

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION

LOT 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO.

TO BE PLATTED AS NEWPORT SUBDIVISION FILING NO. 19B.

PROJECT DESCRIPTION

PROPOSED CONDITIONAL USE DEVELOPMENT PLAN ADDRESS THE NEW AUTOMOTIVE SALES AND REPAIR USE ASSET FOR FUTURE TENANT FINISH PROJECT.

DEVELOPMENT HISTORY

DEVELOPMENT PLAN: ARDP 2006014
MASTER PLAN: AIRPORT MASTER PLAN
CONDITION OF RECORD: ORD. NO. 70-8-3
CONDITION OF RECORD: ORD. NO. 70-8-3

SITE DATA

OWNER: 930 NORTH NEWPORT ROAD, LLC, A COLORADO LIMITED LIABILITY COMPANY

ADDRESS: 930 NORTH NEWPORT ROAD, DENVER, CO 80221

SCHEDULE NUMBER: 66-2110005

ADDRESS: 930 NORTH NEWPORT ROAD, DENVER, CO 80221

CURRENT ZONING: PD-27 (ORD. PLANED INDUSTRIAL PARK CONDITIONS OF RECORD AIRPORT OVERLAY)

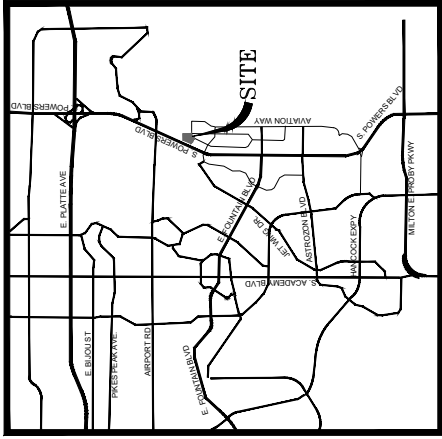
CONDITIONS OF RECORD (ORDINANCE NUMBER 70-8-3)
I. ALL PERMITTED PRINCIPAL USES ARE ALLOWED IN THE M-1 ZONE BE PERMITTED IN THE M-1 ZONE.
II. NO MAXIMUM LOT COVERAGE REQUIREMENT.

EXISTING USE: INDUSTRIAL - WAREHOUSE & DISTRIBUTION
PROPOSED USE: EXISTING USE TO REMAIN WITH ADDITIONAL USE OF AUTOMOTIVE REPAIR GARAGE / AUTOMOTIVE SALES WITH IN 10,200 SF DEVELOPMENT SCHEDULE FALL 2020

NOTES:

1. PER FEMA FLOOD INSURANCE RATE MAP (FIRM NO. 08040125L, DATED DECEMBER 7, 2018, THIS PARCEL IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN.
2. SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED FROM THE CITY OF COLORADO SPRINGS. REVIEW THE PERMIT AT 2600 INTERNATIONAL CIRCLE FOR SUCH AN APPLICATION.
3. ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER.
4. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
5. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL ZONING AND LAND USE STANDARDS AND ORDINANCES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF COMMERCE, AND THE PARTIES WARRANT AND WARRANT TO THE BUYER AND INDICATE NO ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE REQUIREMENT AND THAT THE PARTIES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO OBTAIN ANY SUCH PERMITS AND TO BE RESPONSIBLE FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS WITH THE PROPERTY OWNER.
6. THIS PROPERTY IS SUBJECT TO THE AVIATION EASEMENT RECORDED AT BOOK 3442 PAGE 875.

7. ALL EXISTING CURBS, GUTTERS, SIDEWALKS AND PAVED DRIVEWAYS ARE IN POOR CONDITION AND DAMAGED. EXHIBITING EXCESSIVE DETERIORATION. NOT ALL EXISTING CURBS AND GUTTERS ARE IN POOR CONDITION AND DAMAGED. WORK TO BE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ENGINEERING FIRM SHALL BE HIRING TO DETERMINE WHAT IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 708-385-5977.
8. THERE IS NO DIRECT VEHICULAR ACCESS ALLOWED FROM THE SUBJECT PROJECT TO POWERS BOULEVARD.
9. DEVELOPERS, REALTORS AND PRESORTIVE PURCHASERS - THIS PROPERTY MAY BE SUBJECT TO THE AVIATION EASEMENT RECORDED AT BOOK 3442 PAGE 875. THE COLORADO SPRINGS MUNICIPAL APPROVAL THE BUYER SHOULD FAMILIARIZE HIMSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
10. THIS PROPERTY MAY BE SUBJECT TO PARTICIPATION IN AVIATION WAY IMPROVEMENTS COST RECOVERY.
11. SUBMITTAL OF FORM 7490-1 IS REQUIRED FOR ALL VERTICAL DEVELOPMENT ON PROPERTY WITHIN THIS PLAT.
12. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNS.
13. STREET TREES, STREETCARE IMPROVEMENTS AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ADJOINING PROPERTY OWNER.



VICINITY MAP
SCALE 1" = 200'

Sheet Number	Sheet Title
1 OF 16	COVER SHEET
2 OF 16	SITE PLAN
3 OF 16	GRADING PLAN
4 OF 16	PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
5 OF 16	SITE DETAILS
6 OF 16	FINAL OVERALL LANDSCAPE PLAN
7 OF 16	FINAL LANDSCAPE ENLARGEMENT
8 OF 16	FINAL LANDSCAPE ENLARGEMENT
9 OF 16	FINAL LANDSCAPE ENLARGEMENT
10 OF 16	FINAL LANDSCAPE DETAILS
11 OF 16	SITE PHOTOMETRIC PLAN
12 OF 16	PHOTOMETRIC SCHEDULES
13 OF 16	BUILDING A ELEVATIONS
14 OF 16	BUILDING A ELEVATIONS
15 OF 16	BUILDING B ELEVATIONS
16 OF 16	BUILDING B ELEVATIONS

PROJECT TEAM

DEVELOPER
Central Development
1660 S. Abbot St., Suite 200
Colorado Springs, CO 80905
(703) 628-0200 voice
CONTACT: Jeremy Records
jeremy@centdevelopment.com

ARCHITECT
InterGroup Architects
2000 West Littleton Blvd
Littleton, Colorado 80120
(303) 948-9600
CONTACT: Bill Smith
bsmith@iharch.com

