

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION
LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.
TO BE PLATTED AS NEWPORT SUBDIVISION FILING NO. 19B.

PROJECT DESCRIPTION
PROPOSED CONDITIONAL USE DEVELOPMENT PLAN ADDRESS THE NEW AUTOMOTIVE SALES AND REPAIR USE ADDED FOR FUTURE TENANT FRESH PROJECT.

DEVELOPMENT HISTORY
DEVELOPMENT PLAN: ADP# 2000614
MASTER PLAN: AIRPORT MASTER PLAN
CONDITION OF RECORD: ORD. NO. 70-83
CONDITION OF RECORD: ORD. NO. 70-83

SITE DATA

OWNER:
930 NORTH NEWPORT ROAD, LLC, A COLORADO LIMITED LIABILITY COMPANY
REGISTERED OFFICE:
DENVER, CO 80202

SCHEDULE NUMBER:
662410005
ADDRESS:
100 W. CAVALLO (R/F)
CURRENT ZONING:
P10-27 (OR) A-1 PLANNED INDUSTRIAL PARK CONDITIONS OF RECORD AIRPORT OVERLAY
CONDITIONS OF RECORD (ORDINANCE NUMBER 70-83)

EXISTING USE:
INDUSTRIAL - WAREHOUSE & DISTRIBUTION
EXISTING USE TO REMAIN WITH ADDITIONAL USE OF AUTOMOTIVE REPAIR GARAGE / AUTOMOTIVE SALES WITH IN 1025 SF
FALL 2020

PROPOSED USE:
INDUSTRIAL - WAREHOUSE DISTRIBUTION AND AUTOMOTIVE REPAIR GARAGE / AUTOMOTIVE SALES
FALL 2020

DEVELOPMENT SCHEDULE:
FALL 2020

BUILDING USE:
INDUSTRIAL - WAREHOUSE DISTRIBUTION AND AUTOMOTIVE REPAIR GARAGE / AUTOMOTIVE SALES

BUILDING SIZE:
-BUILDING A: 50,000 SF
-BUILDING B: 58,200 SF

DRAINAGE BASIN:
PETTERSON FIELD

LANDSCAPE SETBACKS:
-SOUTH POWERS BOULEVARD: 25'
-OTHER: 10'

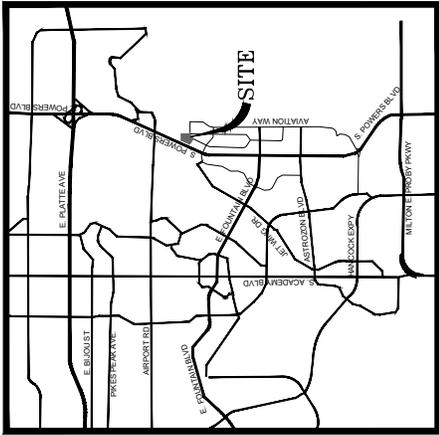
PARKING REQUIREMENTS:
WAREHOUSE AND AUTOMOTIVE REPAIR: 11,000 SF
DISTRIBUTION: 1,400 SF
AUTOMOTIVE SALES: 1,400 SF
TOTAL: 13,800 SF

PROVIDED:
200 STANDARD SPACES
100 SPACES
10 ACCESSIBLE SPACES

BUILDING SETBACKS FOR P10-27 ZONING DISTRICT:
I. FRONT YARD SETBACKS: 25'
II. SIDE SETBACKS: 10'
III. REAR SETBACKS: 10'

MAXIMUM BUILDING HEIGHT FOR P10-27 ZONING DISTRICT:
PROPOSED BUILDING HEIGHT:
BUILDING A - 12'0"
BUILDING B - 30'0"

BUILDING COVERAGE:
100,200 SF 25%
128,400 SF 31%
LANDSCAPING:
128,400 SF 31%



VICINITY MAP
SCALE 1" = 200'

Sheet Number	Sheet Title
1 OF 16	COVER SHEET
2 OF 16	SITE PLAN
3 OF 16	GRADING PLAN
4 OF 16	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
5 OF 16	SITE DETAILS
6 OF 16	FINAL OVERALL LANDSCAPE PLAN
7 OF 16	FINAL LANDSCAPE ENLARGEMENT
8 OF 16	FINAL LANDSCAPE ENLARGEMENT
9 OF 16	FINAL LANDSCAPE ENLARGEMENT
10 OF 16	FINAL LANDSCAPE DETAILS
11 OF 16	SITE PHOTOMETRIC PLAN
12 OF 16	PHOTOMETRIC SCHEDULES
13 OF 16	BUILDING A ELEVATIONS
14 OF 16	BUILDING A ELEVATIONS
15 OF 16	BUILDING B ELEVATIONS
16 OF 16	BUILDING B ELEVATIONS

PROJECT TEAM

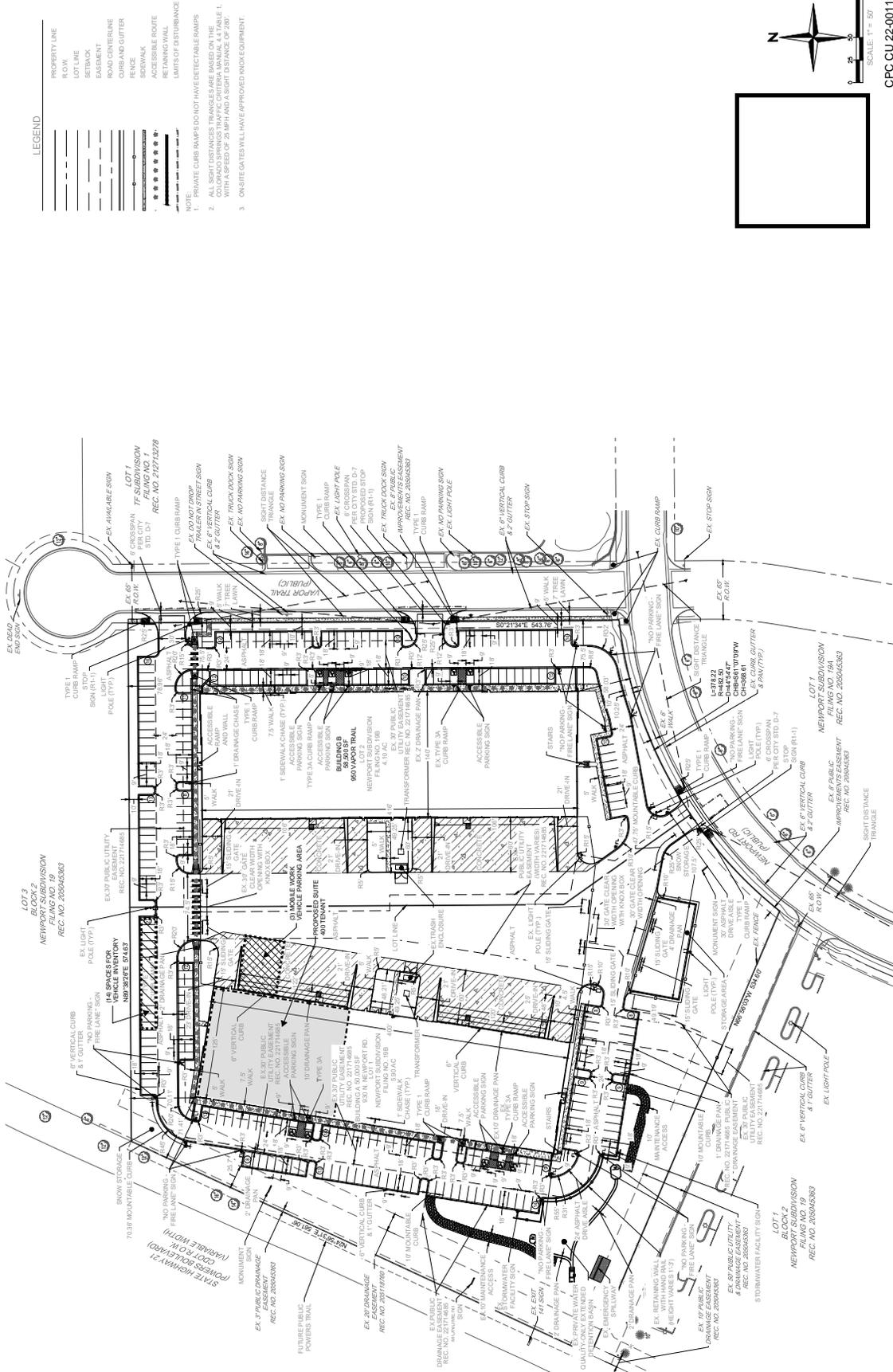
DEVELOPER
Central Development
1680 S. Abbot St., Suite 200
Colorado Springs, CO 80905
(303) 628-0200 voice
CONTACT: Jeremy Records
jeremy@centraldevelopment.com

