIC PLAN |



June 14, 2017

FIGURE 1

CVS PHARMACY STORE #11001

DEVELOPMENT PLAN 3485 N. ACADEMY BLVD LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE CITY COLORADO SPRINGS, STATE OF COLORADO

DEMO NOTES

- 1 DEMO EXISTING BUILDING.
- 2 DEMO EXISTING ELECTRIC BOX. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
- 3 DEMO EXISTING SIGN.
- 4 DEMO EXISTING MONUMENT SIGN.
- 5 DEMO EXISTING CONCRETE SIDEWALK. (TOTAL SF: 2,604)
- 6 DEMO EXISTING CONCRETE PAVEMENT. (TOTAL SF: 22,269)
- 7 DEMO EXISTING ASPHALT PAVEMENT. (TOTAL SF: 14,602)
- 8 DEMO EXISTING LANDSCAPING. (TOTAL SF: 16,802)
- 9 DEMO EXISTING SITE LIGHT.
- 10 DEMO EXISTING BOLLARD.
- 11 DEMO EXISTING ELECTRIC TRANSFORMER BOX. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
- 12 DEMO EXISTING GAS METER.
- 13 DEMO EXISTING AIR CONDITIONING UNIT.
- 14 DEMO EXISTING UNDERGROUND ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH COLORADO SPRINGS UTILITIES.
- 15 DEMO EXISTING ELECTRICAL VAULT. CONTRACTOR SHALL COORDINATE WITH COLORADO SPRINGS UTILITIES.
- 16 DEMO EXISTING UNDERGROUND COMMUNICATIONS LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
- 17 DEMO EXISTING UNDERGROUND GAS LINE. CONTRACTOR SHALL COORDINATE WITH COLORADO SPRINGS UTILITIES.
- 18 DEMO EXISTING UNDERGROUND WATER LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
- 19 DEMO EXISTING FIRE HYDRANT. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER.
- 20 DEMO EXISTING LIGHT POLE.
- 21 DEMO EXISTING WATER VALVE.
- 22 DEMO EXISTING CONCRETE WALL.
- 23 DEMO EXISTING CURB AND GUTTER. (TOTAL LF: 2265)
- 24 DEMO EXISTING DRIVE-THRU STRUCTURE.

PROTECT IN PLACE NOTES

- 1 EXISTING LIGHT POLE TO REMAIN. PROTECT IN PLACE.
- 2 EXISTING ELECTRIC VAULT TO REMAIN. PROTECT IN PLACE.
- 3 EXISTING ELECTRIC TRANSFORMER TO REMAIN. PROTECT IN PLACE.
- 4 EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- 5 EXISTING WATER VALVE TO REMAIN. PROTECT IN PLACE.
- 6 EXISTING SANITARY SEWER MANHOLE TO REMAIN. PROTECT IN PLACE.
- 7 EXISTING CURB AND GUTTER TO REMAIN. PROTECT IN PLACE.
- 8 EXISTING SIGN TO REMAIN. PROTECT IN PLACE.
- 9 EXISTING UNDERGROUND GAS LINE TO REMAIN. PROTECT IN PLACE.
- 10 EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN. PROTECT IN PLACE.
- 11 EXISTING OVERHEAD UTILITY LINE TO REMAIN. PROTECT IN PLACE.
- 12 EXISTING UNDERGROUND WATER LINE TO REMAIN. PROTECT IN PLACE.
- 13 EXISTING UNDERGROUND COMMUNICATIONS LINE TO REMAIN. PROTECT IN PLACE.

RELOCATE NOTES

- 1 RELOCATE EXISTING UNDERGROUND ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH COLORADO SPRINGS UTILITIES. (REF. SHEET C4.3 FOR RELOCATED ELECTRIC LINE LOCATION).
- 2 RELOCATE EXISTING LIGHT POLE. CONTRACTOR SHALL COORDINATE WITH COLORADO SPRINGS UTILITIES. (REF. SHEET C4.3 FOR RELOCATED POLE LOCATION).
- 3 RELOCATE EXISTING COMMUNICATIONS PEDESTAL. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED COMMUNICATIONS PEDESTAL).
- 4 RELOCATE EXISTING FIBER OPTIC VAULT. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED FIBER OPTIC VAULT LOCATION).
- 5 RELOCATE EXISTING ELECTRIC VAULT. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED ELECTRIC VAULT LOCATION).
- 6 RELOCATE EXISTING TRAFFIC SIGNAL POLE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED TRAFFIC SIGNAL POLE LOCATION).
- 7 RELOCATE EXISTING FIBER OPTICS LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED FIBER OPTICS LINE LOCATION).
- 8 RELOCATE EXISTING COMMUNICATIONS LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. (REF. SHEET C4.3 FOR RELOCATED COMMUNICATIONS LINE LOCATION).