CARRIER WEST 950 VAPOR TRAIL

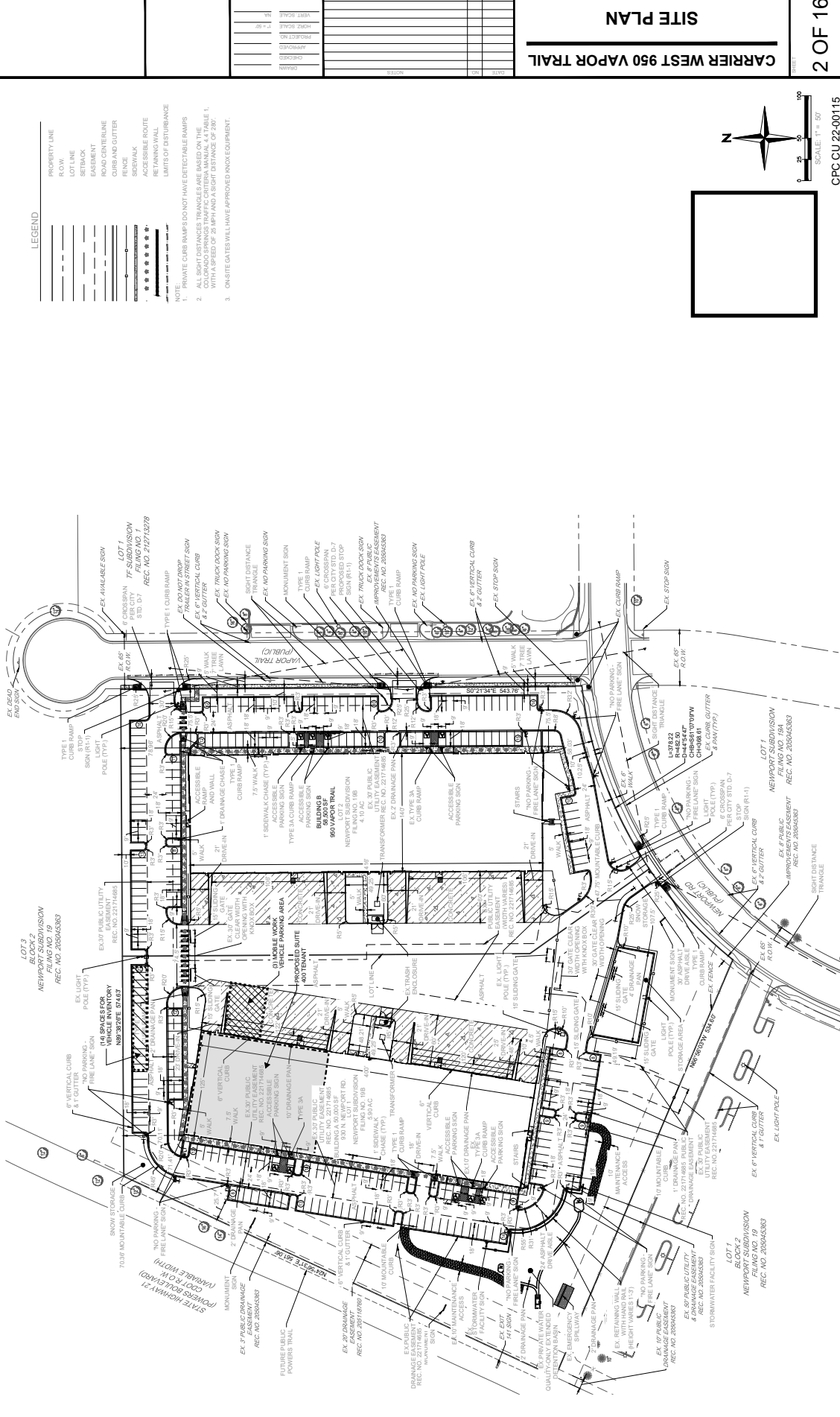
COVER SHEET

SHEET
1 OF 16

CFC CU 22-00115

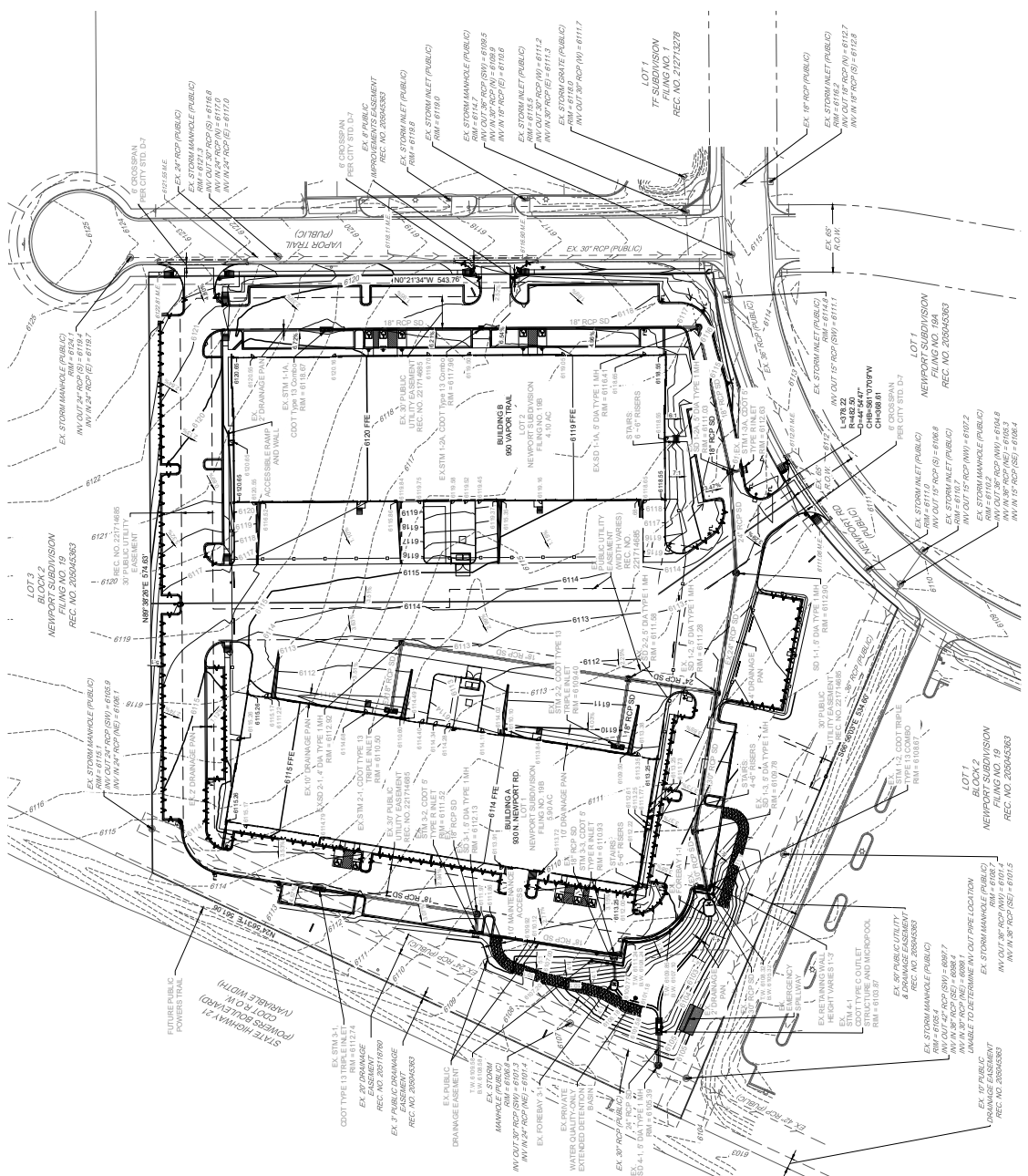
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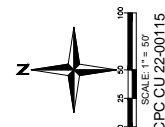
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LEGEND

PROPERTY LINE	---
R.O.W.	---
LOT LINE	---
SETBACK	---
EASEMENT	---
ROAD CENTERLINE	---
CURB AND OUTER (CATCH)	---
CURB AND OUTER (SPILL)	---
SEWER MAIN	---
STORM MAIN	---
CONTOUR MAJOR	---
CONTOUR MINOR	---
SPOT ELEVATION	---
SLOPE ARROW	---
STORM SEWER	---

NOTES:
1. ALL PROPOSED DRAINAGE IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
2. POWERS BOULEVARD RETENTION FACILITY, LOCATED AT THE NORTHEAST CORNER OF THE SECTION, PROVIDES THE REGIONAL RETENTION FOR THIS SITE.

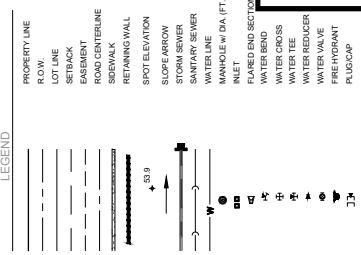
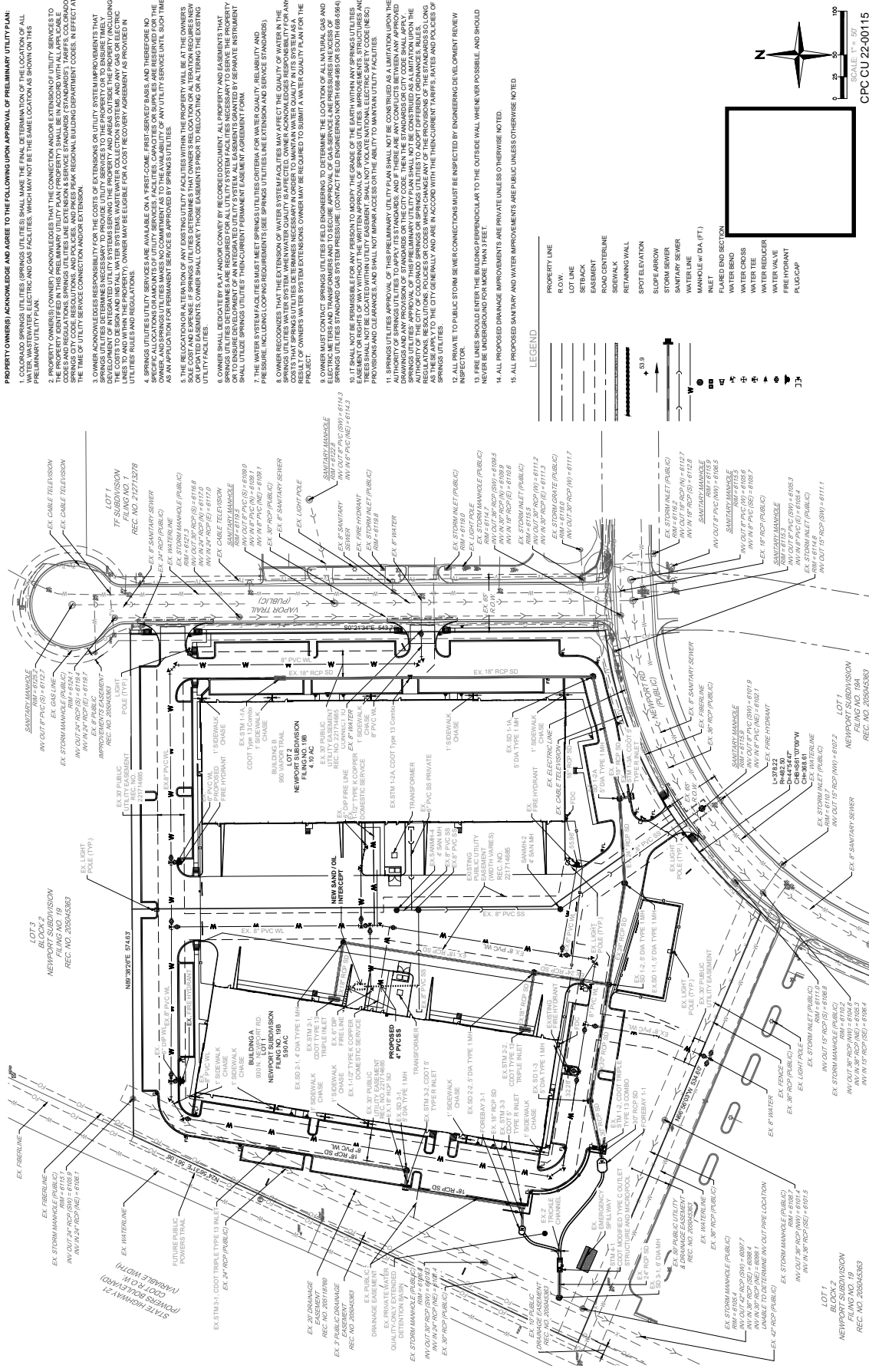


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CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1. GENERAL NOTES FOR PRELIMINARY UTILITY PLAN: PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING APPROVAL OF PRELIMINARY UTILITY PLAN: COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTE WATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. SPRINGS UTILITIES SHALL BE RESPONSIBLE FOR THE CONNECTION AND EXTENSION OF ALL UTILITIES SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN. PROPERTY SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS (STANDARDS), TARIFFS, COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS. THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIME TO THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTE WATER COLLECTION SYSTEMS, AND GAS OR ELECTRIC UTILITIES. OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "TEST-COME" BASIS. SERVICE TAPPS AND THEREFORE NO SPECIFIC ALLOCATION OF MAINS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN. SPRINGS UTILITIES WILL NOT BE RESPONSIBLE FOR ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNERS SOLE COST AND EXPENSE. SPRINGS UTILITIES DETERMINES THAT OWNERS RELOCATION OR ALTERATION REQUIRES NEW UTILITIES FACILITIES. OWNERS SHALL CONVEY THOSE EASEMENTS PRIOR TO NEGOTIATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNERS SHALL BE RESPONSIBLE FOR THE COSTS OF ANY RECORD DOCUMENTATION. ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINE ARE REQUIRED FOR ALL UTILITIES SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY SHALL BE EASEMENT INSTRUMENTS. SPRINGS UTILITIES SHALL NOT BE RESPONSIBLE FOR THE COSTS OF INSTRUMENTS NECESSARY TO SERVE THE PROPERTY.
7. THE WATER SYSTEMS FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE. INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER ACKNOWLEDGES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY RESULT OF OWNERS WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 688-4888 OR SOUTH 688-6564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITH ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND PROVISIONS AND CLEARANCES, SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SET FORTH AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN CURRENT TARIFFS, RATES AND POLICES OF SPRINGS UTILITIES.
12. ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
13. PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY THE CITY ENGINEER OR AN INSPECTOR WHOSE NAME SHALL BE UNDERGOING IMPROVEMENTS ARE PRIVATE LINES OTHER THAN 3 FEET.
14. ALL PROPOSED SANITARY AND WATER IMPROVEMENTS ARE PUBLIC UNLESS OTHERWISE NOTED.

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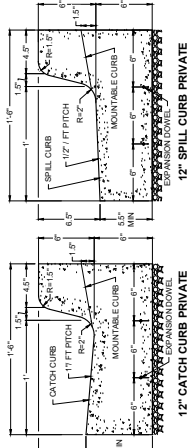