ARCHITECT
InterGroup Architects
2000 West Littleton Blvd
Littleton, Colorado 80120
303.761.1100
CONTACT: Bill Smith
bsmith@igarch.com

1. PER FEMA FLOOD INSURANCE RATE MAP (FIRM NO. 01841023L, DATED DECEMBER 7, 2018, THIS PARCEL IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN.
2. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL SIGNAGE. REVIEW THE PERMIT AT 2800 INTERNATIONAL CIRCLE FOR SIGNAGE APPLICATION.
3. ALL PRIVATE TRAFFIC STORAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND SHALL BE OF THE CE LEVEL.
4. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
5. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND STANDARDS AND CERTAIN THAT THE PROJECT WILL COMPLY WITH ALL APPLICABLE STANDARDS AND REGULATIONS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF TRANSPORTATION AND THE FEDERAL AVIATION ADMINISTRATION. THE PARTIES WILL ASSURE COMPLIANCE WITH THE FAA OR ANY OTHER FEDERAL OR STATE REGULATIONS AND STANDARDS THAT MAY APPLY TO THIS PROJECT. THE PARTIES WILL PROVIDE ALL NECESSARY INFORMATION TO THE FAA AND STATE ACCESSIBILITY LAWS WITH THE PROPERTY OWNER.
6. THIS PROPERTY IS SUBJECT TO THE AVIATION EASEMENT RECORDED AT BOOK 3442, PAGE 875.
7. ALL EXISTING CURBS, GUTTERS, SIDEWALKS AND PAVED DRIVEWAYS SHALL BE MAINTAINED AS EXISTING. EXISTING EXCESSIVE DETERIORATION NOT REPAIRABLE SHALL BE REPAIRED TO ORIGINAL CONDITION. EXISTING DRIVEWAYS ADJACENT TO THE SITE WILL NEED TO BE REPAIRED AND REPAIRED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ENGINEERING FIRM SHALL DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
8. THERE IS NO DIRECT VEHICULAR ACCESS ALLOWED FROM THE SUBJECT PROJECT TO POWERS BOULEVARD.
9. DEVELOPERS, REALTORS AND PRESERVATIVE PURCHASERS - THIS PROPERTY MAY BE SUBJECT TO THE AVIATION EASEMENT RECORDED AT BOOK 3442, PAGE 875. THE COLORADO SPRINGS MUNICIPAL APPROVAL THE BUYER SHOULD FAMILIARIZE HIMSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
10. THIS PROPERTY MAY BE SUBJECT TO PARTICIPATION IN AVIATION WAY IMPROVEMENTS COST RECOVERY.
11. SUBMITTAL OF FAA FORM 7460-1 IS REQUIRED FOR ALL VERTICAL DEVELOPMENT ON PROPERTY WITHIN THIS PLAN.
12. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNS.
13. STREET TREES, STREETCARE IMPROVEMENTS AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ADJOINING PROPERTY OWNER.

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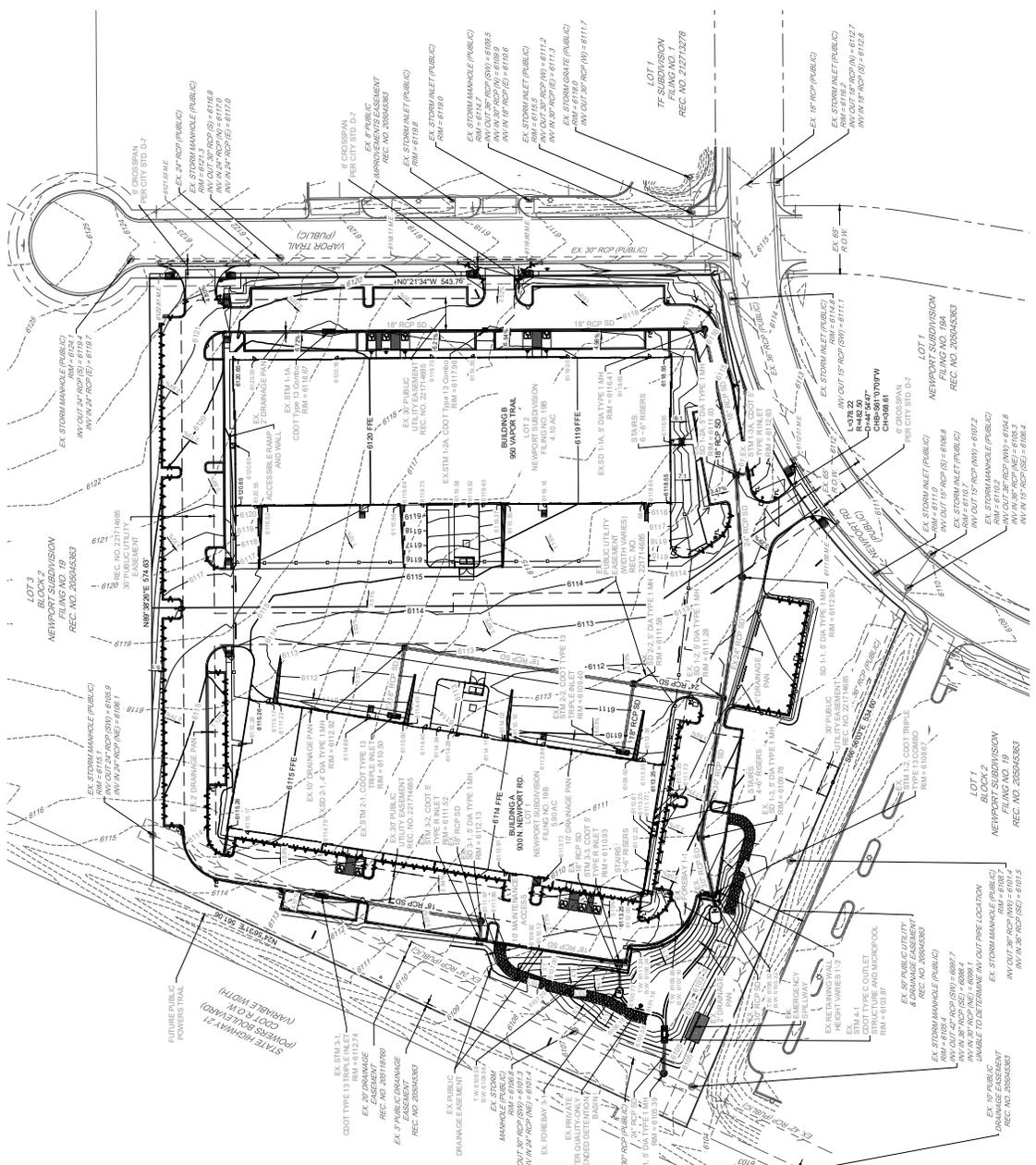
LEGEND