GENERAL NOTES

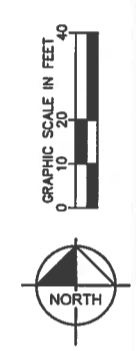
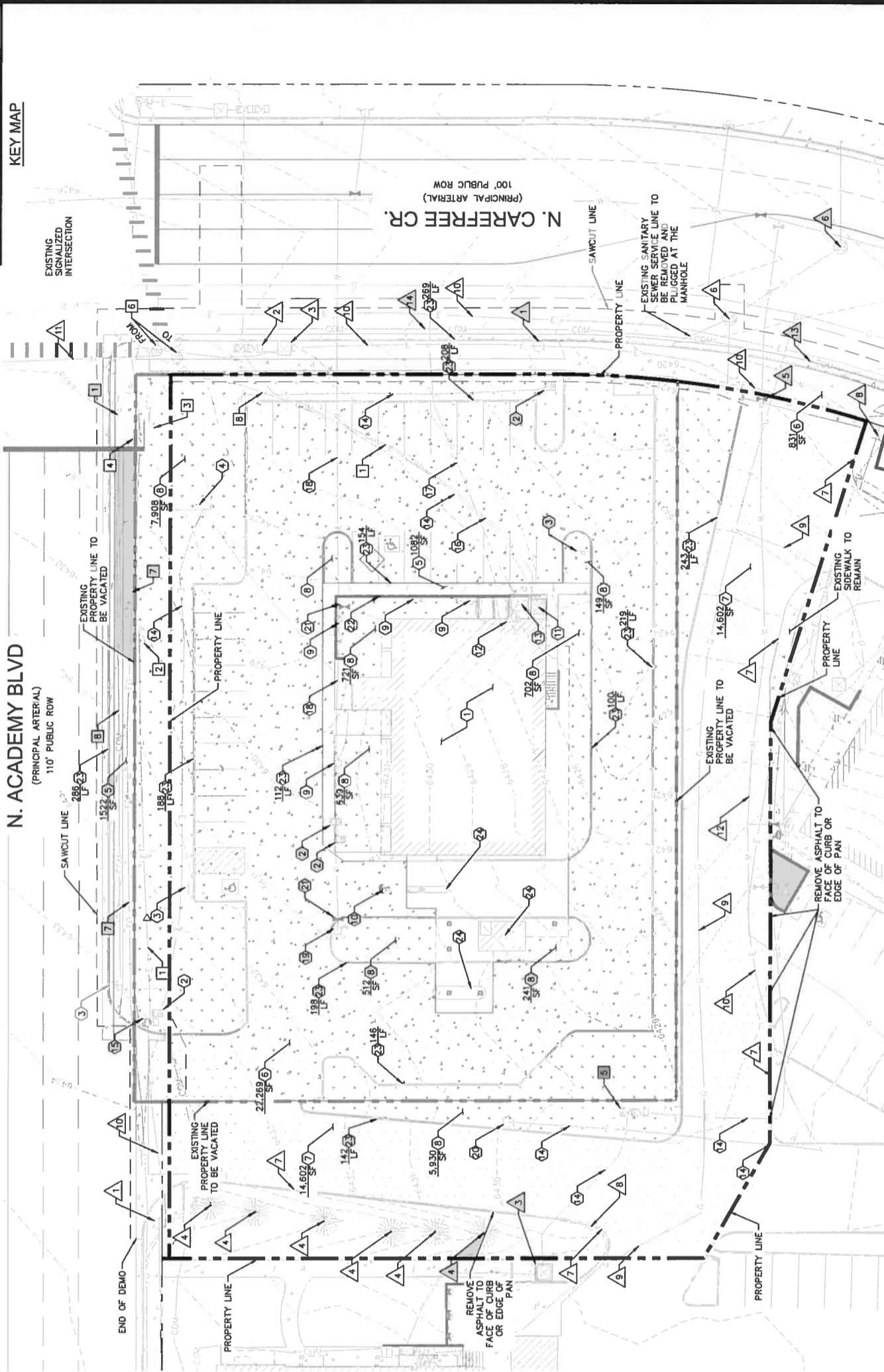
1. REFERENCE COLORADO SPRINGS UTILITIES PLANS FOR COMPLETE DETAILS REGARDING REMOVAL AND ABANDONMENT OF WATER SERVICES AND STRUCTURES.
2. UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL AND UTILITY REGULATIONS.
3. WATER METERS TO BE SALVAGED AND PROVIDED TO OWNER FOR COLORADO SPRINGS REIMBURSEMENT.

STATEMENT:

THE CITY OF COLORADO SPRINGS RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE CITY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. RESUBMITTAL REQUIRED IF CONSTRUCTION HAS NOT COMMENCED WITHIN 180 DAYS AFTER REVIEW DATE.

DEMO PLANS LEGEND

- REMOVE EXISTING CONCRETE
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING LANDSCAPING.
- DEMO NOTE
- PROTECT IN PLACE NOTE
- RELOCATE NOTE
- PROPERTY LINE
- SAWCUT LINE



EXISTING CONDITIONS
AND DEMOLITION PLAN
SHEET 2 of 11

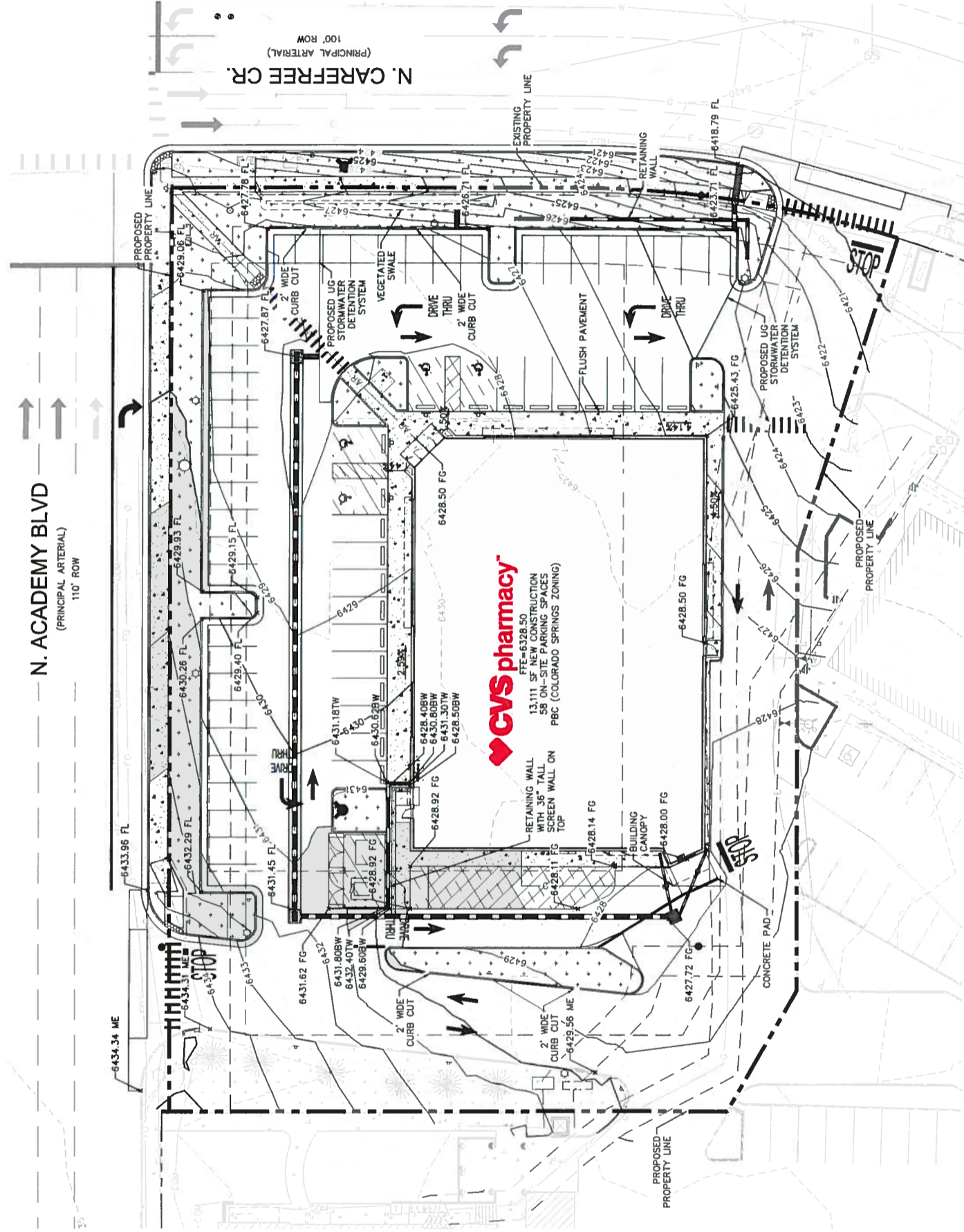
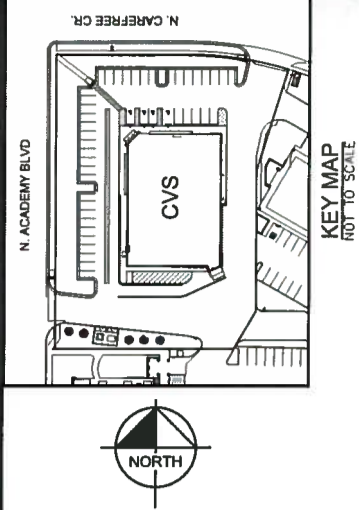
CVS PHARMACY STORE #11001 DEVELOPMENT PLAN
AND DD 17 00000