720 470 0100
1100 S. COLORADO ST.
LITTLE ROCK, AR 72202
REDLAND.COM

DATE	
NOTES	
DESIGN	
CHECKED	
APPROVED	
PROJECT NO.	
HORIZ. SCALE	
VERT. SCALE	

CARRIER WEST 950 VAPOR TRAIL
SITE DETAILS

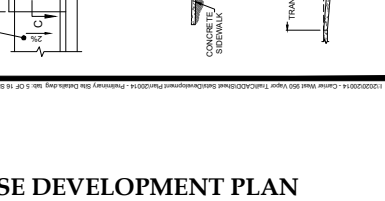
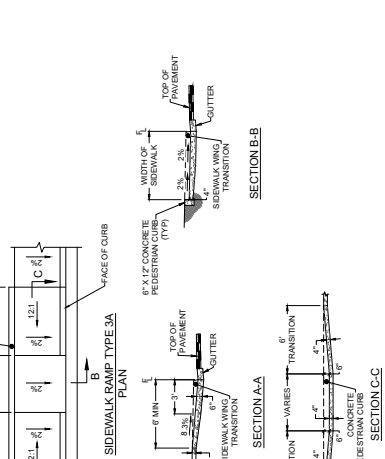
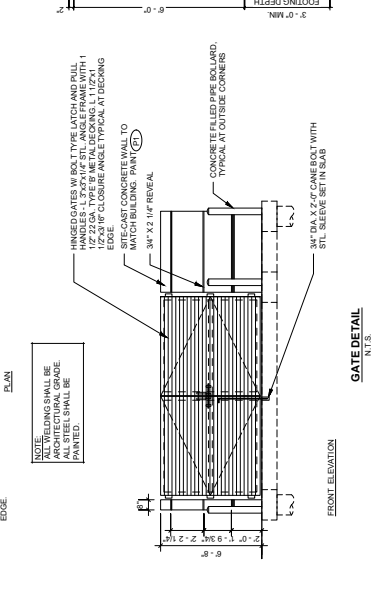
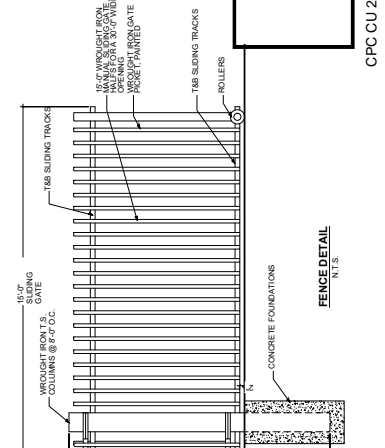
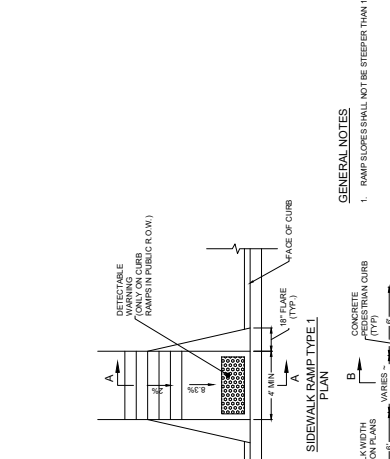
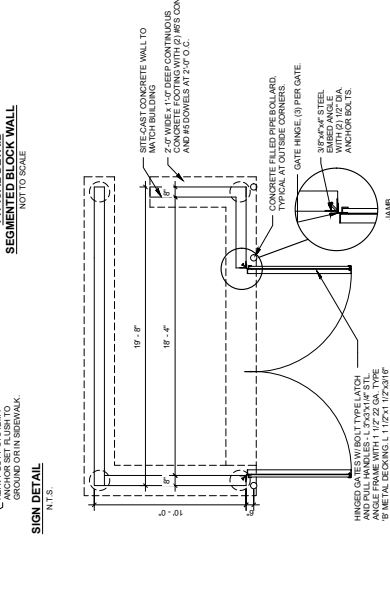
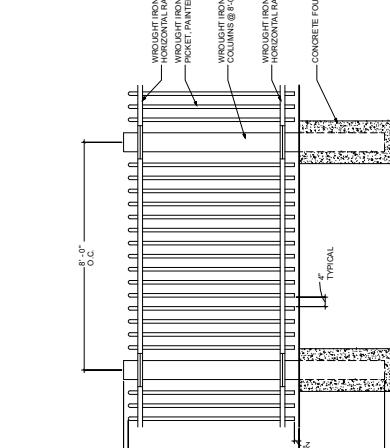
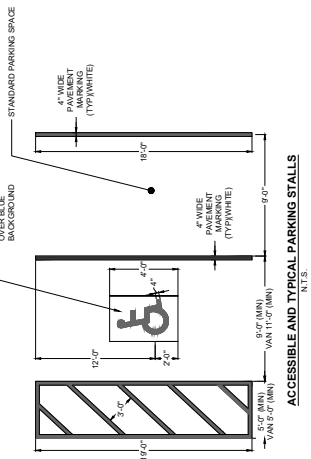
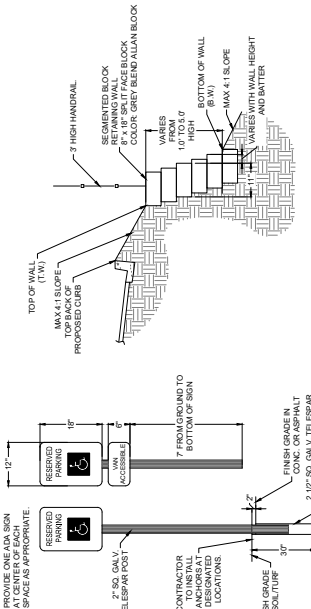
5 OF 16
SHEET



12" SPILL CURB PRIVATE
N.T.S.

12" CATCH CURB PRIVATE
N.T.S.

- NOTES:
- EXPANSION JOINTS SHALL BE LOCATED AT ENDS OF ALL WALLS. 6" ON EACH SIDE OF FRAME STRUCTURES AND AT 80' MAX. INTERVALS IN STRAIGHT CURBS & GUTTERS. PROVIDE No. 4 #4 LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. (5/8" THICK BITUMINOUS FILLER MATERIAL)
 - CONTRACTION JOINTS PROVIDE Z DEEP CONTRACTION JOINTS AT 15' INTERVALS.
 - 2" x 4" LONG TEAK BAR ON 2" x 4" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C.C. PAVEMENT.
 - PROVIDE 2 NO. 6 x 2 x 2" LONG TEAK BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER SAW CUT EXISTING CURB AND GUTTER.



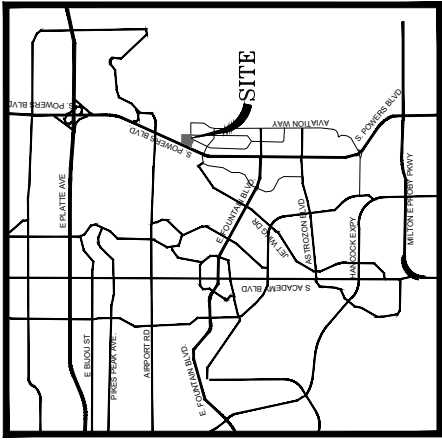
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NOTES:

- SOIL PREPARATION INCLUDES AERATION, TILLING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION.
- SOIL REMEDIATION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES REGULATIONS AND ESTABLISHMENT OF NATIVE SEED (OR REGENERATION AND ESTABLISHMENT OF NATIVE SEED) FOR FUTURE PUBLIC TRAIL.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH THE SUBMISSION OF THE BUILDING PERMIT AND APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A SOIL AMENDMENT, REQUIRED MINIMUM SOIL AMENDMENT (CY) AND SOIL AMENDMENT (CY) EQUALS FOUR (4) CUBIC YARDS PER 100 SQUARE FEET (SQ) OF SOIL.
- EMBER ROCK, MULCH, 2" LOCAL RIVER ROCK (2AN) OR APPROVED NONWOVEN POLYPROPYLENE FILTER FABRIC OR APPROVED BERGATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE FUTURE IRRIGATION PLAN AND APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
- IRRIGATION CONSTRUCTION PLANS WILL BE PREPARED BY THE LANDSCAPE CONTRACTOR AND APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- PERMANENT UNDERGROUND IRRIGATION WILL BE INSTALLED IN ALL LANDSCAPE AREAS.
- CONTROLLER WILL INCLUDE MAIN SHUT-OFF.
- HYDROZONING WILL BE ON SEPARATE IRRIGATION ZONES.
- SOIL ANALYSIS REPORT: THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE DESIGN LANDSCAPE CONTRACTOR TO OBTAIN SOIL ANALYSIS REPORTS FOR ALL IRRIGATION AREAS. THE REPORT AND IS RESPONSIBLE FOR COMPLETING THE SOIL ANALYSIS REPORT AND SOIL TESTING. THIS REPORT WILL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS FOR EACH TYPE OF PROPOSED LANDSCAPING AREA. THE LANDSCAPE CONTRACTOR SHALL PROVIDE REVISIONS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE ASSIGNED RESPONSIBILITY OF THE OWNER AND/OR THEIR ASSIGNEE.
- STREET TREES, STREETSCAPE IMPROVEMENTS, AND DECIDUOUS TREES WILL BE PLANTED A MINIMUM SIX (6) FEET FROM SIDE WALKS AND PLANTING BEDS. EVERGREEN TREES FROM SIDE WALKS AND PLANTING BEDS. DECIDUOUS TREES WILL BE PLANTED IN THE CENTER OF THE PLANTING BEDS. EVERGREEN TREES A MINIMUM OF 10 FEET SHIRTS WILL BE PLANTED AND PLANTING BEDS SHALL BE PLANTED WITH A MINIMUM OF FOUR (4) FEET FROM THE CURB AND PLANTING BEDS SHALL BE PLANTED WITH A MINIMUM OF FOUR (4) FEET FROM THE CURB.
- THE OWNER OR DEVELOPER SHALL PROVIDE IN-SECTION IRRIGATION AND THE QUALIFIED IRRIGATION PLAN DESIGNER, WHICH CERTIFIES THAT ALL COMPONENTS HAVE BEEN REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT. THIS IRRIGATION PLAN WILL BE SUBMITTED IN ACCORDANCE WITH CITY CODE.
- DETAILS (SHEET 5) OF 10' FENCING AND GATE.
- SEE GRADING PLAN (SHEET 3) FOR 10' FENCING AND GATE DETAILS (SHEET 5) OF 10' FENCING WALL INFORMATION.
- SEE GRADING PLAN (SHEET 3) FOR 10' FENCING WALL INFORMATION.
- SEE GRADING PLAN (SHEET 3) FOR 10' FENCING WALL INFORMATION.
- SEE GRADING PLAN (SHEET 3) FOR 10' FENCING WALL INFORMATION.



VICINITY MAP
SCALE 1" = 200'

LANDSCAPE SETBACKS

STREET NAME OR ZONE BOUNDARY	CLASSIFICATION	WIDTH (IN FT)	LINEAR FOOTAGE	TREE FEET REQUIRED	NO. OF TREES REQUIRED
POWERS BOULEVARD	PRINCIPAL ROAD	20' / 25'	561'-0"	1,122'	29 / 29
VAPOR TRAIL	NON-ARTERIAL ROAD	10' / 10'	557'-9"	1,116'	89 / 19
NEWPORT ROAD	NON-ARTERIAL ROAD	10' / 10'	387'-3"	774'	63 / 13
NORTHERN & SOUTHWEST BOUNDARY	NA	NA	NA	NA	NA

- UP TO TWENTY-FIVE PERCENT (25%) OF THE REQUIRED SETBACK OR STREETSCAPE TREES MAY BE SUBSTITUTED WITH SHRUBS.
- NO SHRUB SUBSTITUTIONS PERMITTED AT THE SITE. ONLY ONE (1) TREE - TEN (10) SHRUBS OR TWENTY (20) PERENNIALS.
- REQUIRED TREES SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PROPERTY LINE ADJACENT TO THE STREET OR NON-STREET BOUNDARY.

MOTOR VEHICLE LOTS (MVL)

NUMBER OF VEHICLE PROVIDED SPACES	SHARE TREES (PER VEHICLE)	VEHICLE LOT FRONTAGE	LENGTH OF FRONTAGE (FT) (INCLUDING DRIVEWAYS)	% LENGTH OF FRONTAGE
271	18 / 18	VAPOR TRAIL NEWPORT ROAD & POWERS BOULEVARD	1,410'-0"	930'-7"

1. NO VEHICLE LOTS SHALL BE LOCATED WITHIN 10 FEET OF THE STREET OR NON-STREET BOUNDARY. MINIMUM VEHICLE LOT FRONTAGE SHALL BE 150 FEET. MINIMUM DRIVEWAY WIDTH SHALL BE 10 FEET. MINIMUM DRIVEWAY SPACING SHALL BE 5 FEET. MINIMUM DRIVEWAY SPACING SHALL BE 5 FEET. MINIMUM DRIVEWAY SPACING SHALL BE 5 FEET.