PROPERTY LINE
R.O.W.
LOT LINE
SETBACK
EASEMENT
BOUNDARY
CURB AND GUTTER
FENCE
SEWER/WALK
ACCESSIBLE ROUTE
RETAINING WALL
LIMITS OF DISTURBANCE

1. PRIVATE CURB RAMP DO NOT HAVE DETECTABLE RAMPS
2. ALL SORT DISTANCES TRANCES ARE BASED ON THE COLORADO SPRINGS TRAFFIC CRITERIA MANUAL, TABLE 1, WITH A SPEED OF 25 MPH AND A SORT DISTANCE OF 280'
3. ON-SITE GATES WILL HAVE APPROVED INOX EQUIPMENT.

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

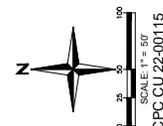
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LEGEND

PROPERTY LINE	---
R.O.W.	---
LOT LINE	---
SETBACK	---
EASEMENT	---
ROAD CENTERLINE	---
CURB AND OUTER (CATCH)	---
CURB AND OUTER (SPILL)	---
SEWER MAIN	---
STORM MAIN	---
CONTOUR MAJOR	---
CONTOUR MINOR	---
SPOT ELEVATION	---
SLOPE ARROW	---
STORM SEWER	---

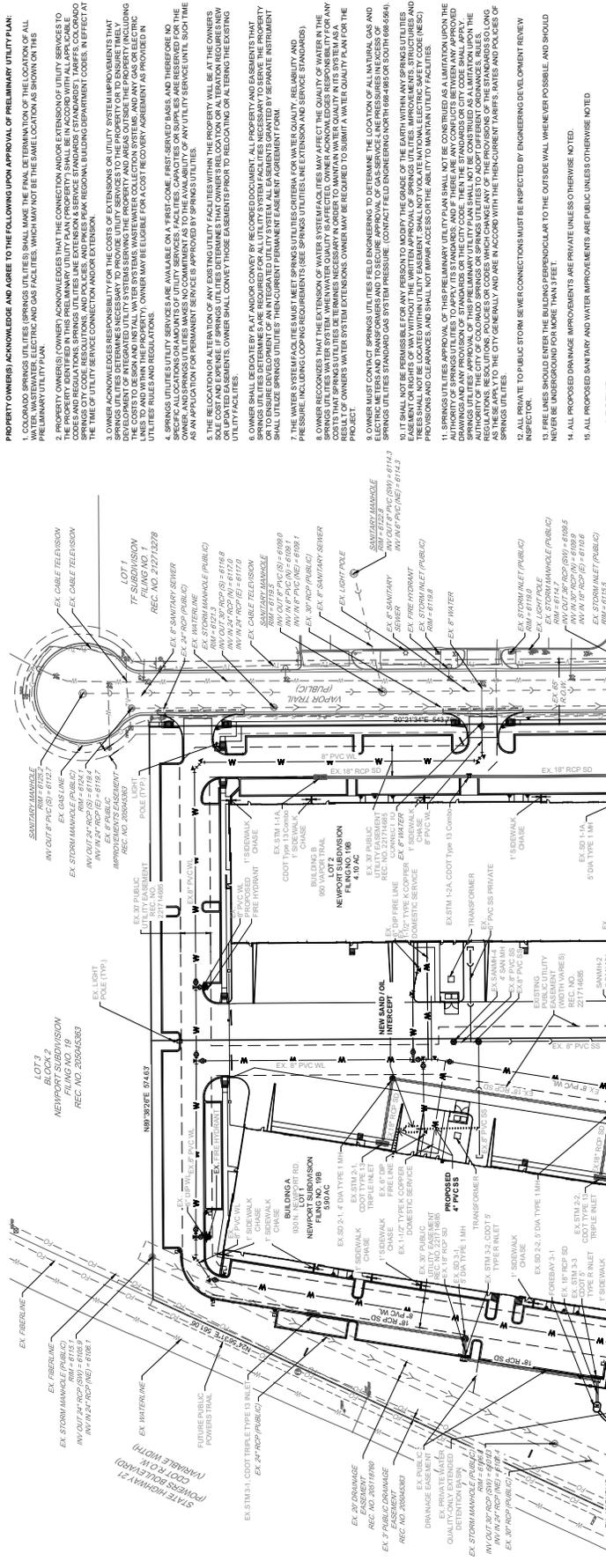
NOTES:
1. ALL PROPOSED DRAINAGE IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
2. POWERS BOULEVARD DETENTION FACILITY, LOCATED AT THE NORTHEAST CORNER OF THE SECTION, PROVIDES THE REGIONAL DETENTION FOR THIS SITE.