FIGURE 1

Kimley»Horn
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4582 South Ulster, Suite 1500
Denver, Colorado 80237 (303) 228-2300

CVS PHARMACY STORE #11001 DEVELOPMENT PLAN

3485 N. ACADEMY BLVD
LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
CITY COLORADO SPRINGS, STATE OF COLORADO



LEGEND

| | |
|-----|---|
| --- | PROPERTY LINE |
| --- | EXISTING PROPERTY LINE |
| --- | PROPOSED CONCRETE CIP |
| --- | RETAINING WALL WITH 36" TALL MASONRY SCREEN WALL ON TOP |
| --- | PROPOSED STORM SEWER LINE |
| --- | ACCESSIBLE ROUTE |
| --- | PROPOSED MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| --- | PROPOSED VEGETATION |
| --- | STANDARD DUTY CONCRETE |
| --- | STANDARD DUTY ASPHALT |
| --- | HEAVY DUTY ASPHALT |
| --- | HEAVY DUTY CONCRETE |
| --- | FINISHED GRADE |
| --- | EXISTING GRADE |
| --- | MATCH EXISTING |
| --- | FLOW LINE |
| --- | TOP OF WALL |
| --- | BOTTOM OF WALL |

NOTES

- ELEVATIONS ARE FINISHED GRADE UNLESS OTHERWISE NOTED
- ALL STORM DRAINS AND STRUCTURES ARE PRIVATE UNLESS OTHERWISE NOTED

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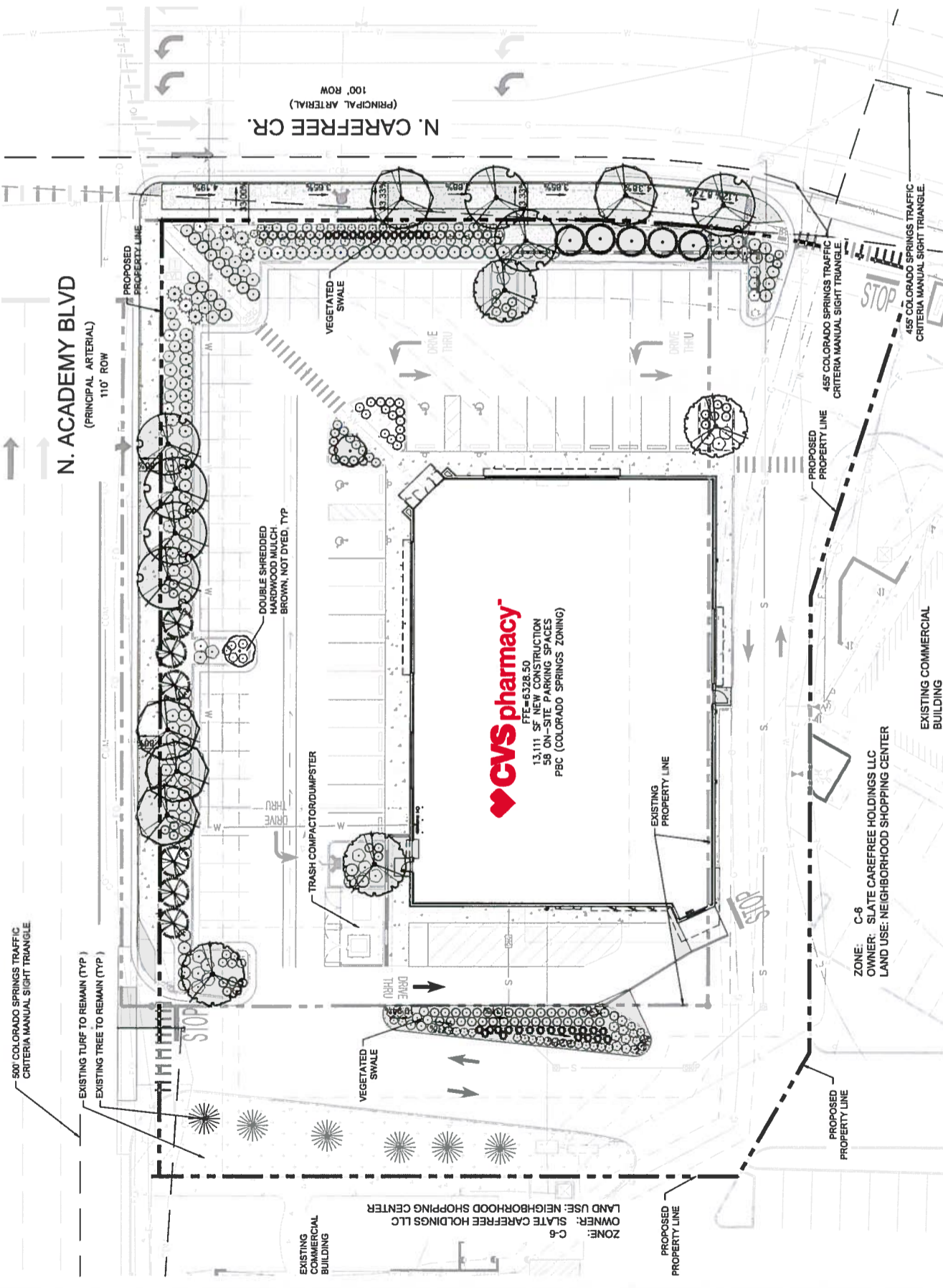


CITY APPROVAL:

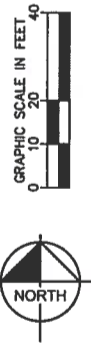
FIGURE 1

CVS PHARMACY STORE #11001

DEVELOPMENT PLAN
3485 N. ACADEMY BLVD
LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
CITY COLORADO SPRINGS, STATE OF COLORADO



- NOTE:**
- PERCENTAGE OF SIGNATURE PLANTS 100%
 - ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT SPECIFICATIONS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
 - A FINAL LANDSCAPE AND IRRIGATION PLAN APPLICATION IS DUE TO THE CITY OF COLORADO SPRINGS PLANNING CONCURRENT WITH THE BUILDING PERMITTING. PERMITS ARE LIMITED TO NO LATER THAN 90 DAYS FROM THE BUILDING PERMIT APPROVAL.
 - FINAL IRRIGATION PLAN TO USE DRIP IRRIGATION FOR ALL TREES AND SHRUB AREAS AND TURF ROTARY HEADS FOR ALL SOI SEED AREAS. ALL LANDSCAPE WILL BE FULLY IRRIGATED.