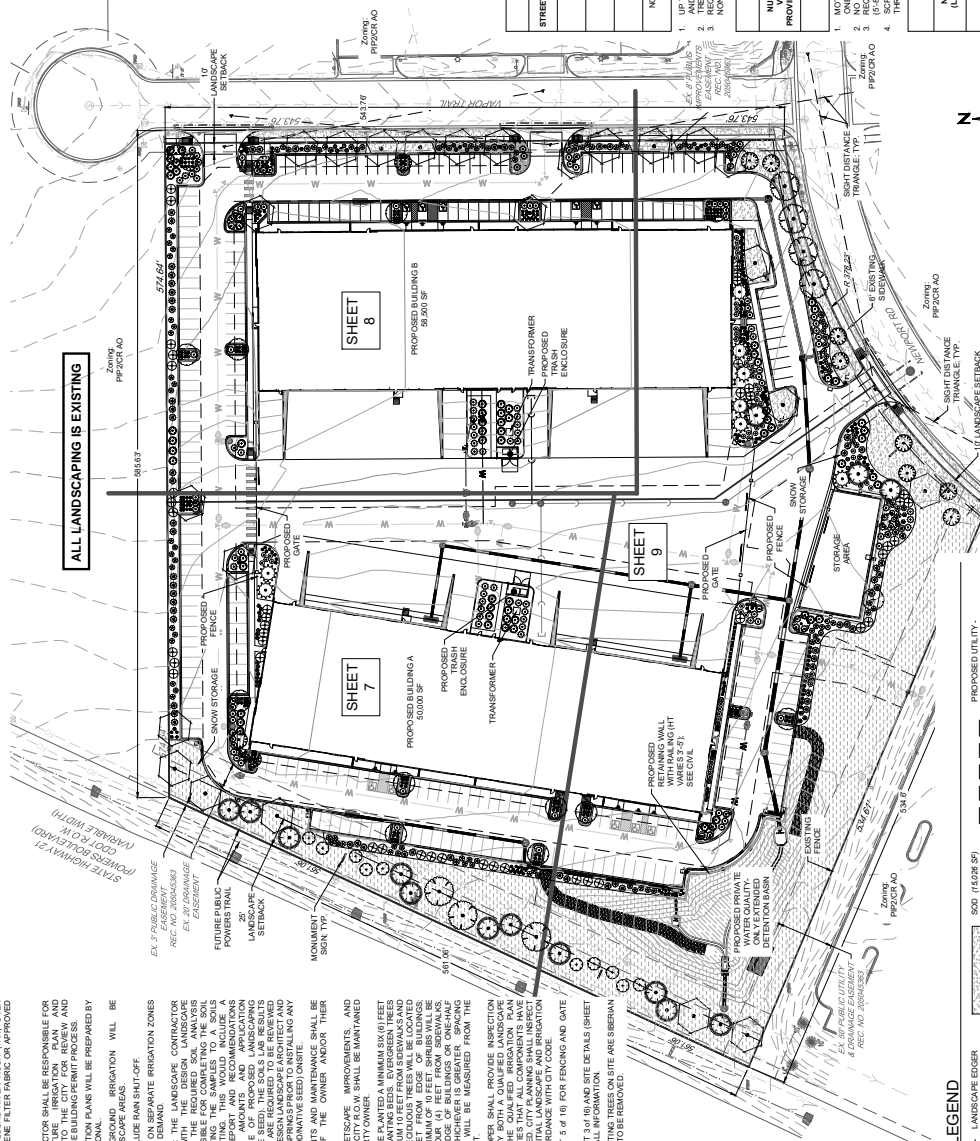
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3. SCREEN SHALL BE AT LEAST TWO-THIRDS (2/3) OF EACH FRONTAGE OF AN APPLICABLE MOTOR VEHICLE LOT. SCREENS TO BE THREE (3) FEET MINIMUM HEIGHT.

INTERNAL LANDSCAPING

NET SITE AREA (SQ)	PERCENT ANNUAL INTERNAL AREA (%)	INTERNAL AREA (SQ)	INTERNAL TREES (100 SQ FT)
412,243 SF	20.6188%	117,129 SF	41 / 22

- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.
- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.
- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.
- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.
- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.
- MINIMUM SHRUB BED AREA FIFTY (50) SQUARE FEET.



LANDSCAPE LEGEND

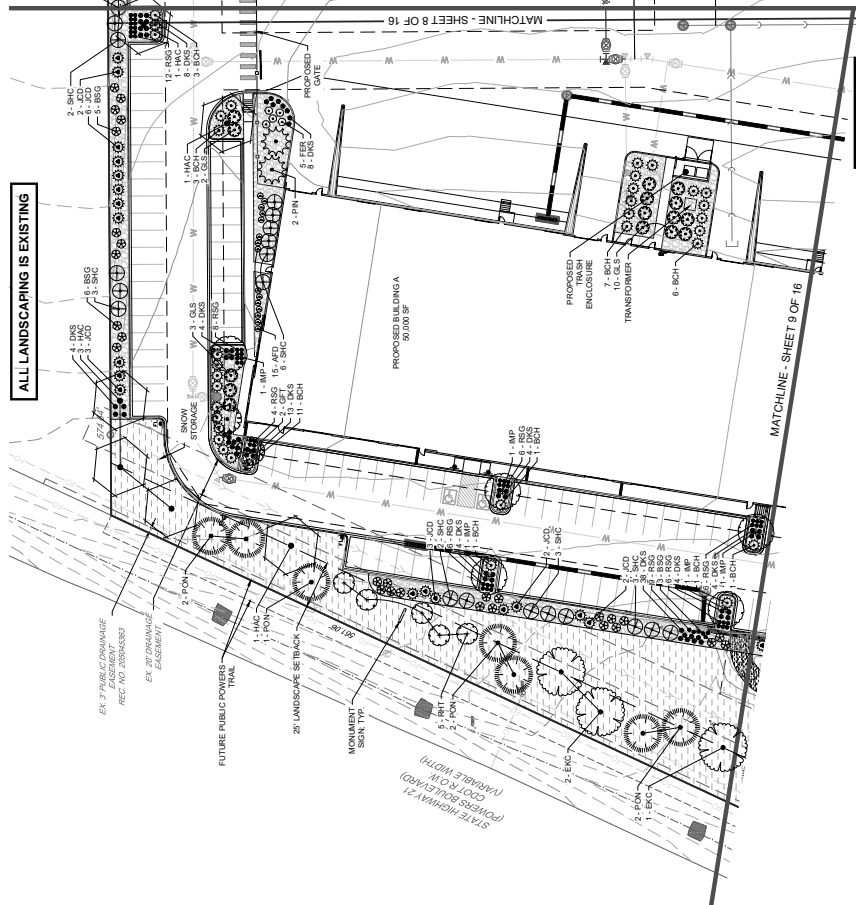
(Symbol)	LANDSCAPE EDGER
(Symbol)	FENCE
(Symbol)	PROPOSED STREET SIGN
(Symbol)	PROPOSED PROJECT SIGN (UP OTHERS)
(Symbol)	PROPERTY BOUNDARY
(Symbol)	EXISTING CONTOURS
(Symbol)	PROPOSED CONTOURS
(Symbol)	PROPOSED UTILITY - FIRE
(Symbol)	PROPOSED UTILITY - FRIE HYDRANT
(Symbol)	PROPOSED UTILITY - WATER MAIN
(Symbol)	PROPOSED UTILITY - SANITARY SEWER
(Symbol)	PROPOSED UTILITY - STORM SEWER
(Symbol)	PROPOSED LIGHT
(Symbol)	PROPOSED CONTOURS

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



70100 West Center Blvd
Littleton, Colorado 80120
303.469.1800
REPLAND.COM



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
DECIDUOUS TREES								
ERC	7	Gymnocladia dioica 'Espresso'	Espresso Kentucky Coffee Tree	2' Cal	B&B	50'	30'	3M&S
HAC	24	Celtis occidentalis	Common Hackberry	2' Cal	B&B	50'	50'	3M&S DA
IMP	12	Geobea huachucae 'Imperial'	Imperial Honeylocust	2' Cal	B&B	35'	20'	45A
EVERGREEN TREES								
PN	8	Prinus salix	Prin Pine	6' HL	B&B	25'	15'	12M&D
PON	14	Prinus pennsylvanica	Pondosa Pine	6' HL	Pot	50'	20'	207&D
ORNAMENTAL TREES								
GFT	18	Acer glabratu 'Fram'	Amer Maple	1.5' Cal	B&B	20'	20'	457A
RHT	10	Crataegus ambigua	Russian Hawthorn	1.5' Cal	B&B	15'	15'	235&D
DECIDUOUS SHRUBS								
AND	15	Omnia sericea 'Farrow'	Acad. Fire Dogwood	#5	Pot	4'	4'	4575
DNS	182	Caryopteris x clambrennea 'Dark Wight'	Dark Knight Blue Mist Spirea	#5	Pot	3'	3'	123&A
FER	54	Chamaenerion millefolium	Fernbush	#5	Pot	5'	5'	12&D
GLS	64	Rhus aromatica 'GroLow'	GroLow Fragrant Sumac	#5	Pot	3'	6'	245&DA
SHC	45	Cotoneaster lucida	Shy Cotoneaster	#5	Pot	8'	8'	234&D
WSC	5	Prunus besseyi	Western Sweet Cherry	#5	Pot	5'	5'	14&5A
EVERGREEN SHRUBS								
AND	8	Jungferia horizontalis 'Young Tower'	Young Tower Juniper	#5	Pot	1.5'	6'	206&A
BCH	129	Jungferia horizontalis 'Blue Chip'	Blue Chip Juniper	#5	Pot	1'	6'	206&A
BSS	103	Cyperus pycnanthus 'Spanish Gold'	Spanish Gold Bloom	#5	Pot	4'	6'	0
JSD	72	Jungferia sabina 'Tamariskula'	Tammy Juniper	#5	Pot	3'	6'	566A
WBL	5	Jungferia scopulorum 'Wichita Blue'	Wichita Blue Juniper	#5	Pot	20'	6'	12597&D
YSW	19	Yucca glauca	Sageweed	#5	Pot	1.5'	3'	124397&D
ORNAMENTAL GRASSES								
AVG	72	Heterostichon sempervirens	Blue Arvo	#1	Pot	4'	4'	123&D
RSG	141	Panicum virgatum 'Serenade'	Serenade with Grass	#1	Pot	4'	4'	123&D

SIGNATURE PLANTINGS

TYPE	PERCENT REQUIRED	PERCENT PROVIDED
TREES	60%	61%
SHRUBS	60%	69%

DETENTION BASIN SEED MIX

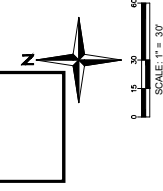
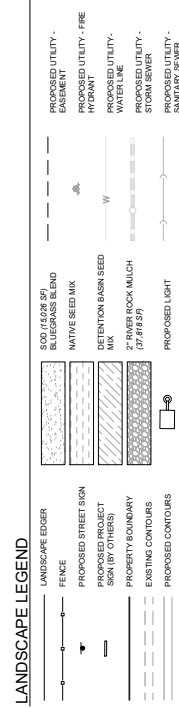
COMMON NAME	SCIENTIFIC NAME	PERCENT
Western wheatgrass	Agropyron smithii	30%
Alfalfa	Puicollia dilleni	30%
Shenandoah wheatgrass	Elymus lanceolatus	30%
Northern wheatgrass	Carex intromissilis	10%
Meadow sage	Carex granularis	10%
Total		100%

Seed at 15lb/acre Broadcast, 7.2lb/acre drilled

NATIVE PRAIRIE SEED MIX

COMMON NAME	SCIENTIFIC NAME	PERCENT
Spikegrass	Bouteloua curtipendula	15%
Western wheatgrass	Agropyron smithii	25%
Blue grama	Bouteloua gracilis	8%
Shenandoah wheatgrass	Elymus lanceolatus	15%
Shenandoah wheatgrass	Elymus lanceolatus	8%
Shenandoah wheatgrass	Elymus lanceolatus	8%
Sand dropseed	Sporobolus vaginatus	3%
Green needlegrass	Nassella viridula	5%
Annual ryegrass	Lolium multiflorum	5%
Total		100%

Seed at 15lb/acre Broadcast, 7.2lb/acre drilled



CARRIER WEST 950 VAPOR TRAIL FINAL LANDSCAPE PLAN LANDSCAPE ENLARGEMENT

DATE: 02/21/2023
 1. PREP SUBMITTAL TO CITY
 2. RECORD SUBMITTAL TO CITY
 3. THIRD SUBMITTAL TO CITY
 4. FOURTH SUBMITTAL TO CITY
 11/16/2023