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LEGEND

PROPERTY LINE
R.O.W.
LOT LINE
SETBACK
EASEMENT
ROAD CENTERLINE
SEWER
RETAINING WALL
SPOT ELEVATION
SLOPE ARROW
STORM SEWER
SANITARY SEWER
WATERLINE
GAS (W/ DIA. FT.)
INLET
FLARED END SECTION
WATER CROSS
WATER TEE
WATER REDUCER
WATER VALVE
HYDRANT
PLUG/CP

- GENERAL NOTES FOR PRELIMINARY UTILITY PLAN:**
- PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN: COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNERS ACKNOWLEDGE THAT THE CONNECTION AND EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN, PROPERTY SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS (STANDARDS), TERRACE, COLORADO SPRINGS, COLORADO, SHALL APPLY TO ALL UTILITY SERVICES PROVIDED TO THIS PROPERTY. REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE THEY MEET THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTE WATER COLLECTION SYSTEMS, AND GAS OR ELECTRIC UTILITIES. OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITY RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "TEST-COME, FIRST-SERVED" BASIS AND THEREFORE NO SPECIFIC ALLOCATION OR MAINTENANCE OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE PROPERTY OR FOR ANY PART OF THE PROPERTY. SPRINGS UTILITIES WILL NOT BE RESPONSIBLE FOR ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNERS SOLE COST AND EXPENSE. SPRINGS UTILITIES DETERMINES THAT OWNERS RELOCATION OR ALTERATION REQUIRES NEW UTILITY FACILITIES. OWNERS SHALL CONVEY THOSE EASEMENTS PRIOR TO NEGOTIATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORD DOCUMENTATION. ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINE ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY SHALL BE CONVEYED TO SPRINGS UTILITIES THROUGH A PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY RESULT OF OWNERS WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 688-4888 OR SOUTH 688-6864).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
 - ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
 - SEWER LINES SHOULD ENTER THE BUILDING PERPENDICULAR TO THE OUTSIDE WALL WHENEVER POSSIBLE AND SHOULD NEVER BE UNDERGROUND FOR MORE THAN 3 FEET.
 - ALL PROPOSED SANITARY AND WATER IMPROVEMENTS ARE PUBLIC UNLESS OTHERWISE NOTED.

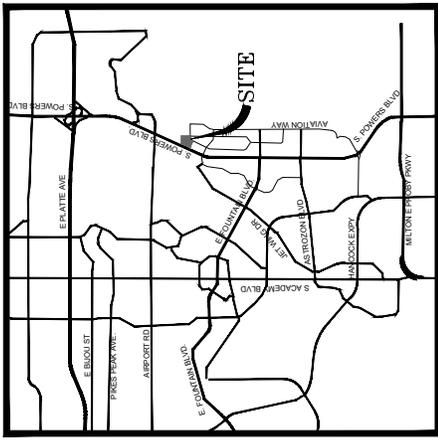
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NOTES:

- SOIL PREPARATION INCLUDES AERATION, TILING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION.
- SOIL PREPARATION SHALL BE COMPLETED AND APPROVED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE DOCUMENTED WITH PHOTOGRAPHS AND VIDEO.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH THE SUBMITTAL OF A BUILDING PERMIT, AND APPROVED PRIOR TO THE START OF CONSTRUCTION.
- SOIL AMENDMENT: REQUIRED MINIMUM SOIL AMENDMENT (CY) AND SQUARE FEET (SF) EQUALS FOUR (4) CUBIC YARDS PER ONE (1) SQUARE FOOT (SQ FT) OF GRAVEYARD AREA.
- EMERGENCY MULCH: 2" LOCAL RIVER ROCK (TAN) OVER NONWOVEN POLYPROPYLENE FILTER FABRIC OR APPROVED ALTERNATIVE.
- BERMATION:
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE FUTURE BERMATION PLAN AND APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
 - IRRIGATION CONSTRUCTION PLANS WILL BE PREPARED BY THE LANDSCAPE CONTRACTOR.
 - PERMANENT UNDERGROUND IRRIGATION WILL BE INSTALLED IN ALL LANDSCAPE AREAS.
 - CONTROLLER WILL INCLUDE MAIN SHUT-OFF.
 - HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES.
- SOIL ANALYSIS REPORT: THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE ARCHITECT AND THE DESIGNER TO OBTAIN A SOIL ANALYSIS REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL ANALYSIS REPORT AND SOIL TESTING. THIS REPORT SHALL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS FOR EACH TYPE OF PROPOSED LANDSCAPE (PARKING LOT, DRIVEWAY, WALKWAY, ETC.).
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE DESIGN LANDSCAPE ARCHITECT AND THE DESIGNER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNEE.
- STREET TREES, STREETSCAPE IMPROVEMENTS, AND LANDSCAPE IMPROVEMENTS SHALL BE MAINTAINED BY THE ADJOINING PROPERTY OWNER.
- DECIDUOUS TREES WILL BE PLANTED AT A MINIMUM SIX (6) FEET FROM SIDE WALKS AND MAINTAINED BY THE DESIGNER. EVERGREEN TREES WILL BE PLANTED AT A MINIMUM OF 10 FEET FROM SIDE WALKS AND MAINTAINED BY THE DESIGNER. EVERGREEN TREES AT A MINIMUM OF 10 FEET FROM SIDE WALKS WILL BE PLANTED AT A MINIMUM OF 10 FEET FROM SIDE WALKS. THEREAFTER, THE WIDTH, WHICH IS GREATER, SPACING CENTRELINE OF THE TRUNK WILL BE MEASURED FROM THE CENTRELINE OF THE TRUNK.
- THE OWNER OR DEVELOPER SHALL PROVIDE INSTRUCTION TO THE LANDSCAPE CONTRACTOR AND THE DESIGNER, WHO SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS AND THE DESIGN LANDSCAPE ARCHITECT AND THE DESIGNER.
- SEE GRADING PLAN (SHEET 3 OF 16) AND SITE DETAILS (SHEET 5 OF 16) FOR RETAINING WALL INFORMATION.
- SEE DETAILS (SHEET 5 OF 16) FOR FENCING AND GATE INFORMATION.
- SEE DETAILS (SHEET 5 OF 16) FOR FENCING AND GATE INFORMATION.
- SEE DETAILS (SHEET 5 OF 16) FOR FENCING AND GATE INFORMATION.



VICINITY MAP
SCALE 1" = 200'