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PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | GAL. | SIZE |
|--------|------|-----|--|---------------------------|--------|--------------|----------|
| | CO | 5 | CELTIS OCCIDENTALIS | COMMON HACKBERRY | 8 & 8 | 2' CAL MIN | |
| | OK | 7 | GYMNOCLADUS DIOICA | KENTUCKY COFFEE TREE | 8 & 8 | 2' CAL MIN | |
| | GS | 4 | GLEDTIS TRIACANTHOS INERMIS SHADEMASTER TM | SHADEMASTER LOCUST | 8 & 8 | 2' CAL MIN | |
| | JS | 5 | JUNIPERUS SCOPULORUM | ROCKY MOUNTAIN JUNIPER | 8 & 8 | 6' HT MIN | |
| | PP | 6 | PICEA PUNGENS 'HOOPSII' | HOOPSI BLUE SPRUCE | 8 & 8 | 6' HT MIN | |
| | RI | 3 | RETICULATA X 'IVORY STICK' | IVORY STICK | 8 & 8 | 1.5' CAL MIN | |
| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT. | SPACING | SIZE |
| | AF2 | 15 | ARTEMISA FRIGIDA | FRINGED WORMWOOD | 5 GAL. | SEE PLAN | |
| | AG2 | 34 | ANDROPOGON HALLII 'GARDEY' | SAND BLUESTEM | 5 GAL. | SEE PLAN | |
| | CC | 40 | CARYOPTERIS X CLANDONENSIS 'BLUE MIST' | BLUE MIST SHRUB | 5 GAL. | SEE PLAN | |
| | CR2 | 23 | CHRYSOTHAMINUS NAUSEOSUS | RUBBER RABBITBRUSH | 5 GAL. | SEE PLAN | |
| | ER | 26 | ELIOTYBUS ALATUS 'RUDY HAAG' | RUDY HAAG BURNING BUSH | 5 GAL. | SEE PLAN | |
| | GA2 | 14 | GALLIARDIA ARISTATA | COMMON GALLIARDIA | 5 GAL. | SEE PLAN | |
| | JS2 | 6 | JUNIPERUS X MEDIA 'SEA GREEN' | SEA GREEN JUNIPER | 5 GAL. | SEE PLAN | 18" FULL |
| | MA | 45 | MAHONIA AQUIFOLIUM | OREGON GRAPE | 5 GAL. | SEE PLAN | |
| | MR2 | 25 | MAHONIA REPENS | CREeping MAHONIA | 5 GAL. | SEE PLAN | |
| | PR2 | 15 | PRUNUS BESSEYI | SAND CHERRY | 5 GAL. | SEE PLAN | |
| | RA | 6 | RIBES ALPNUM | ALPINE CURRANT | 5 GAL. | SEE PLAN | |
| | RC2 | 50 | RATBIDIA COLUMNIFERA | YELLOW PRAIRIE CONEFLOWER | 5 GAL. | SEE PLAN | |
| | SS2 | 90 | SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' | LITTLE BLUESTEM GRASS | 5 GAL. | SEE PLAN | |

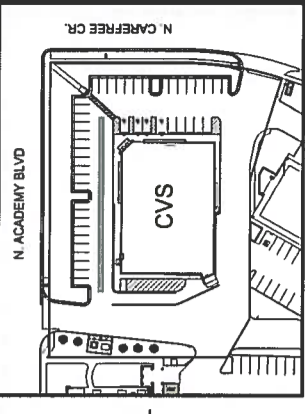


FIGURE 1

CVS PHARMACY STORE #11001

DEVELOPMENT PLAN

3485 N. ACADEMY BLVD

LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
CITY COLORADO SPRINGS, STATE OF COLORADO

GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING REQUIRED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL AGENCIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN REPORTS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE DESIGNER, SHALL BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY TREES, SHRUBS, AND GRASSES DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE OF THE OWNER'S CHOICE. THE CONTRACTOR SHALL NOT TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY IF NECESSARY. THE CONTRACTOR MUST USE OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL FINISHED WORK, MAINTAIN SURFACES CLEAN, UNMARKED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY ELEMENTS DAMAGED BY CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL CONSTRUCTION DOCUMENTS. ANY EROSION CONTROL MEASURES DAMAGED BY CIVIL CONSTRUCTION DOCUMENTS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ESTABLISHED AND FREE OF DISEASE. PLANT MATERIAL AS TYPICAL FOR THE SPECIES THEY ARE BEING PLANTED. WELL DEVELOPED STANDARDS AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERYMAN ASSOCIATION.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION.