NO. 1023

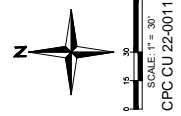
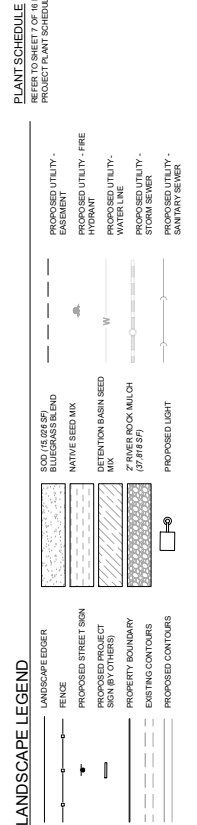
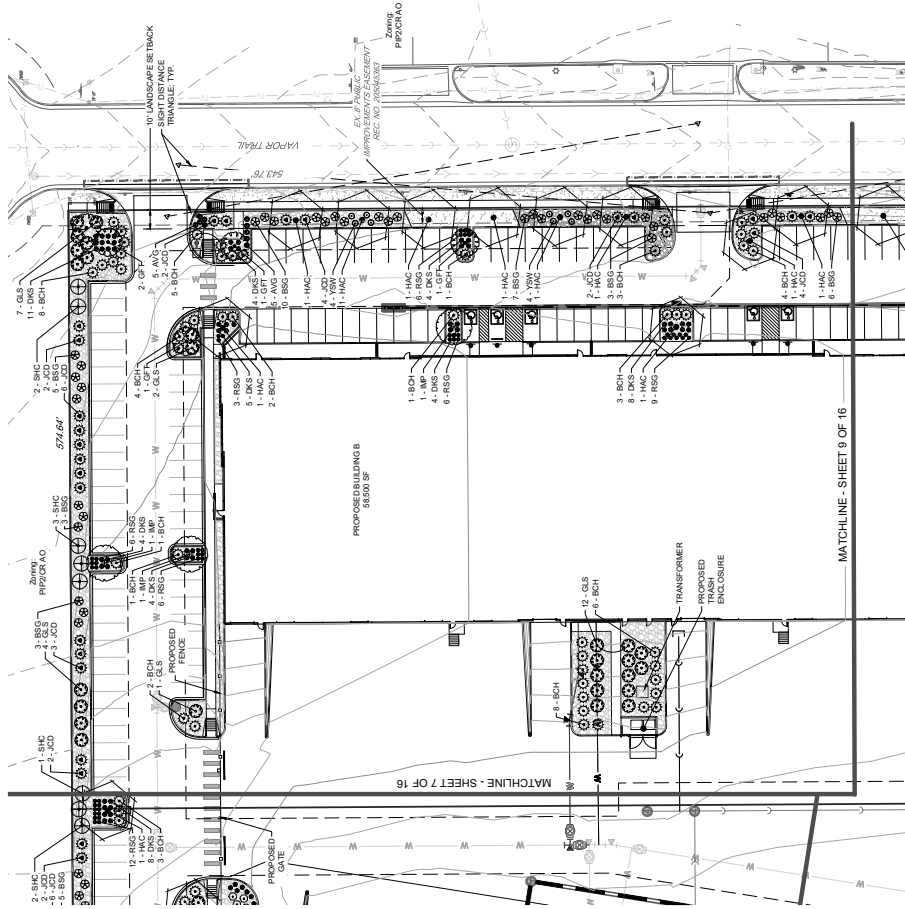
CHECKED: GRYNAR
 APPROVED: [Signature]
 PROJECT NO. 1014
 SHEET: 11

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



Redland
700 West Chad Street
Littleton, Colorado 80120
REPLAND.COM



DATE	NO.	NOTES
02.21.2020	1	FIRST SUBMITTAL TO CITY
10.13.2020	2	SECOND SUBMITTAL TO CITY
10.13.2020	3	THIRD SUBMITTAL TO CITY
11.16.2020	4	FOURTH SUBMITTAL TO CITY

DESIGNER	DATE
GRAYN	08/18/20
CHECKED	08/18/20
APPROVED	08/18/20
PROJECT NO.	2014
SHEET	1A

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

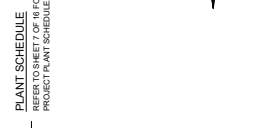
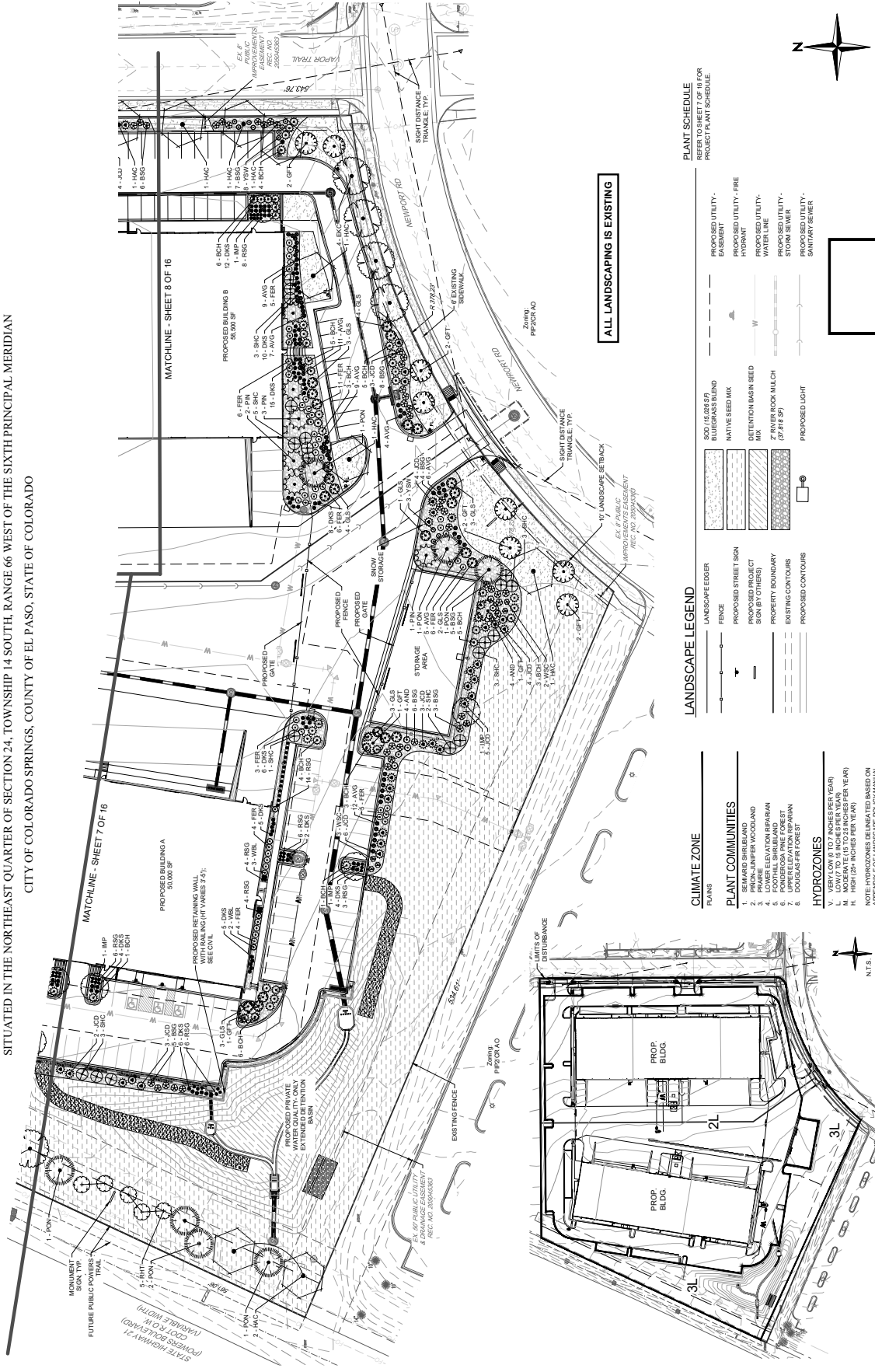
LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



702.263.8100
1500 West Chadwick
Littleton, Colorado 80120
REDLAND.COM

DATE	NO.	NOTES
02/21/2020	1	FIRST SUBMITTAL TO CITY
11/13/2020	2	SECOND SUBMITTAL TO CITY
11/13/2020	3	THIRD SUBMITTAL TO CITY
11/16/2020	4	FOURTH SUBMITTAL TO CITY
11/16/2020	5	FIFTH SUBMITTAL TO CITY
11/16/2020	6	SIXTH SUBMITTAL TO CITY
11/16/2020	7	SEVENTH SUBMITTAL TO CITY
11/16/2020	8	EIGHTH SUBMITTAL TO CITY
11/16/2020	9	NINTH SUBMITTAL TO CITY
11/16/2020	10	TENTH SUBMITTAL TO CITY
11/16/2020	11	ELEVENTH SUBMITTAL TO CITY
11/16/2020	12	FINAL LANDSCAPE ENLARGEMENT

CARRIER WEST 950 VAPOR TRAIL
FINAL LANDSCAPE PLAN
LANDSCAPE ENLARGEMENT



PLANT SCHEDULE
REFER TO SHEET 7 OF 16 FOR PROJECT PLANT SCHEDULE

PROPOSED UTILITY - EASEMENT	PROPOSED UTILITY - FIRE
PROPOSED UTILITY - FIBER	PROPOSED UTILITY - WATER
PROPOSED UTILITY - SANITARY	PROPOSED UTILITY - STORM SEWER
PROPOSED UTILITY - SANITARY SEWER	

LANDSCAPE LEGEND

LANDSCAPE EDGER	LANDSCAPE EDGER
FENCE	FENCE
PROPOSED STREET SIGN	PROPOSED STREET SIGN
PROPOSED PROJECT SIGN (BY OTHERS)	PROPOSED PROJECT SIGN (BY OTHERS)
PROPERTY BOUNDARY	PROPERTY BOUNDARY
EXISTING CONTOURS	EXISTING CONTOURS
PROPOSED CONTOURS	PROPOSED CONTOURS

CLIMATE ZONE

PLANT COMMUNITIES

1. PRAIRIE
2. PRAIRIE
3. PRAIRIE
4. PRAIRIE
5. PRAIRIE
6. PRAIRIE
7. PRAIRIE
8. PRAIRIE

HYDROZONES

1. HYDROZONE
2. HYDROZONE
3. HYDROZONE
4. HYDROZONE
5. HYDROZONE
6. HYDROZONE
7. HYDROZONE
8. HYDROZONE

SCHEMATIC LANDSCAPE DIAGRAM

PROP. BLDG.

PROP. BLDG.

PROP. BLDG.