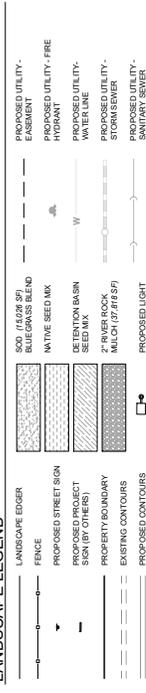
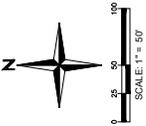
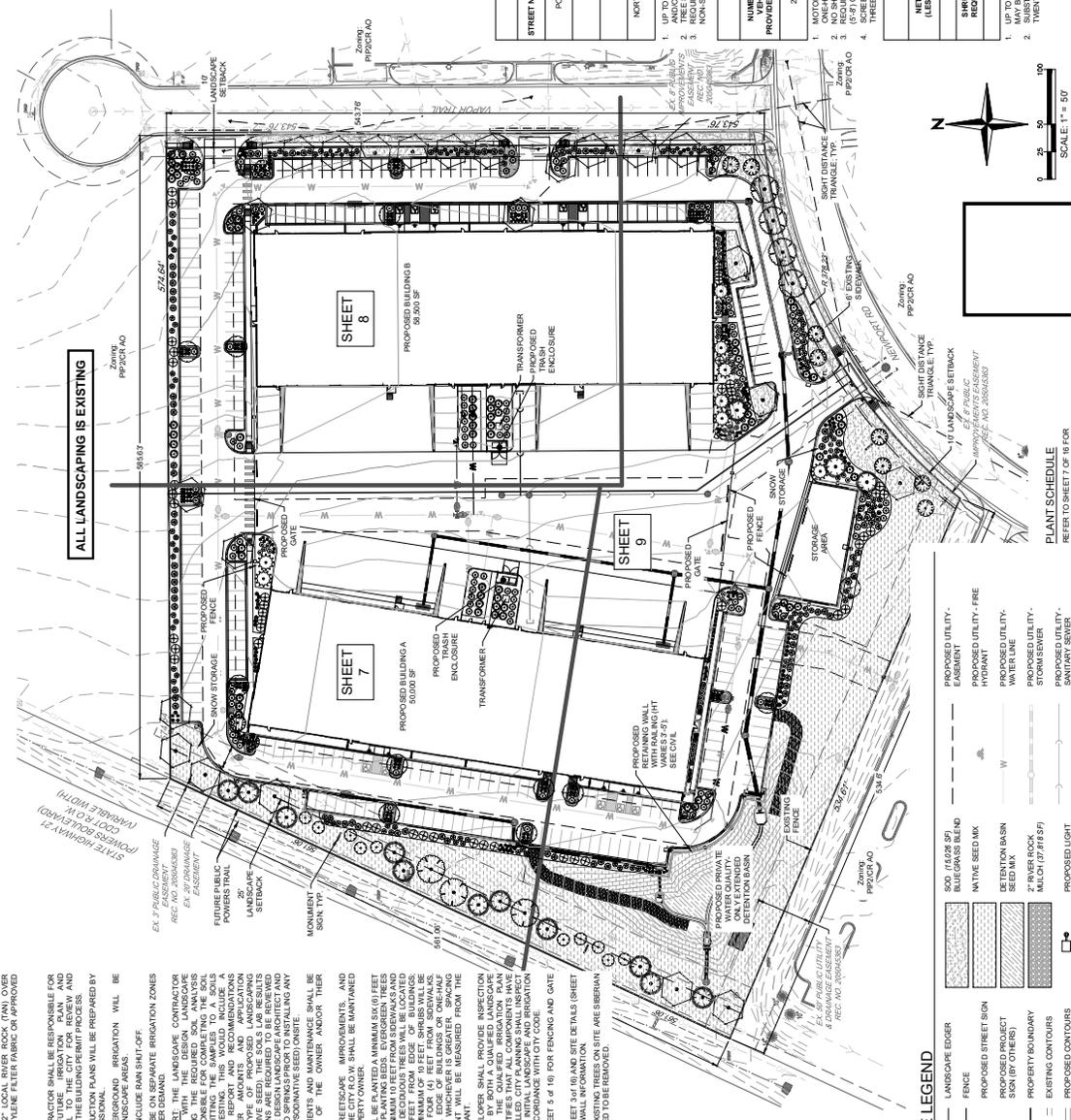
STREET NAME OR ZONE BOUNDARY	CLASSIFICATION	WIDTH (IN FT)	LINEAR FOOTAGE	TREE FEET REQUIRED	NO. OF TREES REQUIRED
POWERS BOULEVARD	PRINCIPAL ARTERIAL	20' / 25'	561'-0"	1,120'	20 / 20
VAPOR TRAIL	NON-ARTERIAL ROAD	10' / 10'	557'-9"	1,100'	19 / 19
NEWPORT ROAD	NON-ARTERIAL ROAD	10' / 10'	387'-3"	1,100'	13 / 13
NORTHERN & SOUTHWEST BOUNDARY	NA	NA	NA	NA	NA

- UP TO TWENTY-FIVE PERCENT (25%) OF THE REQUIRED SETBACK OR STREETSCAPE TREES MAY BE SUBSTITUTED WITH SHRUBS.
- NO SHRUBS SHALL BE PLANTED WITHIN THE SETBACK OR STREETSCAPE AREAS. SHRUBS THAT ARE LOCATED WITHIN THE SETBACK OR STREETSCAPE AREAS SHALL BE PLANTED WITHIN THE SETBACK OR STREETSCAPE AREAS.
- REQUIRED TREES SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PROPERTY LINE ADJACENT TO THE STREET OR NON-STREET BOUNDARY.
- NON-STREET BOUNDARY.

NUMBER OF VEHICLE PROVIDED SPACES	SHARE TREES (PER SPACE)	VEHICLE LOT FRONTAGE	LENGTH OF FRONTAGE (FT) (INCLUDING DRIVEWAYS)	PERCENTAGE OF FRONTAGE (FT) (INCLUDING DRIVEWAYS)
271	18 / 18	VAPOR TRAIL, NEWPORT ROAD & POWERS BOULEVARD	1,410'-0"	930'-7"

NET SITE AREA (SQ FT)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SQ FT)	INTERNAL TREES (100 SQ FT REQUIRED/PROVIDED)
412,343 SF	20.8185%	117,129 SF	41 / 22

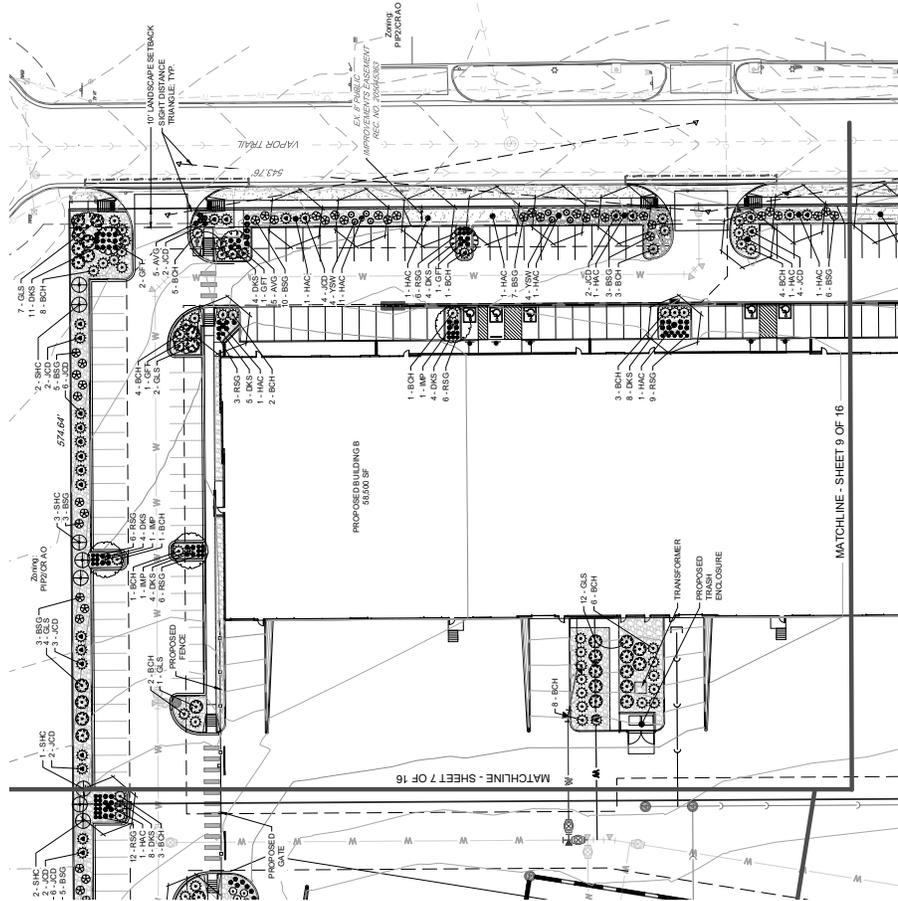
- MINIMUM SHRUBBED AREA FIFTEEN (15) SQUARE FEET.