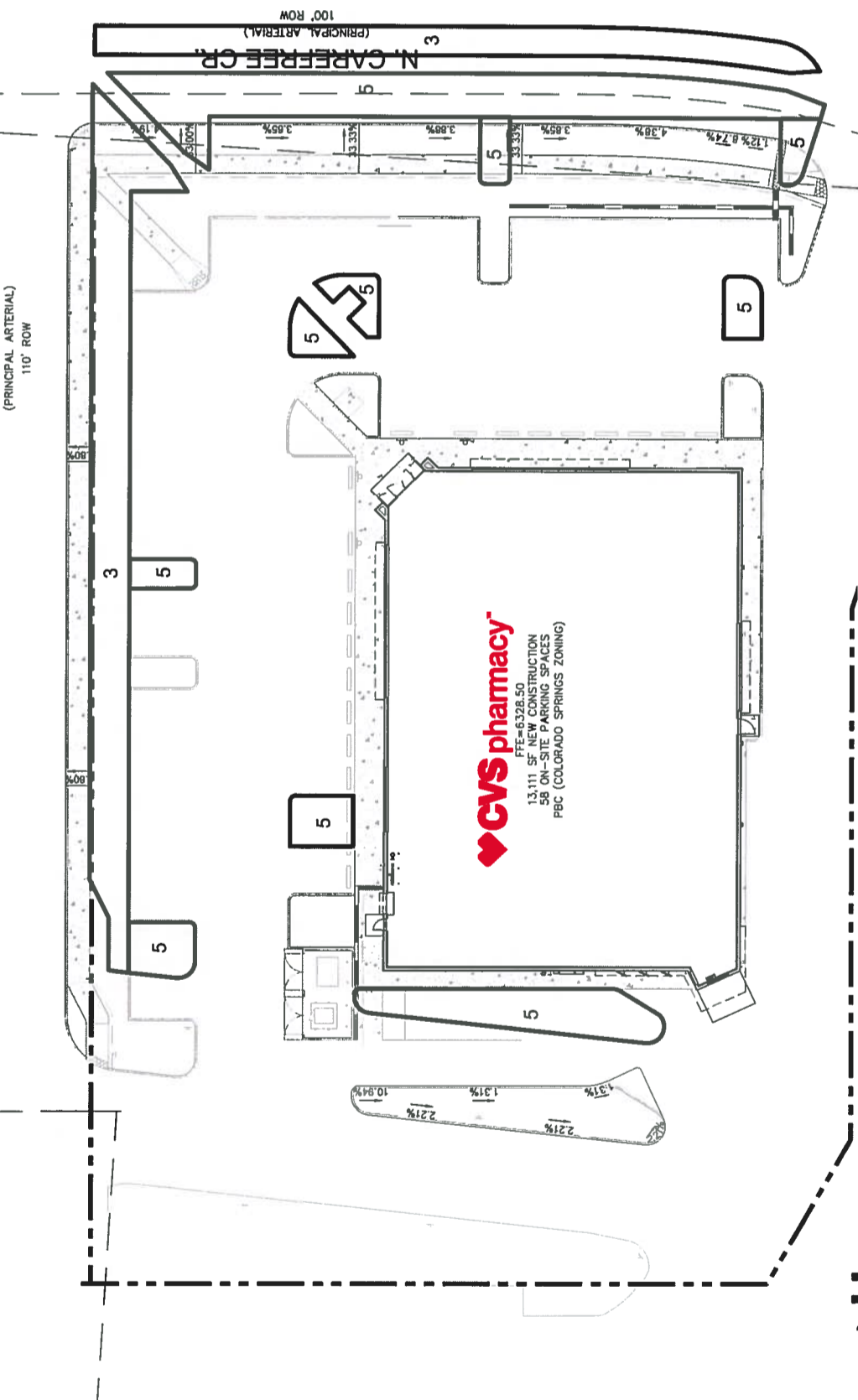
REGIONAL PLANT COMMUNITIES

- SEMIARID SHRUBLANDS
- PINON-JUNIPER WOODLANDS
- PRAIRIE
- LOWER ELEVATION RIPARIAN
- FOOTHILL SHRUBLANDS
- PONDEROSA PINE FOREST
- UPPER ELEVATION RIPARIAN
- DOUGLAS-FIR FOREST

| LANDSCAPE SETBACKS | STREET NAME OR ZONE BOUNDARY | WIDTH REQ./PROV. | LINEAR FOOTAGE | TREE/FEET REQUIRED | NO. OF TREES REQ./ PROVIDED | EVERGREEN PLANTS REQ (50%) / PROV. |
|--------------------------------|-------------------------------|------------------|---|-------------------------------|------------------------------------|------------------------------------|
| | ACADEMY BLVD | 25/13 | 241 | 1720LF | 32/13 | 6/6 |
| | CAREFREE CR* | 25/8 | 384 | 1720LF | 20/6 | 5/5 |
| INTERNAL LANDSCAPING | | | | | | |
| NET SITE AREA (SF) | INTERNAL AREA (SF) REQ./PROV. | | INTERNAL TREES (1/500 SF) REQ./PROV. | | | |
| 63,548 | 3,177 SF / 4,381 SF | | 7/6 IN ADDITION TO EXIST. TREES | | | |
| MOTOR VEHICLE LOTS | | | | | | |
| NO. OF VEHICLE SPACES PROVIDED | VEHICLE LOT FRONTAGES | | LENGTH OF FRONTAGE (FT) (EXCLUDING DRIVEWAYS) | 2 1/2 LENGTH OF FRONTAGE (FT) | MIN. 3 SCREENING PLANTS REQ./PROV. | EVERGREEN PLANTS REQ (50%) / PROV. |
| 59 | NORTH LOT WEST LOT | | 171 FT. 153 FT. | 115 102 | 34/24 | 19/13 17/12 |

* DO TO LACK OF HISTORY, ALSO CAREFREE, THE WATER QUALITY POND, AND VIEW CORRIDORS, 4 TREES HAVE BEEN OMITTED IN THE SETBACK AND LOCATED ELSEWHERE ON SITE.

N. ACADEMY BLVD (PRINCIPAL ARTERIAL) 110' ROW



CVS PHARMACY

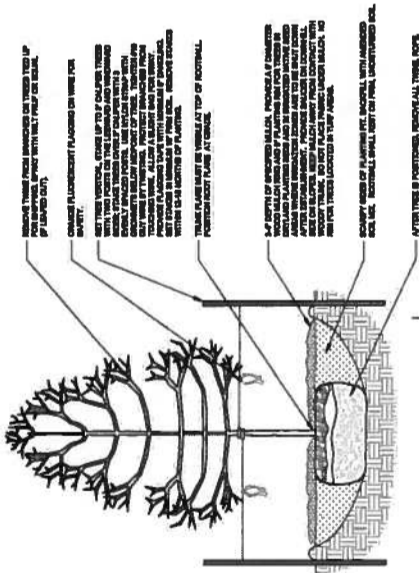
STORE #11001

DEVELOPMENT PLAN

3485 N. ACADEMY BLVD

LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
CITY COLORADO SPRINGS, STATE OF COLORADO

- NOTES:**
1. MARK THE NORTH SIDE OF TREES IN THE MANSUET AND INDICATE TREES TO FACE NORTH AT THE SITE.
 2. WEATHER PROBLEMS: DO NOT REMOVE OR CUT LEAVES OR BRANCHES OVER 1/2 INCH IN DIAMETER. BRANCHES OVER 1/2 INCH IN DIAMETER SHOULD BE REMOVED. BRANCHES, AND TRUNK ON NARROW CRITCHES. SOME INTERIOR TRUNKS AND LATERAL BRANCHES MAY BE PRUNED.
 3. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 4. KEEP PLANTS MAINTAINED AND BRANDED UNTIL PLANTING.
 5. DO NOT FERTILIZE IN ANY MANNER AT ANY TIME.
 6. DO NOT FERTILIZE IN ANY MANNER AT ANY TIME.
 7. WIND TRUNK ON EXPOSED SIDES AND BRANCHED WITH TRUNK BRANCH. LINE ELECTRICAL ON EAST SIDE, NOT TRUNK.
 8. KEEP WATERED ALL PLANTS AT TIME OF PLANTING.