ALL LANDSCAPING IS EXISTING

PLANT SCHEDULE

REFER TO SHEET 7 OF 16 FOR PROJECT PLANT SCHEDULE

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 AND 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



2020 West 95th Circle
Littleton, Colorado 80120
REPLAND.COM

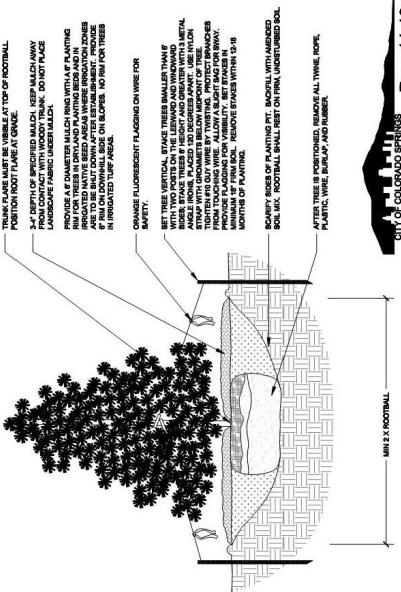
DATE	12/11/2018
PROJECT NO.	2018-004
CHECKED BY	BB
APPROVED BY	BB
DESIGNED BY	BB

NO.	1	DATE	12/11/2018	DESCRIPTION
NO.	2	DATE	12/11/2018	REVISIONS TO CITY
NO.	3	DATE	12/11/2018	REVISIONS TO CITY
NO.	4	DATE	12/11/2018	REVISIONS TO CITY

LANDSCAPE DETAILS

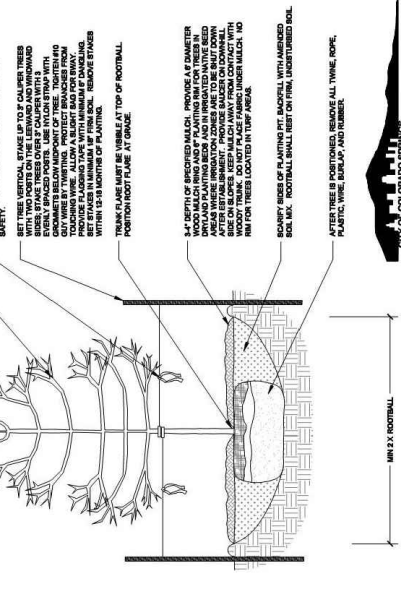
CARRIER WEST 950 VAPOR TRAIL

- NOTES:**
1. REMOVE OR CUT LEADER
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER REPRESENTATIVE
 4. PRUNE BRANCHES TO BE MAINTAINED TO MAINTAIN TREE BALANCE AND SHAPE
 5. AMENDED BACKFILL SHALL BE 1/2 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL
 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 7. ALL TREES TO BE PLANTED IN THE SPRING, UNLESS OTHERWISE SPECIFIED
 8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



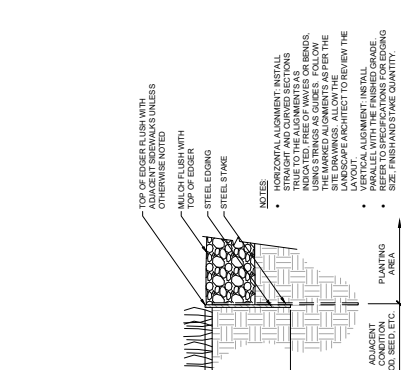
C EVERGREEN TREE PLANTING DETAIL

- NOTES:**
1. REMOVE OR CUT LEADER
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER REPRESENTATIVE
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B DECIDUOUS TREE PLANTING DETAIL

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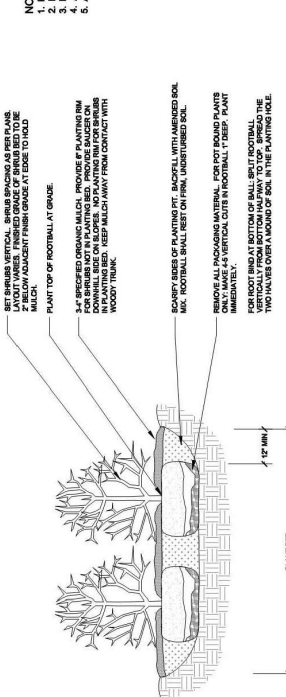
D SHRUB PLANTING DETAIL

- NOTES:**
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A LANDSCAPE EDGER

- NOTES:**
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
 3. AMENDED BACKFILL SHALL BE 1/2 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL
 4. AMENDED BACKFILL SHALL BE 1/2 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL
 5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.
 6. PERENNIALS - SEE AS SPECIFIED IN PLANS. PLANT AS SPECIFIED IN SPECIFICATIONS.
 7. PERENNIALS - SEE AS SPECIFIED IN PLANS. PLANT AS SPECIFIED IN SPECIFICATIONS.
 8. PERENNIALS - SEE AS SPECIFIED IN PLANS. PLANT AS SPECIFIED IN SPECIFICATIONS.



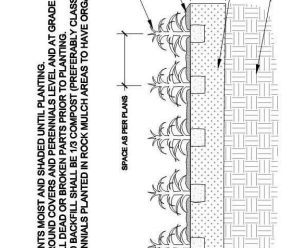
E PERENNIAL/GROUNDCOVER PLANTING DETAIL

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 2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
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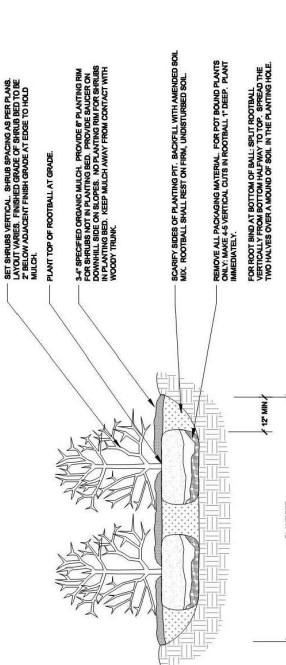
C EVERGREEN TREE PLANTING DETAIL

- NOTES:**
1. REMOVE OR CUT LEADER
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
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B DECIDUOUS TREE PLANTING DETAIL

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D SHRUB PLANTING DETAIL

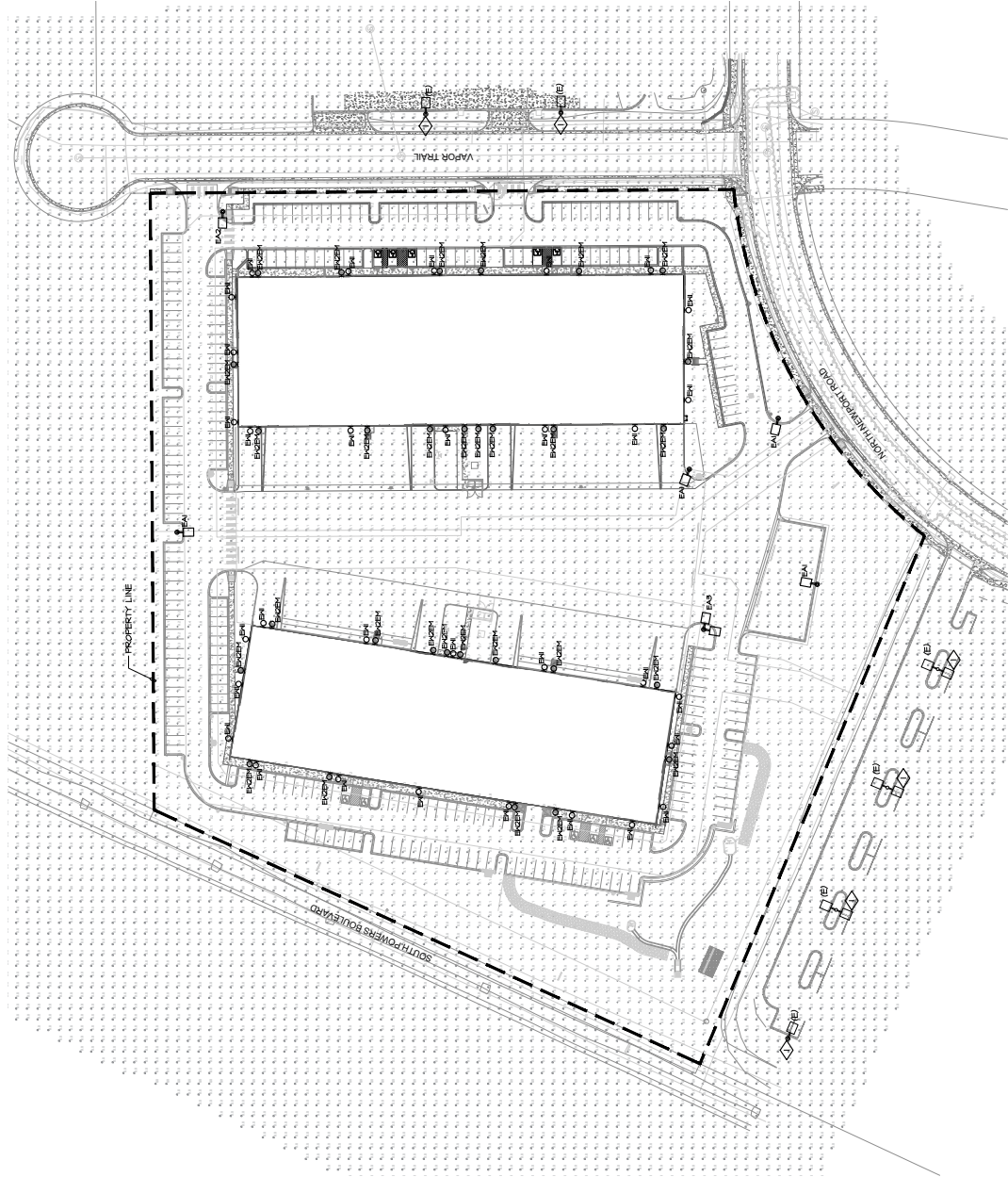
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E PERENNIAL/GROUNDCOVER PLANTING DETAIL

CARRIER WEST 950 VAPOR TRAIL CONDITIONAL USE DEVELOPMENT PLAN

LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



ALL LIGHTING IS EXISTING

GENERAL NOTES

- ALL SITE LIGHTING RELATED TO PARK AND DRIVEWAY LIGHTING SHALL BE PROVIDED BY THE CONTRACTOR AND OTHER APPLICABLE CODES.
- LIGHT FIXTURES SHALL BE FULL COVERT.
- MAXIMUM LIGHT LEVELS OR USE SHALL NOT EXCEED TO FC EXCEPT FOR LIGHTING AND MAXIMUM LIGHT LEVELS SHALL NOT EXCEED 1.0 FOOT CANDLE.
- LIGHT LEVELS MEASURED AT THE PROPERTY LINE OF THE DEVELOPMENT SITE SHALL NOT EXCEED 0.1 FOOT CANDLE.
- PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 1.0 FOOT CANDLE.
- ALL LIGHT FIXTURES SHALL BE PROVIDED OR EXISTING LIGHTING SHALL BE MAINTAINED TO RESIDENTIAL PROPERTY.

ABBREVIATIONS AND SYMBOLS

AP APPROVED
AFB ABOVE FINISHED FLOOR
AUG ABOVE FINISHED GRADE
AU UTILITY HASING ABJECTION
C CONCRETE
E ELECTRICAL CONTRACTOR
EB EXISTING TO BE RELOCATED
EBS EXISTING TO BE RELOCATED (SCHEDULED)
GC GENERAL CONTRACTOR
GAS GAS
OR APPROVED EQUAL
P PAVEMENT
P# PHASE
P#L PANEL
P#L# PANEL NUMBER SYSTEMS TO BE REMOVED
R# RELOCATED LOCATION
UR UNDERGROUND
UR# UNLESS OTHERWISE NOTED
V VOLTAGE
H HATCHES OR HIRE
TRF TRANSFORMER
DETAIL NOTE
DELTA REVISION NOTE

REVISIONS

NO.	DATE	BY	REVISION
1	08/21/2020	AE	ISSUED FOR PERMIT
2	08/21/2020	AE	REVISIONS TO PERMIT
3	08/21/2020	AE	REVISIONS TO PERMIT
4	08/21/2020	AE	REVISIONS TO PERMIT
5	08/21/2020	AE	REVISIONS TO PERMIT
6	08/21/2020	AE	REVISIONS TO PERMIT
7	08/21/2020	AE	REVISIONS TO PERMIT
8	08/21/2020	AE	REVISIONS TO PERMIT
9	08/21/2020	AE	REVISIONS TO PERMIT
10	08/21/2020	AE	REVISIONS TO PERMIT
11	08/21/2020	AE	REVISIONS TO PERMIT
12	08/21/2020	AE	REVISIONS TO PERMIT
13	08/21/2020	AE	REVISIONS TO PERMIT
14	08/21/2020	AE	REVISIONS TO PERMIT
15	08/21/2020	AE	REVISIONS TO PERMIT
16	08/21/2020	AE	REVISIONS TO PERMIT
17	08/21/2020	AE	REVISIONS TO PERMIT
18	08/21/2020	AE	REVISIONS TO PERMIT
19	08/21/2020	AE	REVISIONS TO PERMIT
20	08/21/2020	AE	REVISIONS TO PERMIT

REVISION LEGEND

NO.	DATE	BY	REVISION
1	08/21/2020	AE	ISSUED FOR PERMIT
2	08/21/2020	AE	REVISIONS TO PERMIT
3	08/21/2020	AE	REVISIONS TO PERMIT
4	08/21/2020	AE	REVISIONS TO PERMIT
5	08/21/2020	AE	REVISIONS TO PERMIT
6	08/21/2020	AE	REVISIONS TO PERMIT
7	08/21/2020	AE	REVISIONS TO PERMIT
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15	08/21/2020	AE	REVISIONS TO PERMIT
16	08/21/2020	AE	REVISIONS TO PERMIT
17	08/21/2020	AE	REVISIONS TO PERMIT
18	08/21/2020	AE	REVISIONS TO PERMIT
19	08/21/2020	AE	REVISIONS TO PERMIT
20	08/21/2020	AE	REVISIONS TO PERMIT

LIGHTING FIXTURES

LUMINAIRE TYPE, REFERENCES LUMINAIRE MANUFACTURER, LUMINAIRE MODEL NUMBER, LUMINAIRE DESCRIPTION, IF SOON, REFERENCES SHALL BE PROVIDED.