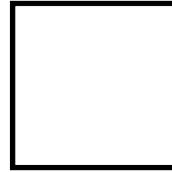
DATE	DESCRIPTION
02/21/2020	1. FIRST SUBMITTAL TO CITY
03/13/2020	2. SECOND SUBMITTAL TO CITY
04/08/2020	3. THIRD SUBMITTAL TO CITY
04/29/2020	4. FOURTH SUBMITTAL TO CITY
05/11/2020	5. FIFTH SUBMITTAL TO CITY
05/21/2020	6. SIXTH SUBMITTAL TO CITY
06/01/2020	7. SEVENTH SUBMITTAL TO CITY
06/11/2020	8. EIGHTH SUBMITTAL TO CITY
06/21/2020	9. NINTH SUBMITTAL TO CITY
07/01/2020	10. TENTH SUBMITTAL TO CITY
07/11/2020	11. ELEVENTH SUBMITTAL TO CITY
07/21/2020	12. TWELFTH SUBMITTAL TO CITY
08/01/2020	13. THIRTEENTH SUBMITTAL TO CITY
08/11/2020	14. FOURTEENTH SUBMITTAL TO CITY
08/21/2020	15. FIFTEENTH SUBMITTAL TO CITY
09/01/2020	16. SIXTEENTH SUBMITTAL TO CITY
09/11/2020	17. SEVENTEENTH SUBMITTAL TO CITY
09/21/2020	18. EIGHTEENTH SUBMITTAL TO CITY
10/01/2020	19. NINETEENTH SUBMITTAL TO CITY
10/11/2020	20. TWENTIETH SUBMITTAL TO CITY
10/21/2020	21. TWENTY-FIRST SUBMITTAL TO CITY
11/01/2020	22. TWENTY-SECOND SUBMITTAL TO CITY
11/11/2020	23. TWENTY-THIRD SUBMITTAL TO CITY
11/21/2020	24. TWENTY-FOURTH SUBMITTAL TO CITY
12/01/2020	25. TWENTY-FIFTH SUBMITTAL TO CITY
12/11/2020	26. TWENTY-SIXTH SUBMITTAL TO CITY
12/21/2020	27. TWENTY-SEVENTH SUBMITTAL TO CITY
01/01/2021	28. TWENTY-EIGHTH SUBMITTAL TO CITY
01/11/2021	29. TWENTY-NINTH SUBMITTAL TO CITY
01/21/2021	30. THIRTIETH SUBMITTAL TO CITY

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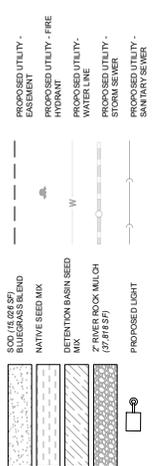
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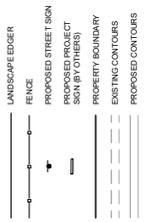
ALL LANDSCAPING IS EXISTING



PLANT SCHEDULE



LANDSCAPE LEGEND



CARRIER WEST 950 VAPOR TRAIL
FINAL LANDSCAPE PLAN
LANDSCAPE ENLARGEMENT

8 OF 16

DATE	NO.	NOTES
02.21.2020	1	FIRST SUBMITTAL TO CITY
11.13.2020	2	SECOND SUBMITTAL TO CITY
11.13.2020	3	THIRD SUBMITTAL TO CITY
11.16.2020	4	FOURTH SUBMITTAL TO CITY
11.16.2020	5	FINAL SUBMITTAL TO CITY

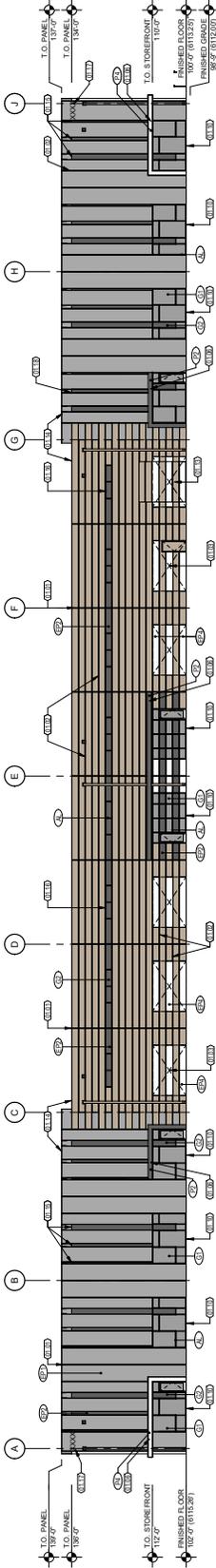
DESIGNER	CHECKED	APPROVED	PROJECT NO.	DATE
GRAYN	BB	BB	2014	11
				11
				11



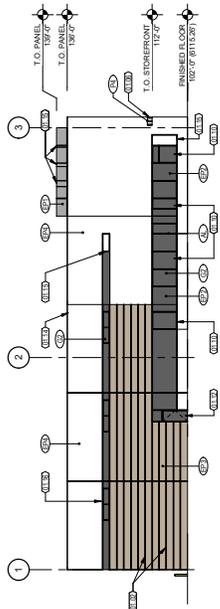
REPLAND.COM
7020 West 95th Circle
Littleton, Colorado 80120

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

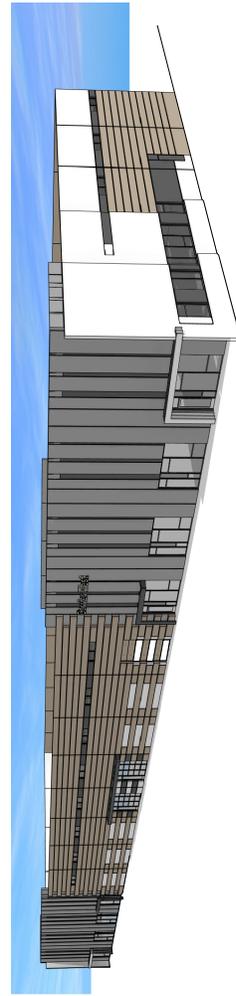
LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 BUILDING A - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING A - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ENTRY PERSPECTIVE
SCALE: 1/8" = 1'-0"

KEYNOTES:

- 0101 CONCRETE PANEL JOINT WITH 1/4" CHAMFERED EDGES.
- 0102 BACKER ROD & SEAMANT FILL LENGTH.
- 0103 AREA TO BE COCKPIT FOR FUTURE STOREFRONT.
- 0104 1/2" DEEP T-E NUT CAMPY TO ATTACH TO CONC. TIE-UP
- 0105 INSULATED INTIG GLAZING IN ANODIZED ALUMINUM
- 0106 INSULATED ALUMINUM WINDOW PAINT TO MATCH ADJACENT
- 0107 WALL SURFACE COLOR UN CO.
- 0108 LEGEND: STEEL OR LOOK PAINTED - SEE FINISH
- 0109 LEGEND: METAL TIE-UP PAINT - SEE EXTERIOR FINISH LEGEND
- 0110 FOR SPECIFIC COLORS
- 0111 CHAMFER EDGES INTO CONCRETE PANEL
- 0112 CHAMFER EDGES AND PAINT PER EXTERIOR FINISH LEGEND
- 0113 ALUMINUM OPERATOR SYSTEM - SEE FINISH LEGEND FOR
- 0114 BUILDING ADDRESS LOCATION, VERIFY WITH LOCAL FIRE
- 0115 ADAPTIVE ACCESS TO PUBLIC STAIRWELL
- 0116 THICKNESS IN A COLOR CONTRASTING TO THE ADJACENT
- 0117 PREPARED TENANT SIGNAGE TO BE APPROVED UNDER
- 0118 SEPARATE SIGN PERMIT

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS/ COMMENTS
0101	EXTERIOR PAINT		FLUOREN (RVN) 25000	MEDIUM TEXTURE @ CONC. WALLS
0102	EXTERIOR PAINT		GLIDDEN (MNL) 15000	MEDIUM TEXTURE @ CONC. WALLS
0103	EXTERIOR PAINT		GLIDDEN (MNL) 15000	MEDIUM TEXTURE @ CONC. WALLS
0104	EXTERIOR PAINT		GLIDDEN (MNL) 15000	MEDIUM TEXTURE @ CONC. WALLS
0105	EXTERIOR PAINT		GLIDDEN (MNL) 15000	MEDIUM TEXTURE @ CONC. WALLS
0106	GLAZING		PPG - SOLARWAY	
0107	GLAZING		PPG - GRANITE II	
0108	STOREFRONT PANEL		CLEAR ANODIZED ALUMINUM	

ALL BUILDINGS ARE EXISTING

REVISIONS	DESCRIPTION	DATE	BY
1	14 RESPONSE	10/14/2020	BS
2	2nd RESPONSE	12/16/2020	BS

DRAWN	BS
CHECKED	BS
DESIGNED	BS
FILE NAME	BS 03070

CARRIER WEST VAPOR TRAIL
SITE PLAN
BUILDING A - EXTERIOR ELEVATIONS



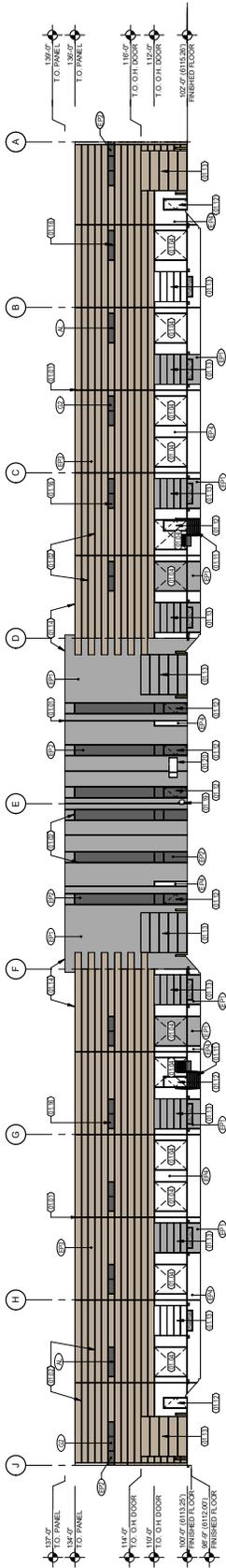
INTERGROUP ARCHITECTS
1500 WEST LEXINGTON BLVD
COLORADO SPRINGS, CO 80901
P: 303.738.8277 F: 303.738.2294
WWW.INTERGROUP.COM

DATE	08/21/2020
AS SHOWN	
SHEET	16
SHEET	13

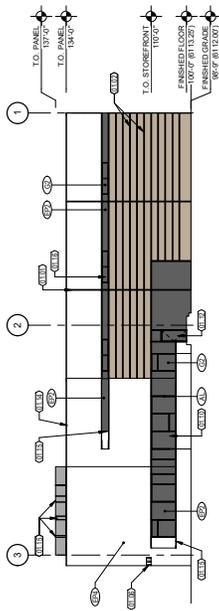
CFC CU 22-00115

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

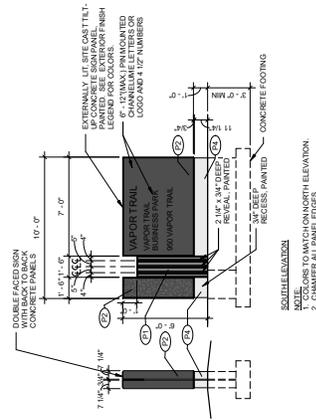
LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 SCALE: 1/8" = 1'-0"



2 SCALE: 1/8" = 1'-0"



3 SCALE: 1/8" = 1'-0"

KEYNOTES:

- 0101 3/4" x 2 1/4" REVEAL PAINTED - SEE DOOR COORS
- 0102 3/4" x 2 1/4" REVEAL PAINT FULL LENGTH
- 0103 1/2" DEEP T.E. ENTRY CANOPY TO ATTACH TO CONC. TILT UP
- 0104 WALL PAINTED GLAZING IN ANODIZED ALUMINUM
- 0105 STOREFRONT SYSTEM SEE FINISH LEGEND
- 0110 HANDRAILS, THE BACK HANDRAILS TO BE 1" DEEP OPEN CHANNEL TO BE 1 1/2" x 4 1/2" WITH 1/2" x 3/4" CHAMFERAL TO BE 1 1/2" x 4 1/2" WITH 1/2" x 3/4"
- 0111 ANODIZED ALUMINUM DOOR PAINT TO MATCH ADJACENT WALL SURFACE COLOR UNO
- 0112 WALL SURFACE COLOR UNO DOOR PAINTED - SEE FINISH LEGEND
- 0113 ANODIZED ALUMINUM DOOR PAINTED - SEE FINISH LEGEND
- 0114 FOR SPECIFIC COLORS ACCESS TO CONCRETE PANEL CHAMFER EDGES AND PAINT RE EXTERIOR FINISH LEGEND
- 0115 ALUMINUM STOREFRONT SYSTEM SEE EXTERIOR FINISH LEGEND
- 0116 ALUMINUM STOREFRONT SYSTEM SEE FINISH LEGEND FOR GAS METAL LOCATION SEE CIVIL DWGS
- 0120 ELECTRICAL METERS & CT CABINET LOCATIONS