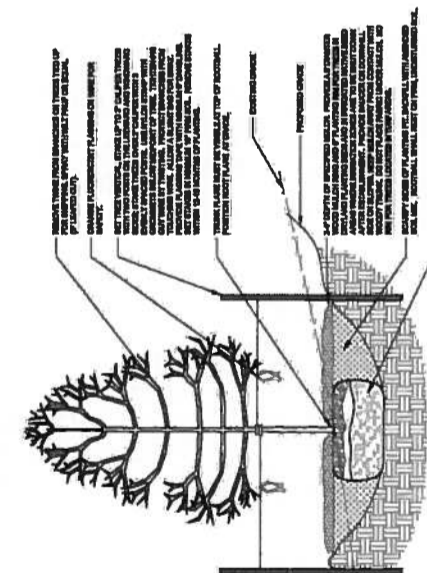
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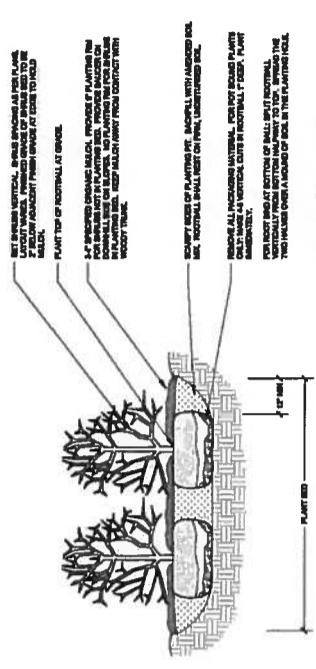
SECTION

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Denver, Colorado 80237 (303) 228-2300

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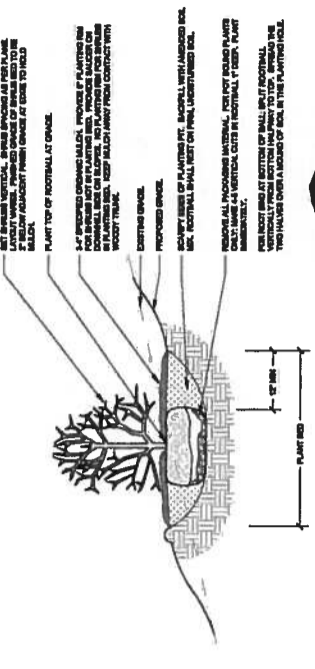
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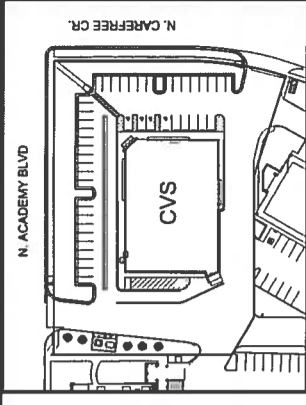
CITY APPROVAL:

FIGURE 1

CVS PHARMACY

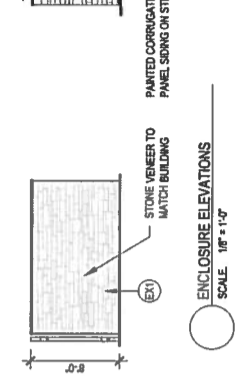
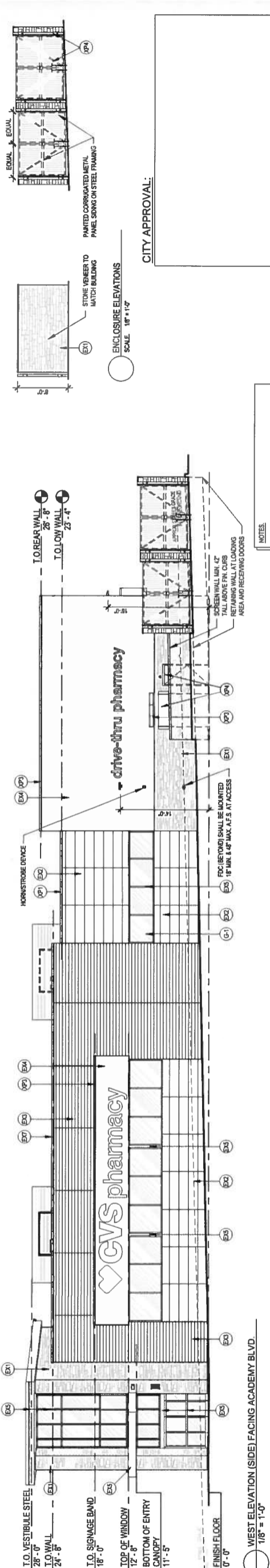
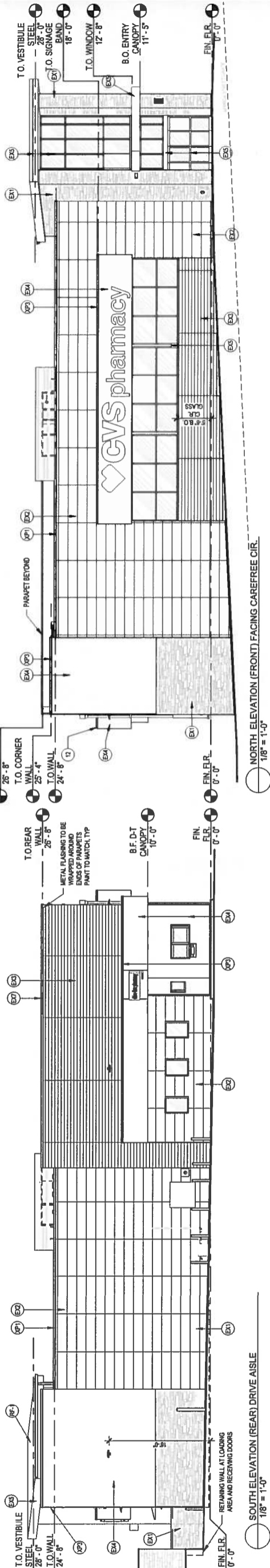
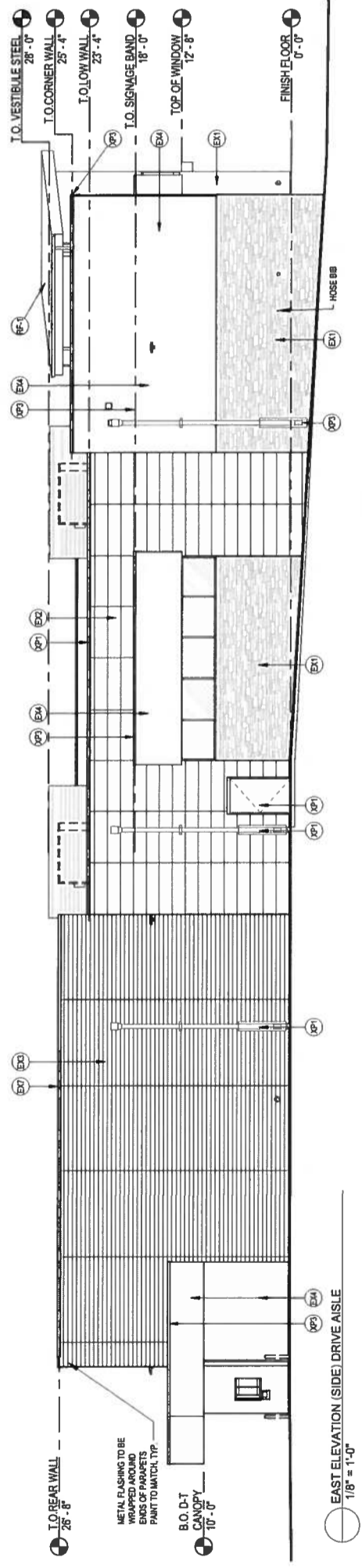
STORE #11001