○ HALL POINTED LUMINAIRE
● PROVIDE WITH INTEGRAL BATTERY BACKUP
□ EXTERIOR AREA LIGHT

REVISION LEGEND

NO.	DATE	BY	REVISION
1	08/21/2020	AE	ISSUED FOR PERMIT
2	08/21/2020	AE	REVISIONS TO PERMIT
3	08/21/2020	AE	REVISIONS TO PERMIT
4	08/21/2020	AE	REVISIONS TO PERMIT
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8	08/21/2020	AE	REVISIONS TO PERMIT
9	08/21/2020	AE	REVISIONS TO PERMIT
10	08/21/2020	AE	REVISIONS TO PERMIT
11	08/21/2020	AE	REVISIONS TO PERMIT
12	08/21/2020	AE	REVISIONS TO PERMIT
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16	08/21/2020	AE	REVISIONS TO PERMIT
17	08/21/2020	AE	REVISIONS TO PERMIT
18	08/21/2020	AE	REVISIONS TO PERMIT
19	08/21/2020	AE	REVISIONS TO PERMIT
20	08/21/2020	AE	REVISIONS TO PERMIT

DEVELOPMENT PLAN
CARRIER WEST 950 VAPOR TRAIL
PHOTOMETRIC PLAN



INTERGROUP ARCHITECTS
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Colorado Springs, CO 80904
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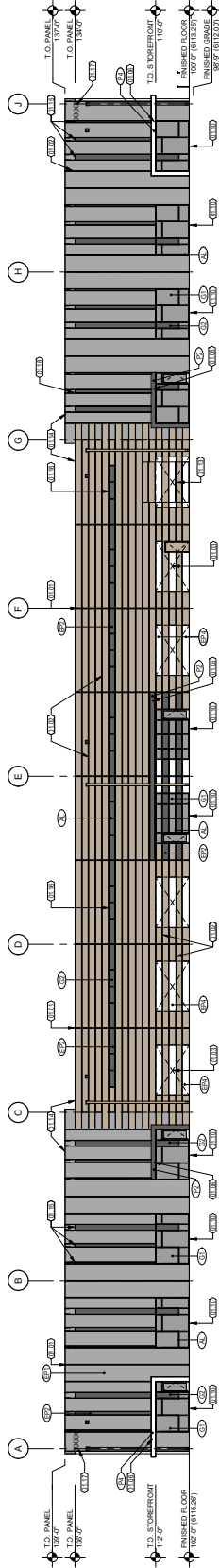
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DATE AUGUST 21, 2020
SHEET 16 OF 11



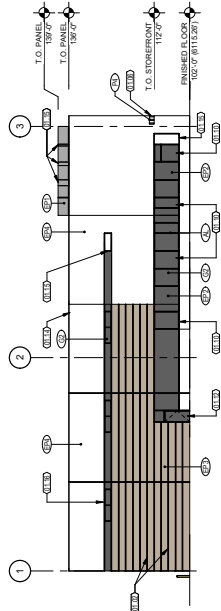
CPC CU 22-00115

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

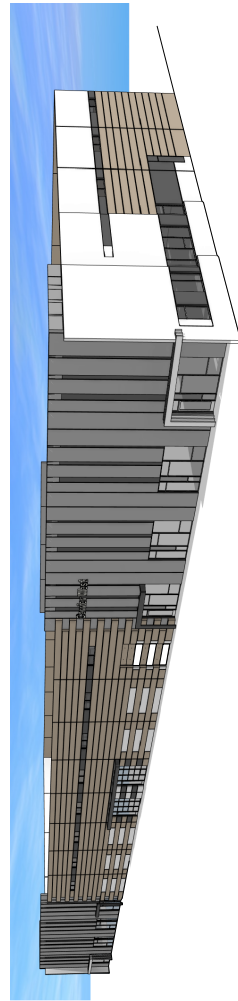
LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 BUILDING A - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING A - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ENTRY PERSPECTIVE
SCALE: 1/8" = 1'-0"

KEYNOTES:

- 0101 CONCRETE PANEL JOINT WITH 1/4" CHAMFERED EDGES.
- 0102 BANNERBOARD & SEAMANT FULL LENGTH.
- 0103 BRASS 1 1/2" DEEP RECESS WITHIN R4 ACCENT PANTED AREA TO BE COORDINATE FOR FUTURE STOREFRONT.
- 0104 1/2" DEEP TELETYPE CANOPY TO ATTACH TO CONC. TIE-UP.
- 0105 INSULATED INTIG GLAZING IN ANODIZED ALUMINUM.
- 0106 INSULATED ALUMINUM WINDOW WALL TO ADJACENT WALL SURFACE COLOR UN-G.
- 0107 LEGEND: STEEL OR LOOK PANTED. SEE FINISH LEGEND FOR SPECIFIC COLORS.
- 0108 FOR SPECIFIC COLORS AND FINISHES INTO CONCRETE PANEL CHAMFER EDGES AND PANT PER EXTERIOR FINISH LEGEND.
- 0109 ALUMINUM OPERATOR SYSTEM. SEE FINISH LEGEND FOR BUILDING ADDRESS LOCATION. VERIFY WITH LOCAL FIRE DEPARTMENT ADDRESS TO PREVENT SWAYING IN THE WIND.
- 0110 THICKNESS IN A COLOR CONTRASTING TO THE ADJACENT THICKNESS TO BE APPROVED UNDER SEPARATE SIGN PERMIT.
- 0111
- 0112
- 0113
- 0114
- 0115
- 0116
- 0117
- 0118

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS/ COMMENTS
0101	EXTERIOR PAINT		FLUOREN (RWNK 2500)	MEDIUM TEXTURE @ CONC. WALLS
0102	EXTERIOR PAINT		GLUDERMOVAL (SWM00)	MEDIUM TEXTURE @ CONC. WALLS
0103	EXTERIOR PAINT		USBESTAN (GLAS)	CONC. WALLS
0104	EXTERIOR PAINT		FLUOREN (RWNK 2500)	MEDIUM TEXTURE @ CONC. WALLS
0105	EXTERIOR PAINT		USBESTAN (GLAS)	CONC. WALLS
0106	GLAZING		PPG - SOLARSHY	INSULATED
0107	GLAZING		PPG - GRANULITE II	INSULATED
0108	STOREFRONT PANEL		PPG - GRANULITE II	CLEAR ANODIZED ALUMINUM

ALL BUILDINGS ARE EXISTING

REVISIONS	
BY	DESCRIPTION
10/14/2020	1st RESPONSE
12/16/2020	2nd RESPONSE

DRAWN	CRW
CHECKED	BS
DESIGNED	KS
FILE NAME	BS 03/20

CARRIER WEST VAPOR TRAIL SITE PLAN BUILDING A - EXTERIOR ELEVATIONS



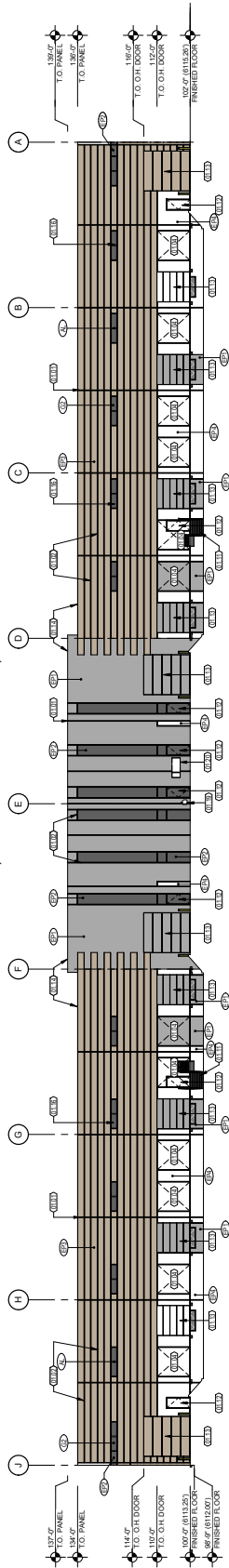
INTERGROUP
ARCHITECTS
1500 WEST LEXINGTON BLVD
DENVER, CO 80202
303.738.8277 | 303.738.2294
www.intergroup.com

PROJECT: BS 10/97/0
SCALE: AS SHOWN
DATE: 08/21/2020
SHEETS: 16
SHEET: 13

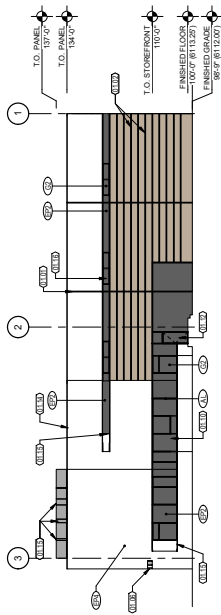
CFC CU 22-00115

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

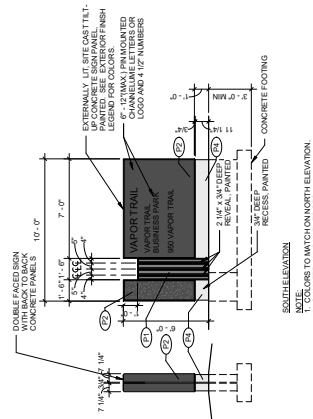
LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 SCALE: 1/8" = 1'-0"



2 SCALE: 1/8" = 1'-0"



3 SCALE: 1/8" = 1'-0"

KEYNOTES:

- 0101 3/4" x 2 1/4" REVEAL PAINTED - SEE DOOR COORS
- 0102 1/2" DEEP T.E. ENTRY CANOPY TO ATTACH TO CONC. TILT UP
- 0103 STOREFRONT SYSTEM SEE FINISH LEGEND
- 0104 HANDRAILS, THE BACK HANDRAILS TO BE 1" DEEP OPEN CHANNEL TO BE 1 1/2" x 4 1/2" WITH 1/2" x 3/4" INBAR AT EACH END PAINT TO MATCH ADJACENT WALL SURFACE COLOR UNO.
- 0105 WALL SURFACE COLOR UNO. DOOR PAINTED - SEE FINISH LEGEND
- 0106 MEDIUM TINTED PAINT - SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS
- 0107 CONCRETE PANEL ACCESS TO CONCRETE PANEL CHAMBER EDGES AND PAINT RE EXTERIOR FINISH LEGEND
- 0108 ALUMINUM STOREFRONT SYSTEM. SEE FINISH LEGEND FOR GAS METAL LOCATION. SEE CIVIL DWGS.
- 0109 ELECTRICAL METERS & CT CABINET LOCATIONS.