KEY	DESCRIPTION	IMAGE	MANUFACTURER	FINISH	REMARKS / COMMENTS
0101	EXTERIOR PAINT	[Image]	BECKERS	3/4" x 2 1/4" REVEAL PAINTED	SEE DOOR COORS
0102	EXTERIOR PAINT	[Image]	BECKERS	3/4" x 2 1/4" REVEAL PAINT FULL LENGTH	
0103	EXTERIOR PAINT	[Image]	BECKERS	1/2" DEEP T.E. ENTRY CANOPY TO ATTACH TO CONC. TILT UP	
0104	EXTERIOR PAINT	[Image]	BECKERS	WALL PAINTED GLAZING IN ANODIZED ALUMINUM	
0105	EXTERIOR PAINT	[Image]	BECKERS	STOREFRONT SYSTEM SEE FINISH LEGEND	
0110	EXTERIOR PAINT	[Image]	BECKERS	HANDRAILS, THE BACK HANDRAILS TO BE 1" DEEP OPEN CHANNEL TO BE 1 1/2" x 4 1/2" WITH 1/2" x 3/4"	
0111	EXTERIOR PAINT	[Image]	BECKERS	ANODIZED ALUMINUM DOOR PAINT TO MATCH ADJACENT WALL SURFACE COLOR UNO	
0112	EXTERIOR PAINT	[Image]	BECKERS	WALL SURFACE COLOR UNO DOOR PAINTED - SEE FINISH LEGEND	
0113	EXTERIOR PAINT	[Image]	BECKERS	ANODIZED ALUMINUM DOOR PAINTED - SEE FINISH LEGEND	
0114	EXTERIOR PAINT	[Image]	BECKERS	FOR SPECIFIC COLORS ACCESS TO CONCRETE PANEL CHAMFER EDGES AND PAINT RE EXTERIOR FINISH LEGEND	
0115	EXTERIOR PAINT	[Image]	BECKERS	ALUMINUM STOREFRONT SYSTEM SEE EXTERIOR FINISH LEGEND	
0116	EXTERIOR PAINT	[Image]	BECKERS	ALUMINUM STOREFRONT SYSTEM SEE FINISH LEGEND FOR GAS METAL LOCATION SEE CIVIL DWGS	
0120	EXTERIOR PAINT	[Image]	BECKERS	ELECTRICAL METERS & CT CABINET LOCATIONS	

ALL BUILDINGS ARE EXISTING

REVISIONS	DATE	BY	DESCRIPTION
1	10/14/2020	BS	2ND RESPONSE
2	12/19/2020	BS	2ND RESPONSE

DRAWN	BS
CHECKED	BS
DESIGNED	KS
FILE NAME	BS 10370

BUILDING A - EXTERIOR ELEVATIONS

SITE PLAN
CARRIER WEST VAPOR TRAIL



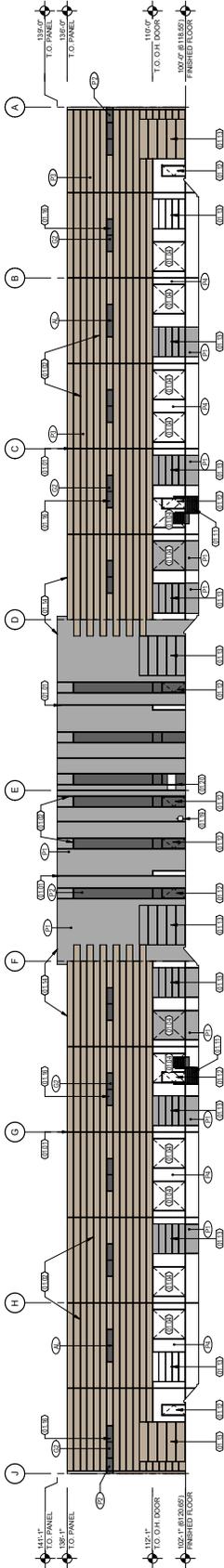
INTERGROUP ARCHITECTS
1500 WEST LAFAYETTE BLVD
SUITE 100
DENVER, CO 80202
P: 303.733.8877 F: 303.733.2294
www.intergroup.com

DATE	08/21/2020
SCALE	AS SHOWN
SHEET	16
SHEET	14

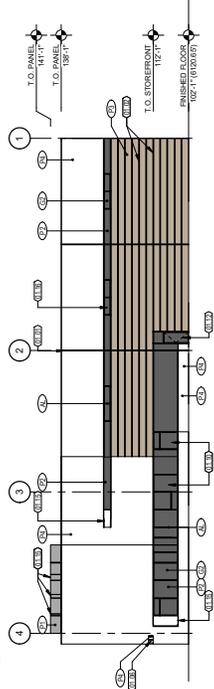
CPC CU 22-00115

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 SCALE 1/16" = 1'-0"



2 SCALE 1/16" = 1'-0"

KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKGROUND & SEGMENT FULL LENGTH.
- 01.02 1/2" X 1/2" X 1/2" BRASS NUTS & WASHERS TO ATTACH TO CONCRETE WALL.
- 01.04 AREA TO BE KICK-OUT FOR FUTURE DOOR DOORS.
- 01.06 INSULATED PLYWOOD GYPSUM BOARD TO MATCH ADJACENT WALL PAINTED.
- 01.10 INSULATED PLYWOOD GYPSUM BOARD TO MATCH ADJACENT WALL PAINTED.
- 01.11 EXTERIOR STEEL STAIRS, LANDING, GUARDRAILS & GRATING WITH LOW GRAIN PERRY TO PATH OF TRAVEL HANDRAIL PAINTED.
- 01.12 INSULATED PLYWOOD GYPSUM BOARD TO MATCH ADJACENT WALL PAINTED.
- 01.13 INSULATED PLYWOOD GYPSUM BOARD TO MATCH ADJACENT WALL PAINTED.
- 01.14 SITE CAST TILT-UP CONCRETE PANEL PAINTED WITH POLYURETHANE FINISH. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
- 01.15 1 1/2" KEEP HAPPEED PROGRESS INTO CONCRETE PANELS. INSULATED PLYWOOD GYPSUM BOARD TO MATCH ADJACENT WALL PAINTED. SEE FINISH LEGEND FOR GLAZING AND FRAME COLORS.
- 01.19 GAS WATER TIGHTNESS. SEE CIVIL DWGS.
- 01.20 ELECTRICAL NETWORKS AT CORNER LOCATIONS.

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
01	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
02	PAINT		GLUEDBOND 2000	CONC. WALLS
03	PAINT		GLUEDBOND 2000	CONC. WALLS
04	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
05	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
06	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
07	GLAZING		PPG - SOLARBAY	
08	GLAZING		PPG - GRAYLITE II	
09	GLAZING		PPG - GRAYLITE II	
10	GLAZING		PPG - GRAYLITE II	

ALL BUILDINGS ARE EXISTING

REVISIONS	DESCRIPTION	DATE	BY
1	14/12/2020	14/12/2020	14/12/2020
2	14/12/2020	14/12/2020	14/12/2020

DRAWN	BS
CHECKED	BS
DESIGNED	AS
FILE NAME	BS 0370

SITE PLAN
CARRIER WEST VAPOR TRAIL
BUILDING B - EXTERIOR ELEVATIONS



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