DEVELOPMENT PLAN
 3485 N. ACADEMY BLVD
 LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
 CITY COLORADO SPRINGS, STATE OF COLORADO



EXTERIOR MATERIAL SCHEDULE

| Material | Manufacturer | Material Description |
|----------|-------------------|---|
| EX1 | NICHHA | STACKED STONE GURASTONE, COLOR, DESERT FINISH TEXTURED, SIZE 6" X 25-5/8" |
| EX2 | NICHHA | FLASHING AND PARAPET CAP PAINTED IN FIELD TO MATCH - XP4 ALUMINATION SERIES COLOR, BENJAMIN MOORE NORTH |
| EX3 | NICHHA | FLASHING AND PARAPET CAP PAINTED IN FIELD TO MATCH - XP1 VINTAGE WOOD (8" SLAT PATTERN) SIZE, 18" X 10" (1/2" COLOR, CEDAR FLASHING & PARAPET CAP PAINTED IN FIELD TO MATCH |
| EX4 | STO | 8400 WINDOW SYSTEM, 181 STOUT, LOTUSMANS 5 COLOR, 9433 RED, SIZE 6" X 25-5/8" |
| EX5 | FIRESTONE | FLASHING AND PARAPET CAP PAINTED IN FIELD TO MATCH - XP3 ANODIZED ALUMINUM COPING/FLASHING |
| EX6 | FIRESTONE | METAL ROOF EDGE COLOR, PAINT BM 1001 (4B) NORTH CREEK |
| EX7 | FIRESTONE | METAL ROOF EDGE COLOR, PAINT MATCH SHERWIN WILLIAMS BAKED COOLIE SW9008 |
| EX8 | FIRESTONE | METAL ROOF EDGE, COLOR: PAINT TO MATCH STO 8433 80 WHITE |
| EX9 | RE SPECIFICATIONS | PLASTIC TO MATCH OSHA YELLOW |
| XP1 | BENJAMIN MOORE | PAINT BM 1001 (4B) NORTH CREEK BROWN, FINISH: SATIN |
| XP3 | STO | PAINT MATCH 8433 80 STD WHITE, FINISH: SATIN |
| XP4 | SHERWIN WILLIAMS | PAINT SW 7731 Sun Anodized Sign, FINISH: SATIN |



CITY APPROVAL:

- NOTES:
- ALL BRANDS SHOWN UNDER SEPARATE PERMIT

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WARMAN ARCHITECTURE + DESIGN
 1828 SWIFT SUITE 101
 NORTH KANSAS CITY, MISSOURI 64116
 V. 816.474.2233 F. 816.474.1051

FIGURE 1

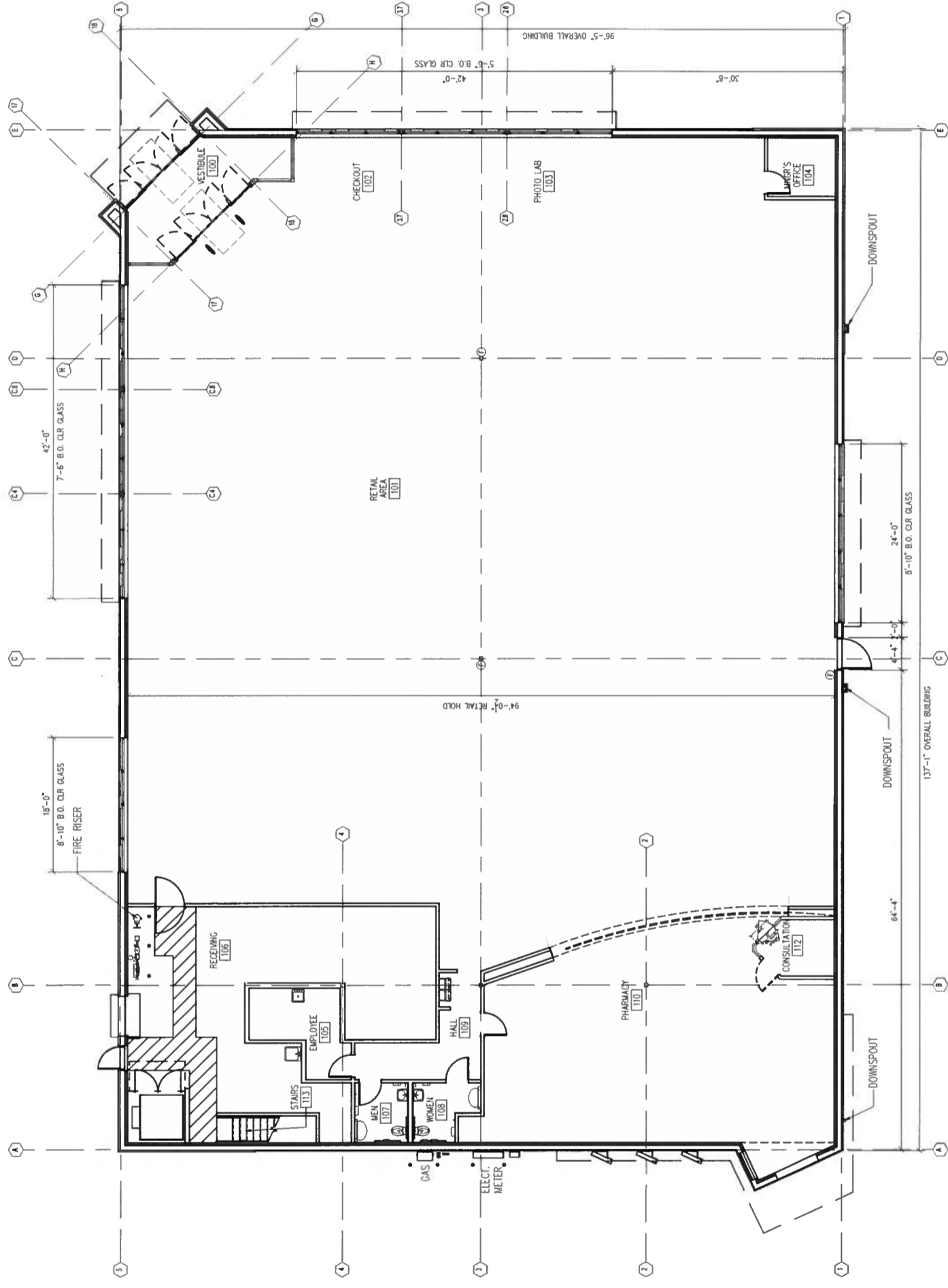
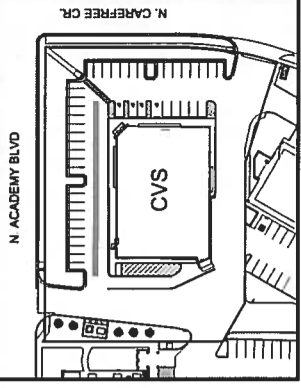
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DEVELOPMENT PLAN