KEY	DESCRIPTION	IMAGE	MANUFACTURER	FINISH	COMMENTS
0101	EXTERIOR PAINT	[Image]	BECKERS	3/4" x 2 1/4" REVEAL PAINTED	SEE DOOR COORS
0102	EXTERIOR PAINT	[Image]	BECKERS	1/2" DEEP T.E. ENTRY CANOPY TO ATTACH TO CONC. TILT UP	STOREFRONT SYSTEM SEE FINISH LEGEND
0103	EXTERIOR PAINT	[Image]	BECKERS	HANDRAILS, THE BACK HANDRAILS TO BE 1" DEEP OPEN CHANNEL TO BE 1 1/2" x 4 1/2" WITH 1/2" x 3/4" INBAR AT EACH END PAINT TO MATCH ADJACENT WALL SURFACE COLOR UNO.	DOOR PAINTED - SEE FINISH LEGEND
0104	EXTERIOR PAINT	[Image]	BECKERS	WALL SURFACE COLOR UNO.	DOOR PAINTED - SEE FINISH LEGEND
0105	GLAZING	[Image]	PPG - SOLARSHY	MEDIUM TINTED PAINT	SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS
0106	GLAZING	[Image]	PPG - SOLARSHY	MEDIUM TINTED PAINT	SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS
0107	STOREFRONT FRAME	[Image]	ALUMINUM	ALUMINUM STOREFRONT SYSTEM	SEE FINISH LEGEND FOR GAS METAL LOCATION. SEE CIVIL DWGS.

ALL BUILDINGS ARE EXISTING

BUILDING A - EXTERIOR ELEVATIONS
SITE PLAN
CARRIER WEST VAPOR TRAIL



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WWW.INTERGROUP.COM

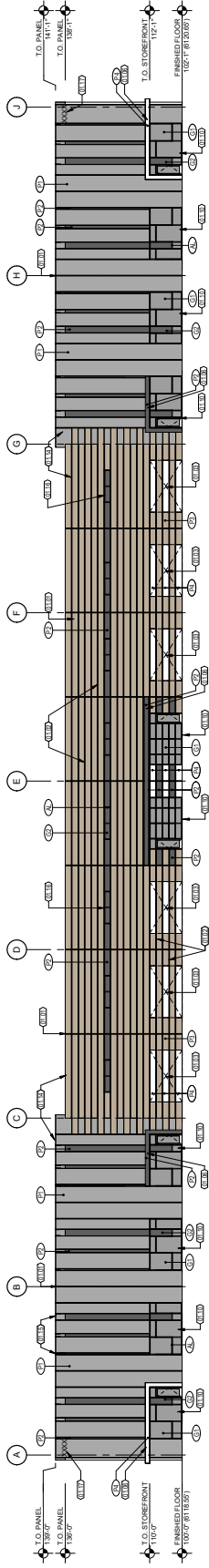
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SHEET: 16
14

REVISIONS	DESCRIPTION	DATE	BY
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2	1ST RESPONSE	10/14/2020	BS

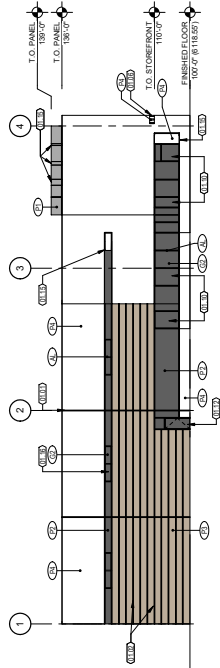
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FILE NAME: BS 03070

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

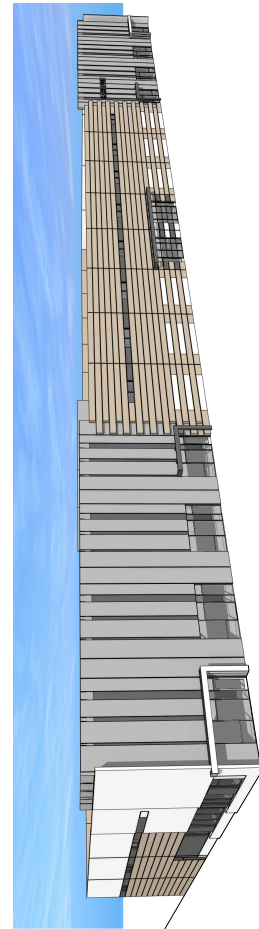
LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 BUILDING B - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING B - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ENTRY PERSPECTIVE
SCALE: 1/4" = 1'-0"

- KEYNOTES:**
- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES.
 - 01.02 GLUED IN MASONRY 2500 MEDIUM TEXTURE @ 3/4" x 2 1/4" REVEAL. PAINTED.
 - 01.03 AREA TO BE KICKOUT FOR FUTURE EDGEFRONT REVISIONS. 1" DEEP RECES WITH 4" JOINT PAINTED WALL PAINT.
 - 01.06 ENTRY CHAMPI TO ATTACH TO CONC. TILT-UP STABILIZED GLAZING AN ANODIZED ALUMINUM INSULATED MAM LOKOR. PAINT TO MATCH ADJACENT SITE CAST TILT-UP CONCRETE PANEL. PAINTED WITH PPG SOLARGRAY.
 - 01.14 1" DEEP CHAMFERED RECES INTO CONCRETE PANELING FOR GLAZING AND FRAME COLORS. SEE EXTERIOR FINISH LEGEND FOR GLAZING AND FRAME COLORS.
 - 01.15 INSULATED UNITED GLAZING AN ANODIZED ALUMINUM ADDRESS NUMBER WITH 1/2" STRONG ADHESANT BUILDING COLOR PER FIRE DEPARTMENT STANDARDS.
 - 01.16
 - 01.17

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS/ COMMENTS
01.01	PAINT		GLUED IN MASONRY 2500 MEDIUM TEXTURE @ 3/4" x 2 1/4"	REVEAL. PAINTED.
01.02	PAINT		GLUED IN MASONRY 2500 MEDIUM TEXTURE @ 3/4" x 2 1/4"	REVEAL. PAINTED.
01.03	PAINT		GLUED IN MASONRY 2500 MEDIUM TEXTURE @ 3/4" x 2 1/4"	REVEAL. PAINTED.
01.06	GLAZING		PPG - SOLARGRAY	
01.14	GLAZING		PPG - GRANULITE II	
01.15	FRAME		INSULATED UNITED GLAZING AN ANODIZED ALUMINUM	
01.16	FRAME		INSULATED UNITED GLAZING AN ANODIZED ALUMINUM	
01.17	FRAME		INSULATED UNITED GLAZING AN ANODIZED ALUMINUM	

ALL BUILDINGS ARE EXISTING

REVISIONS

NO.	DATE	DESCRIPTION
1	10/14/2020	14 RESPONSE
2	12/14/2020	24 RESPONSE

BY	CRW
CHECKED	BS
DESIGNED	KS
FILE NAME	BS 0070

BUILDING B - EXTERIOR ELEVATIONS

SITE PLAN
CARRIER WEST VAPOR TRAIL



INTERGROUP
ARCHITECTS

16 15
SHEETS

CFC CU 22-00115

DATE: 08/21/2020

AS SHOWN

SCALE: BS 10070

15000 COLORADO BLVD
DENVER, COLORADO 80202
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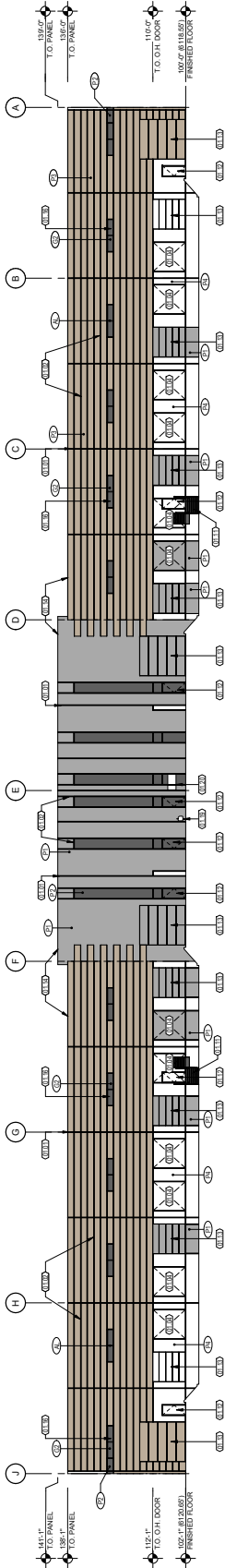
Architecture

Interior

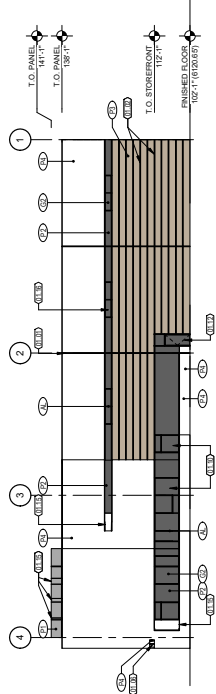
Planning

CONDITIONAL USE DEVELOPMENT PLAN CARRIER WEST 950 VAPOR TRAIL BUILDING

LOTS 1 & 2, BLOCK 2, NEWPORT SUBDIVISION FILING NO. 19B
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



1 SCALE 1/16" = 1'-0"



2 SCALE 1/16" = 1'-0"

KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKSERRATED & SEAMANT FULL LENGTH.
- 01.02 1/2" X 1/2" X 1/2" BRASS BRUSHED BRASS DOOR HANDLES.
- 01.04 AREA TO BE KICK-OUT FOR FUTURE DOOR DOORS.
- 01.06 1/2" X 1/2" X 1/2" BRASS BRUSHED BRASS DOOR HANDLES. WALL PAINTED.
- 01.10 INSULATED FINISH GLAZING IN ANODIZED ALUMINUM EXTERIOR STEEL STAIRS, LANDING, GUARDRAILS & GRATING WITH LOW DRIP PERF TO PATH OF TRAVEL. HANDRAIL PAINTED.
- 01.11 1/2" X 1/2" X 1/2" BRASS BRUSHED BRASS DOOR HANDLES. WALL PAINTED.
- 01.12 INSULATED FINISH ANODIZED ALUMINUM DOOR PAINT TO MATCH ADJACENT INSULATED STEEL O.H. DOOR PAINTED - SEE FINISH.
- 01.13 SITE CAST TILT-UP CONCRETE PANEL PAINTED WITH FOR-SPECIFIED COLORS.
- 01.14 1/2" X 1/2" X 1/2" BRASS BRUSHED BRASS DOOR HANDLES. WALL PAINTED.
- 01.15 1/2" X 1/2" X 1/2" BRASS BRUSHED BRASS DOOR HANDLES. WALL PAINTED.
- 01.16 INSULATED FINISH GLAZING IN ANODIZED ALUMINUM EXTERIOR STEEL STAIRS, LANDING, GUARDRAILS & GRATING WITH LOW DRIP PERF TO PATH OF TRAVEL. HANDRAIL PAINTED.
- 01.19 GAS METER LOCATION. SEE CIVIL DWGS.
- 01.20 ELECTRICAL METER & CT CURRENT LOCATIONS.

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
01	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
02	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
03	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
04	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
05	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
06	GLAZING		PPG - SOLARBAY	
07	GLAZING		PPG - GRAYLITE II	
08	FINISH		PPG - ANODIZED ALUMINUM	

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
01	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
02	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
03	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
04	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
05	PAINT		GLUEDBOND 2000	MEDIUM TEXTURE @ CONC. WALLS
06	GLAZING		PPG - SOLARBAY	
07	GLAZING		PPG - GRAYLITE II	
08	FINISH		PPG - ANODIZED ALUMINUM	

ALL BUILDINGS ARE EXISTING

REVISIONS	DESCRIPTION	DATE	BY
1	14/12/2020	14/12/2020	14/12/2020
2	14/12/2020	14/12/2020	14/12/2020

DRAWN	BS
CHECKED	BS
DESIGNED	BS
FILE NAME	BS 10170

CARRIER WEST VAPOR TRAIL
SITE PLAN
BUILDING B - EXTERIOR ELEVATIONS



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