3485 N. ACADEMY BLVD

LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
CITY COLORADO SPRINGS, STATE OF COLORADO



1 FLOOR PLAN
0-1 SCALE: 1/8" = 1'-0"

CITY APPROVAL:



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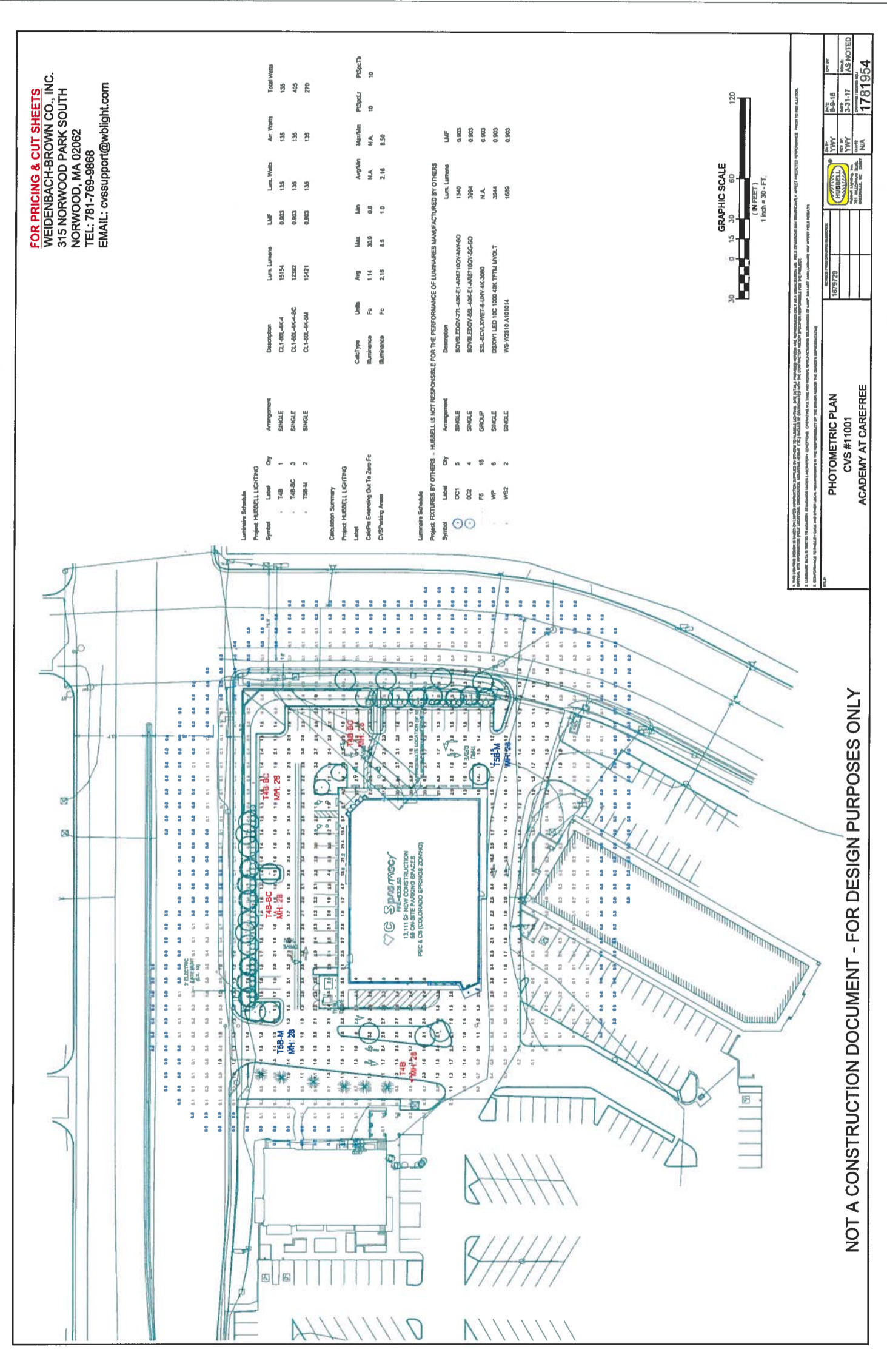
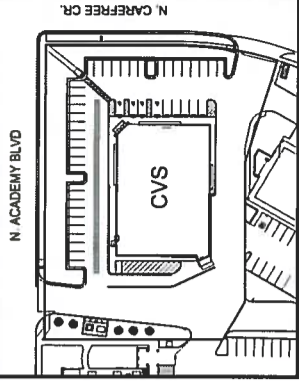
FLOOR PLAN
SHEET 10 of 11

CVS PHARMACY STORE #11001 DEVELOPMENT PLAN

FIGURE 1

CVS PHARMACY STORE #11001

DEVELOPMENT PLAN
3485 N. ACADEMY BLVD
LOT 1, FIRST FEDERAL SAVINGS AND LOAN - CAREFREE
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NOT TO SCALE

PHOTOMETRIC PLAN
SHEET 11 of 11

CVS PHARMACY STORE #11001 DEVELOPMENT PLAN

FIGURE 1